

**VILLAGE OF SOUTH ELGIN**  
**PLANNING AND ZONING COMMISSION MEETING**  
Public Services Building, 1000 Bowes Road  
South Elgin, Illinois 60177  
October 18, 2023  
7:00 pm

**AGENDA**

- A. Call to Order**
- B. Roll Call**
- C. Approval of Minutes**
  - 1. Minutes of the August 16, 2023 Regular Planning and Zoning Commission Meeting
  - 2. Minutes of the September 20, 2023 Regular Planning and Zoning Commission Meeting
- D. Public Hearing and Discussion**
  - 1. CD 2023-09: Request for a Special Use to allow for a Cannabis Dispensary use in B-2 Community Business District on the property located at 365 Randall Road – GWB Illinois, LLC, Petitioner
- E. New Business**
  - 1. Quarterly Project Updates Report – 2023 Q4
- F. Public Comment**
- G. Adjournment**

**Please take note of the following:**

Comments may be submitted in writing in advance of the meeting by mail, voicemail, or email to the Contact Information below. All comments received in advance of the meeting will be read aloud into the official record at the meeting.

**Contact Information:** Community Development Department  
10 N. Water Street South Elgin, IL 60177  
PHONE: 847-741-3894, ext. 5328  
EMAIL: [PZCPublicComment@southelgin.com](mailto:PZCPublicComment@southelgin.com)

**Minutes of the Regular Meeting  
of the Planning and Zoning Commission  
August 16, 2023 - DRAFT**

**A. CALL TO ORDER**

The Regular Meeting of the Planning and Zoning Commission was held on Wednesday, August 16, 2023, at the Public Services Facility, 1000 Bowes Road, South Elgin, IL. The meeting was called to order at 7:02 p.m. by Chairman Micklevitz.

Chairman Micklevitz stated the role of the Planning and Zoning Commission and the procedures for the meeting.

**B. ROLL CALL**

Commissioners present were: Chairman Micklevitz; Pam Blair; Omar Garcia; Leo Metz; Vice-Chairman Cynthia Tarka; and Rich Watson.

Staff present at the meeting were: Director of Community Development Nancy Hill; Planner Lauren Blayney; and Recording Secretary Dione Stirmell.

Members absent was: Tom Kusswurm.

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
Nays: None  
Abstain: None  
Absent: Kusswurm

The motion CARRIED (6-0-0-1).

**C. APPROVAL OF MINUTES**

1. Minutes of the July 19, 2023 Regular Planning and Zoning Commission Meeting.

A motion was made by Member Watson to approve the minutes of the July 19, 2023 Regular Meeting of the Planning and Zoning Commission, which was seconded by Member Garcia. There was no further discussion of the motion. The vote was as follows:

Ayes: Blair, Garcia, Metz, Micklevitz, Watson  
Nays: None  
Abstain: Tarka  
Absent: Kusswurm

The motion CARRIED (5-0-1-1).

#### **D. PUBLIC HEARING AND DISCUSSION**

1. **CD 2023-05**: Request for a Special Use to allow for a Motor Vehicle Repair and/or Service use in the I-Industrial District on the property located at 1790 Gilpen Avenue – Golden Way Inc., Petitioner

Chairman Micklevitz opened the public hearing at 7:04 p.m.

Planner Blayney confirmed that proper notice of the public hearing had been given.

Planner Blayney presented the staff report. She summarized the request and explained that the Petitioner is seeking a recommendation of approval for a Special Use Permit for Motor Vehicle Repair and/or Services on the property located at 1790 Gilpen Avenue in the I-Industrial District.

Planner Blayney explained there is an existing 21,692 square foot building on the subject property. The Petitioner plans to divide the space into three areas for office use, warehouse use and motor vehicle repair use. The motor vehicle repair use area would take up approximately 11,115 square feet of the existing building and would have approximately seven (7) service bays located inside the motor vehicle repair area.

Planner Blayney said the exterior building façade of the existing building on the subject property is to remain the same, and there are no changes to the number of overhead doors that currently exist in the building.

Planner Blayney explained, in accordance with the UDO, all services will be performed inside the building, the Petitioner does not intend to store any vehicles in the front or corner side yard of the property, and any vehicle being stored on the property will be stored in the existing outdoor storage area on the subject property which is located on the south side of the property.

Planner Blayney stated the existing outdoor storage area is considered a non-conforming use and, according to the UDO, the use is allowed to continue in its existing condition.

Planner Blayney said the Petitioner intends to pave and restripe the parking area to provide adequate off-street parking for their use. The off-street parking areas are located on the west and south side of the existing building. The number of off-street parking provided on the site plans meets the UDO which includes 38 parking stalls including 2 ADA parking stalls.

Planner Blayney stated the UDO allows motor vehicles repair and/or service in the I Industrial District as a special use. No additional variations or relief from the UDO are being requested.

Planner Blayney introduced the representative of the Petitioner, Oliva Hopper, Golden way Inc., 196 Marie Drive, Inverness, IL 60010.

Ms. Hopper thanked Planner Blayney for summarizing the petition and offered to answer any questions from the Commission.

Chairman Micklevitz opened the hearing to comments and questions from the Planning and Zoning Commissioners.

Member Watson asked if they would meet the Village's lot coverage requirements with the proposed modification to the parking area. Planner Blayney explained the maximum lot coverage allowed in the I Industrial District is 80%. She further explained that the property currently exceeds the maximum lot coverage allowed; however, the Petitioner intends to remove some of the hardscape on the west side of the outdoor storage area and add grass to conform with the maximum lot coverage requirement in the I Industrial District. She said by doing so, the Petitioner is reducing the degree of nonconformity.

Member Watson asked the Petitioner to provide additional details on the existing fencing. Planner Blayney explained that the existing outdoor storage area is currently screened with a 6-foot, chain linked fence with privacy slats. She added the Petitioner intends to repair and replace the privacy slats as needed and continue to maintain privacy slats to keep them in good condition.

Member Watson asked if the Petitioner would meet the requirements for the proper disposal of hazardous materials. Planner Blayney explained that the various departments who reviewed this petition did not have any immediate concerns with the operation of the proposed use. She added that the Petitioner intends to split the building into multiple spaces which will require building permits. The Building and Fire Code would review how the petitioner intends to dispose of any hazardous materials at the time of building plan review and building inspection.

Member Tarka asked what would be stored outside. Ms. Hopper explained nothing will be stored in the front of the building per the Village Code. However, she explained that they will be storing vehicles and trailers in the existing outdoor storage area only for the duration allowed in accordance with the Village Code. Member Tarka confirmed that no liquids or chemicals would be stored outside. To which Ms. Hopper confirmed. Member Tarka expressed concerns about the disposal of the chemicals in the drain system inside the building. Ms. Hopper explained that they have a triple catch basin, and they use all chemicals responsibly and to code. She added that they have other locations and have never had an issue with the proper disposal of chemicals.

Member Metz asked if they are requesting any variations. Planner Blayney said no.

Chairman Micklevitz opened the meeting to public comments and questions. There were no members of the public present to speak for or against the application.

With no further discussion, Chairman Micklevitz entertained a motion to accept the Findings of Fact for the Special Use for a Motor Vehicle Repair and/or Service use request:

A motion was made by Member Watson that the Planning and Zoning Commission accept the Findings of Fact as submitted by the Petitioner. The motion was seconded by Vice-Chairman Tarka. There was no further discussion of the motion. The vote was as follows:

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
 Nays: None  
 Abstain: None  
 Absent: Kusswurm

The motion CARRIED (6-0-0-1).

Chairman Micklevitz entertained a motion to close the public hearing.

A motion was made by Vice-Chairman Tarka to close the public hearing, which was seconded by Member Blair. There was no further discussion of the motion. The vote was as follows:

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
 Nays: None  
 Abstain: None  
 Absent: Kusswurm

The motion CARRIED (6-0-0-1). Chairman Micklevitz closed the public hearing at 7:12 p.m.

Member Watson made a motion that the Planning and Zoning Commission recommend to the Village Board approval of Petition CD 2023-05 for a Special Use Permit for motor vehicle repair and/or service use on the property located at 1790 Gilpen Avenue in the I-Industrial District. The motion was seconded by Member Metz. There was no further discussion of the motion. The vote was as follows:

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
 Nays: None  
 Abstain: None  
 Absent: Kusswurm

The motion CARRIED (6-0-0-1).

**E. APPLICATION REVIEW AND DISCUSSION**

1. **CD 2023-06:** Major Site Plan and Aesthetic Design Review for a Building Addition on the property located at 900 Schneider Drive – Cat-I Manufacturing

Planner Blayney presented the staff report. She summarized the request and explained that the Petitioner is seeking a recommendation of approval for a proposed building addition at 900 Schneider Drive.

Planner Blayney explained that there is an existing 40,425 square foot building on the subject property, and the Applicant wishes to construct a 22,640 square foot building addition. The applicant intends to use the 22,640 square foot building addition to expand their warehouse use.

Planner Blayney said the building addition will have three (3) overhead doors on the west building façade facing Schneider Drive. The building façade will be finished with rib metal wall panels to match the existing building façade. The Unified Development Ordinance (UDO) does not regulate building design for buildings in the I Industrial District and therefore the proposed building materials are permitted.

Planner Blayney added the Applicant is proposing to maintain the existing 44 parking stalls, including two (2) ADA parking stalls, which meet the off-street parking requirements for the proposed uses.

Planner Blayney introduced the representative of the Petitioner, Aaron Reinke, Bazos, Freeman, Schuster & Pope, LLC, 1250 Larkin Avenue, Elgin, IL 60123.

Mr. Reinke thanked Planner Blayney for summarizing the application and was available to answer any questions from the Commissioners.

Chairman Micklevitz opened the meeting to comments and questions from the Planning and Zoning Commissioners.

Member Watson asked what the height of the existing building is in comparison to the proposed building addition. Planner Blayney said the maximum height of the proposed building addition is 30 feet and will match the height of the existing building. Member Watson asked if they will be exceeding the lot coverage with the proposed building addition. Planner Blayney said the lot coverage will not be exceeded. Member Watson stated he noticed there were public utilities buried on the south end of the building and asked if the utilities needed to be relocated. Mr. Reinke said no.

Vice-Chairman Tarka asked how the building addition would be utilized. Mr. Reinke replied that the applicant manufactures technical glass and that they intend to use the additional space to store their glass products. There was a discussion about what technical glass is and the other products Cat-I makes.

Chairman Micklevitz opened the meeting to public comments and questions. There were no members of the public present to speak for or against the application.

A motion was made by Member Watson that the Planning and Zoning Commission approves CD 2023-06 for a Major Site Plan Review and Aesthetic Design Review for the property located at 900 Schneider Drive in the I Industrial District with the following conditions:

- Construction shall be in substantial compliance with the following plans:
  - Site Plan & Geometric Plan, prepared by Bono Consulting Civil Engineering, dated 05/18/2023.
  - Building elevations, prepared by Allen + Pepa Architects, dated 06/09/2023.

The motion was seconded by Member Blair. There was no further discussion of the motion. The vote was as follows:

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
 Nays: None  
 Abstain: None  
 Absent: Kusswurm

The motion CARRIED (6-0-0-1).

2. **CD 2023-07:** Major Site Plan and Aesthetic Design Review for a new Motor Vehicle Service facility known as Extreme Car Wash on the property located at 410 N. McLean Boulevard – WT Group, LLC, Applicant

Planner Blayney presented the staff report. She summarized the request and explained that the Applicant is seeking approval for the construction of a new car wash facility, to be known as Extreme Car Wash, on the property located at 410 N. McLean Boulevard. The subject property is within the B-2 Community Business District where the Motor Vehicle Service (car wash) use is a permitted use.

Planner Blayney explained the proposed building would be 5,697 square feet and located along the north end of the property. The building height at the highest peak is 33-feet which meets the B-2 District requirements.

Planner Blayney said the Applicant is proposing to have three (3) drive-thru lanes that will merge into one drive-thru lane before entering the building from the east side. The site plan also shows 15 parking stalls, including one (1) ADA parking stall, which meets the off-street parking requirements of the UDO. All driveway entrances to and from the site will be from the privately owned access driveway to the west, no direct access to the site will be from McLean Boulevard.

Planner Blayney noted the building façade will mainly be constructed with split face block and stone veneer. The building will also have red pre-finished metal fascia trim and wood grain plank tile details. The proposed building meets the Village's design requirements for Commercial Districts.

Planner Blayney explained the Applicant is adding landscaping along the driveways fronting McLean Boulevard and the private access driveway to the west and south which will include a variety of shade trees, ornamental trees, shrubs, grasses, and perennial species. The dumpster enclosure will be constructed with block to match the main building and will be gated with PVC gates. Planner Blayney noted that the garbage enclosure has been relocated since the distribution of the agenda packet and is now in a permitted location, located at the southwest corner of the parking lot area.

Planner Blayney introduced the representatives of the Petitioner: Dan Gunsteen, 651 South Sutton Road, Suite 305, Streamwood, IL 60107; Chris Kalischefski, 2675 Pratum Avenue, Hoffman Estates, IL 60192; and Ben Bussman, 207 South Naperville Road, Wheaton, IL 60187.

The Applicant stated that Planner Blayney had provided an excellent overview of the project and would take questions from the Commission or public.

Chairman Micklevitz opened the meeting up to comments and questions from the Planning and Zoning Commissioners.

Member Blair asked about how customers would access the site from McLean Blvd. Planner Blayney clarified there is no direct access from McLean Boulevard. She stated access is from the private roadway to the west of the site. There was a brief discussion about the various access points and routes to the site.

Member Blair asked if the private drive was maintained by the Village. Planner Blayney explained that the access driveway is privately owned and maintained per a declaration document for the subdivision. Member Blair asked if the road would ever be turned over to the Village to maintain. Planner Blayney said no. Member Blair asked if the private road would be able to support the increased traffic to the proposed business. Planner Blayney said yes. Member Blair was concerned the road was not wide enough with the additional traffic generated from the proposed use. Mr. Kalischefski said the private roadway is 24 feet in width and explained how customers would maneuver on site to reduce traffic backing up into the private roadway. Mr. Gunsteen added that vehicles utilizing the car wash are processed in under 3.5 minutes. He explained new technology allows car wash facilities to process 150 cars per hour at a maximum. He highlighted the three (3) drive-thru lanes that will merge into one drive-thru lane before entering the building will help manage traffic on-site. He noted that he does not anticipate traffic ever being an issue.

Member Blair asked if there was sufficient stormwater management for the site. Mr. Bussman explained that the stormwater would be collected and redirected through a pipe to the existing retention pond to the west of the site that was designed for the entire subdivision. Member Blair asked if the pipe was underground. Mr. Bussman said yes.

Member Blair was concerned about excess water coming off the cars when exiting the carwash. Mr. Gunsteen explained that the cars are mostly dry as they exit the car wash and only a small amount of water comes off the car after exiting the car wash. He added that they also will have a trench drain at the exit to catch any remaining water and the concrete pavement at the exit is heated to prevent freezing of the water in the winter months.

Member Tarka asked where the dirty wash water would go. Mr. Gunsteen explained it goes to the triple catch basin and then to the sanitary utility. He added that they clean the triple catch basins twice a year. Member Tarka asked if this is acceptable to the wastewater treatment district. Mr. Gunsteen noted that they use no hazardous products and only use products that are biodegradable. Director Hill added that Fox River Water Reclamation District will also be reviewing the plans when the applicant applies for permits.

Member Blair asked if the water pressure would affect the surrounding residential area. To which Mr. Gunsteen said no.

Member Watson asked about business hours. Mr. Gunsteen stated the car wash will be open at 7:00 a.m. and close at 9:00 p.m. in the summertime and in winter it will be 7:00 a.m. to 8:00 p.m. Member Watson was concerned that 7:00 a.m. may be early for the surrounding residential uses. Mr. Gunsteen explained that the sound is muffled through the overhead doors they have installed at the entrance and exit of the car wash. He explained when a car enters the carwash, the overhead door immediately shuts and stays shut until the car exits the wash. Mr. Gunsteen explained that all the equipment is inside the building so there is no equipment noise outside of the building.

Vice-Chairman Tarka asked where the employees are stationed during business hours. Mr. Gunsteen said the employees are at the pay stations and at the entrance of the carwash to assist in loading the car. He added that they also have employees dedicated to constantly maintaining the site, including emptying trashcans and sweeping the parking lot. Vice-Chairman Tarka asked if the car wash would have vacuums available for use. Mr. Kalischefski said yes. There was a brief discussion about the convenience and safety of the location of the vacuums.

Member Watson noted that the refuse area is near the southernmost queuing lane and wanted to know how it would affect garbage pickup. Mr. Gunsteen said that the garbage companies typically come to his other facilities in the early morning so that it does not impose on business hours of the car wash. Member Watson was concerned that the garbage truck would be disruptive in the morning to the surrounding residential homes. Mr. Bussman said they relocated the dumpster to meet the zoning requirements per staff's request.

Member Garcia asked if the drive-thru lanes would be separated with a curb. Mr. Kalischefski clarified that the lane separation would be painted so that fire trucks can properly maneuver the site.

Vice-Chairman Tarka asked what accommodations would be made to store the snow. Mr. Gunsteen highlighted on the site plan the landscape area they would be utilizing for snow storage.

Member Blair asked where the business's signage would be placed. Planner Blayney explained a monument sign is being proposed at the northeast corner of the property adjacent to McLean Boulevard and meets the Village's sign requirements. Planner Blayney added that the signage package was not provided to the Commission for review since it complies with the Village code. Therefore, it does not require the Planning and Zoning Commission's review and approval.

Vice-Chairman Tarka said the building aesthetics looks nice. Member Metz asked when construction would start on this project. Mr. Gunsteen said late fall or early spring.

Chairman Micklevitz opened the meeting to public comments and questions. There were no members of the public present to speak for or against the application.

A motion was made by Vice-Chairman Tarka that the Planning and Zoning Commission approves CD 2023-07 for a Major Site Plan Review and Aesthetic Design Review for the property located at 410 N. McLean Boulevard in the B-2 Community Business District with the following condition:

- Construction shall be in substantial compliance with the following plans:
  - Site Plan, prepared by WMA, dated 08/09/23.
  - Landscape plan, prepared by WMA, dated 08/09/23; and
  - Building Elevations, prepared by WT Group, dated 07/20/23.

The motion was seconded by Member Blair. There was no further discussion of the motion. The vote was as follows:

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
Nays: None  
Abstain: None  
Absent: Kusswurm

The motion CARRIED (6-0-0-1).

3. **CD 2023-08:** Concept Plan Consultation for a multi-family residential development to be known as Authentix South Elgin Apartments for the property commonly known as the Cavitt Farm – Continental Properties, Applicant.

Planner Blayney presented the staff report. She summarized the request and explained the Applicant, Continental Properties Company, Inc. (“Continental”), is requesting feedback on a Concept Plan for a multi-family residential, located on the property commonly known as the undeveloped portion of the Cavitt Farm located at the northwest corner of North Lancaster Road and S. McLean Boulevard.

Planner Blayney noted the subject property consists of approximately 30-acres. The Applicant, Continental, is proposing a residential subdivision containing 336 multi-family dwelling units across fourteen (14) residential buildings. Access to the site will be from North Lancaster Road. The development will also include a community clubhouse, pool, maintenance building, pet park, mail kiosk, and private park area. The Applicant is also proposing a 6.57-acre public park located at the north end of the subject property.

Planner Blayney explained the multi-dwelling unit buildings will be two-stories and 32-feet in height. Each building will contain 24 dwelling units. The multi-dwelling unit buildings and clubhouse buildings will be finished with horizontal and vertical siding. Each apartment unit will have a private, direct, ground-level, outdoor entrance with a covered entry.

Planner Blayney noted the Village’s Unified Development Ordinance (UDO) requires 1.5 parking stalls per apartment unit. The Applicant is proposing to exceed this requirement by providing 1.8 parking stalls per apartment unit with additional guest parking areas.

Planner Blayney stated this property is Subarea 5B of the Comprehensive Plan and Low or Medium Density Residential land uses are recommended. The proposed density of the residential development is approximately 11.2 dwelling units per acre, which meets the density requirements for Medium Density Residential land uses.

Planner Blayney explained the subject property is currently not annexed into the Village of South Elgin. Upon annexation, the subject property would be rezoned to the R-3 Multiple Dwelling Unit District to allow for the proposed residential multi-unit dwelling use.

Planner Blayney stated the Commission may wish to consider and offer feedback on the goals of the Comprehensive Plan; whether the proposed multi-family are the highest and best use for the property, the overall layout, park location & need, stormwater location, ingress/egress points to the site, the overall impression of the typical building elevations for the proposed residential and clubhouse buildings, the various landscape and buffering between the proposed and existing residential uses, and landscape and buffering along the east side of the proposed development between the proposed residential uses and McLean Boulevard.

Planner Blayney introduced the representatives of the Petitioner, Sara Johnson and Brian Wustmann, Continental Properties, W134N8675 Executive Parkway, Menomonee Falls, WI 53051.

Ms. Johnson explained that Continental Properties was founded in 1979 and their headquarters is in Menominee Falls, Wisconsin. She explained that they started with retail development and in early 2000 introduced their multifamily brand. She stated they currently operate the Springs in South Elgin in South Elgin. She also outlined the various other communities within the Chicagoland metro area.

Ms. Johnson explained that this proposed development would be Continental's Authentix Apartments line of product. Authentix Apartments will offer 2-story garden style apartments that services the unmet moderate income rental housing nationwide. She said they are appealing to middle-income workers within the area that maybe single or have young families and seniors.

Mr. Wustmann reiterated that Continental currently has a presence in South Elgin near the corner of Stearns Road and Randall Road. He outlined the proposed site is the undeveloped portion of the Cavitt Farm property located near the northwest corner of North Lancaster Road and S. McLean Boulevard. He explained this location could benefit the surrounding employers in the healthcare, manufacturing, retail, and service industries.

Mr. Wustmann identified that there will be 14 residential buildings with a 6.57-acre public park located at the north end of the subject property. Mr. Wustmann touched on the apartment common amenities, which include a community clubhouse, pool, fitness center, maintenance building with a car care, pet park and pet washing station. He highlighted that they will be providing various landscaping and buffering between the proposed and existing residential uses as well as landscape and buffering along the east side of the proposed development between the proposed residential uses and McLean Boulevard. Mr. Wustmann said the primary access will be off North Lancaster Road.

Ms. Johnson provided an overview of the aesthetics of the buildings and the facility and said they can change the color scheme if the Village desires. She explained the multi-dwelling unit buildings will all be two-stories. She explained that all homes will have either private or semi-private entrances. The apartments will consist of a mix of studio, 1-bedroom, 2-bedroom, and 3-bedroom apartments.

Chairman Micklevitz opened the meeting to comments and questions from the Planning and Zoning Commissioners.

Member Blair asked if they have been in communication with M/I Homes who is the developer of the residential development, Becketts Landing, to the west of the subject property. Ms. Johnson said they have had one conversation with M/I Homes, and they are keeping the lines of communications open as they move through the process. Member Blair asked if the proposed density was acceptable to the Village. Planner Blayney said the proposed plan is within the

medium density guidelines outlined in the Comprehensive Plan. Member Blair asked if the Spring of South Elgin apartments was currently fully occupied. Ms. Johnson said that the Springs of South Elgin is at about 95% occupancy, and they are at a 4.5 percent star rating from their residents.

Member Metz asked if they would be managing the property once it has been fully constructed. Ms. Johnson said yes. She explained Continental typically has a property manager and maintenance staff living on the premises.

Member Blair asked how the apartments in McHenry were received by the community. Ms. Johnson said very well because of the demand for this type of housing. Member Blair asked what Continental planning for the proposed park. Ms. Johnson said they are open to suggestions from the Commission. Chairman Micklevitz asked if the Parks and Recreation Department had any input on the use of the park space. Director Hill said they have not had any initial discussion on how to program the proposed park space. Director Hill further explained that Becketts Landing is providing a 10-acre park for younger children and did not see a need for a second park of that nature. Director Hill suggested pickleball courts or a walking trail may be more appropriate for the proposed park space, if any is donated.

Member Metz asked how it would be determined who would get a garage space. Mr. Wustmann explained there is 84 total garages are available for an additional cost to the rent. Member Garcia asked if the number of garage spaces were included in the parking counts. Mr. Wustmann said yes. Vice-Chairman Tarka asked for the breakdown of the number of studio apartments. Mr. Wustmann replied 32 studio, 136 one-bedroom, 136 two-bedroom apartments, and 32 three-bedroom.

Vice-Chairman Tarka felt the density of the proposed development would lead to more traffic being generated by the site. She added that she found it difficult to determine how traffic will be impacted since the Becketts Landing Subdivision is not completely constructed. Mr. Wustmann said that is one of the reasons why they are proposing the two access points off North Lancaster Road since they were not sure if they will be granted access off McLean Boulevard. Member Garcia stated if they cannot gain access to McLean Boulevard then they may want to decrease the density of the development. Ms. Johnson felt they would not be given full access to McLean Boulevard but a right-in/right-out might be permitted.

Vice-Chairman Tarka and Member Garcia asked for more information regarding the stormwater retention area. Member Watson stated if it was a wet pond, he would like some security measures to prevent children from accessing it.

Member Watson asked how they will prevent nonresidents from accessing the pool area. Ms. Johnson explained the pool is accessed through the clubhouse which is only accessed with a key fob given to residents. Member Watson asked how high the fence around the pool would be. Ms. Johnson said it would be in accordance with the Village Code. Member Watson said he thinks the fence should be 8-feet in height around perimeter of the pool.

Member Watson asked if the new water tower is being designed to include the water use for this development. Planner Blayney said yes, it is being designed to incorporate the capacity of any future development on the subject property.

Member Watson asked about the locations of the garbage enclosures. Ms. Johnson noted there is one garbage enclosure that includes a trash compactor and recycle area. She explained they typically place it near the exit of the site so residents can drop their trash in the refuse area on their way out of the development. She added they request garbage pickup multiple times each week depending on the needs of the apartment development. Member Watson said he would like to see an additional dumpster on the north end of the development. Member Metz agreed with Member Watson.

Member Watson liked the placement of the sidewalks for school bus loading. Ms. Johnson said they coordinate with the school district so that the school buses pick up the school kids at the clubhouse. Member Watson asked if a bus could maneuver on site. Ms. Johnson confirmed that it is wide enough for fire trucks and buses. Member Watson reiterated that he preferred an access to McLean Boulevard be installed to access the public park.

Member Metz requested a traffic study to be conducted for the development. He asked if there would be a traffic signal at McLean Boulevard and North Lancaster Road. Planner Blayney confirmed there will be a traffic light at the intersection.

Member Metz stated that although it meets the guidelines outlined in the Comprehensive Plan, he believes the density of the development is too high.

Director Hill asked for feedback on the aesthetics of the buildings and if the Commissioners felt it would complement the surrounding residential areas including the Becketts Landing development to the west. Member Garcia said he preferred the apartment buildings with the lighter color pallet. Member Garcia felt the elevations looked nice and he liked the varying rooflines. Member Blair asked if they could present the aesthetics of the Becketts Landing Townhomes next to the proposed Authentix Apartments to see how the building aesthetics complement each other. Ms. Johnson said they would include a visual slide when they come forward to the Planning and Zoning Commission in the future for this project. Ms. Johnson felt the building aesthetics were very complimentary to the area.

Vice-Chairman Tarka did not care for the vertical and horizontal siding of the aesthetics of the buildings. She felt dark siding color pallet appealed to her more and provided more depth to the buildings. Chairman Micklevitz agreed with Member Tarka. Director Hill explained that the complex may have various colors for the different buildings. Ms. Johnson explained that they typically have 4 different color scheme options for each of the different building models. Member Watson liked the different rooflines and felt it made it more visually appealing.

Member Watson asked in a snow event where the snow would be stored. Mr. Wustmann replied they typically store the snow in landscaping areas but sometimes they will remove it offsite depending on the amount of snow. Ms. Johnson added there are ample options to store the snow and that will not affect parking.

Member Metz repeated that he did not care for the density of the development. Member Watson stated that he believes felt that the proposed density was fine and meets an unmet need. He stated he would rather see a residential use than an industrial use. He explained that he believes this type of housing complements the area and fills a void for additional housing options. Member Metz clarified he does not have an issue with the use and would just like to see less density. Member Watson reminded Member Metz that this was in line with recommendations of the Comprehensive Plan. Director Hill stated that the feedback provided on this issue is useful and that the Applicant could likely provide some additional information with their formal application to ease the concerns about density. Ms. Johnson encouraged the Commissioners to visit the McHenry Authentix development to see that project with a similar density. She said she would be happy to coordinate a trip or arrange a discussion with the McHenry development's property manager.

Ms. Johnson thanked the members for their feedback.

Chairman Micklevitz opened the meeting up to public comments and questions. There were no members of the public present to speak for or against the application.

## **F. NEW BUSINESS**

### **1. IL-APA Planning and Zoning Commissioner Training Workshop on September 20, 2023**

Planner Blayne explained the September meeting would be a training workshop as talked about at the previous meeting. Planner Blayne asked if any of the Commissioners would have any issue moving the time of the meeting up to 6:00 p.m. The Commissioners present said they did not foresee a problem having the meeting earlier. Director Hill announced that they will begin the training at 6:00 p.m.

Director Hill explained that the Village is seeking input from South Elgin residents on ways the Village can support older adults as they Age-in-Community. Director Hill stated that in US Census Bureau predicts that by 2030, twenty percent of the US population will be age 60 and older. She announced that there is an article in the most recent Village Light newsletter that asks our South Elgin residents to complete a questionnaire about this topic. The questionnaire is available on the Village's website or at the South Elgin Village Hall. She added that resident's input will in part lay the groundwork for a new Comprehensive Plan.

**G. PUBLIC COMMENT**

No members of the public came forward to address the Commission.

**H. ADJOURNMENT**

Having no further business, a motion made by Member Watson to adjourn the regular meeting of the Planning and Zoning Commission, which was seconded by Member Blair. With a voice vote of all ayes and no nays, the motion CARRIED unanimously.

Chairman Micklevitz adjourned the meeting at 8:57 p.m.

Respectfully submitted,

Dione Stirmell  
Recording Secretary

**Minutes of the Regular Meeting  
of the Planning and Zoning Commission  
September 20, 2023 - DRAFT**

**A. CALL TO ORDER**

The Regular Meeting of the Planning and Zoning Commission was held on Wednesday, September 20, 2023 at the Public Services Facility, 1000 Bowes Road, South Elgin, IL. The meeting was called to order at 6:05 p.m. by Chairman Micklevitz.

Chairman Micklevitz stated the role of the Planning and Zoning Commission and the procedures for the meeting.

**B. ROLL CALL**

Commissioners present were: Chairman Jason Micklevitz; Pamela Blair; Omar Garcia; Vice-Chairman Cynthia Tarka; and Rich Watson.

Staff present at the meeting were: Director of Community Development Nancy Hill; Community Development Coordinator Lauren Tredup; and Recording Secretary Dione Stirmell.

Members absent were: Tom Kusswurm and Leo Metz.

Ayes: Blair, Garcia, Metz, Micklevitz, Tarka, Watson  
Nays: None  
Abstain: None  
Absent: Kusswurm, Metz

The motion CARRIED (6-0-0-2).

**C. DISCUSSION**

1. IL-APA Planning and Zoning Commissioner Training Workshop

Lauren Tredup introduced the training presenters: Tom Farace, AICP, and Greg Jones, AICP, volunteers for the Illinois Chapter of the American Planning Association (ILAPA), 148 N. 3rd Street De Kalb, IL 60115. She stated Mr. Farace and Mr. Jones would be presenting information to the Planning and Zoning Commission for training purposes. Mr. Farace and Mr. Jones introduced themselves and provided their backgrounds and experience.

Mr. Farace provided an overview of the importance of the Comprehensive Plan, long range planning, public participation, and plan implementation. He offered tips on managing public participation during public hearings and explained various types of development regulations. He described zoning codes, building codes, sign codes, annexations, findings of fact, special use standards, and variation standards. He explained

the general roles of elected officials, and staff, as well as that of the Village Attorney. Mr. Jones elaborated on the responsibilities of a Planning and Zoning Commission. He also touched on the duties of the Planning and Zoning Commission Chair. He provided tips on how to run efficient and effective meeting and receive public testimony. The was discussion on ex parte communication and how to handle interactions with applicants, residents, and elected officials outside of a public hearing.

Mr. Farace and Mr. Jones concluded the presentation with a discussion of ethics and conflicts of interest at public hearings and meetings. Mr. Farace also provided a brief history of planning and key dates and court cases. They also touched on the Open Meeting Act (OMA) and provided helpful resources available to the Commissioners. They discussed diversity, equity, and inclusiveness (DEI) and provided resources on the various topics reviewed at the meeting.

#### **D. NEW BUSINESS**

There was no new business to report.

#### **E. PUBLIC COMMENT**

No members of the public came forward to address the Commission.

#### **F. ADJOURNMENT**

Having no further business, a motion made by Member Watson to adjourn the regular meeting of the Planning and Zoning Commission, which was seconded by Member Blair. With a voice vote of all ayes and no nays, the motion CARRIED unanimously.

Chairman Micklevitz adjourned the meeting at 8:46 p.m.

Respectfully submitted,

Dione Stirmell  
Recording Secretary



## STAFF REPORT

To: Chairman Jason Micklevitz and Members of the South Elgin Planning & Zoning Commission

From: Lauren Tredup, Community Development Coordinator

Date: October 18, 2023 Planning & Zoning Commission Meeting

**RE: CD 2023-09: Request for a Special Use to allow for a Cannabis Dispensary use in B-2 Community Business District on the property located at 365 Randall Road – GWB Illinois, LLC, Petitioner**

---

### **Background Information:**

**Petitioner:** GWB Illinois, LLC  
Chris Patel  
646 North Northwest Highway Apt. A  
Park Ridge, Illinois 60068

**Property Owner:** Stony Creek Shopping Center LLC  
Charles S. Margosian III  
1 E. 22<sup>nd</sup> Street Suite 201  
Lombard, IL 60148

**Subject Property:** 365 Randall Road, South Elgin  
PIN(s): 06-33-352-003

**Comprehensive Plan Designation:** Commercial Land Uses

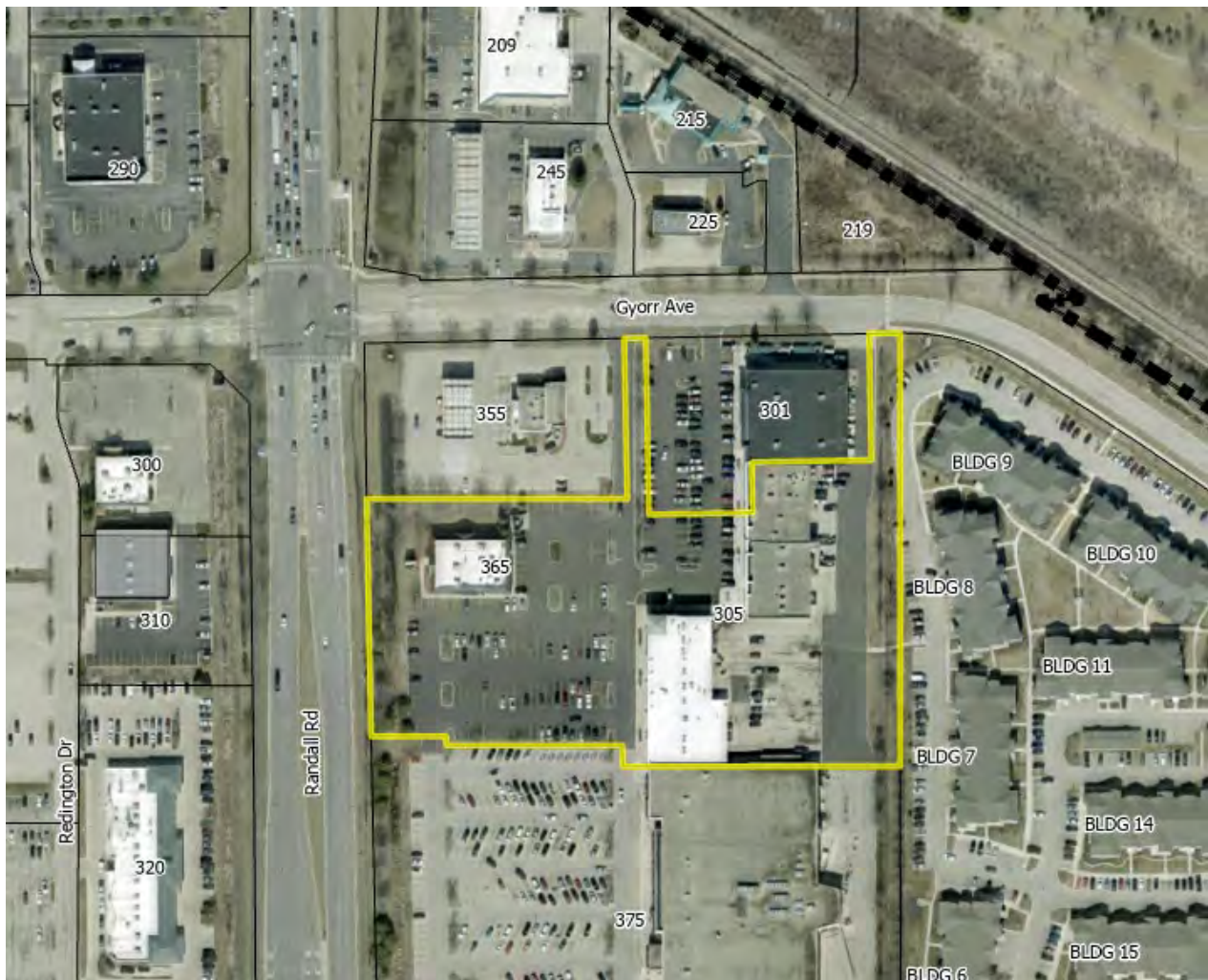
**Current Zoning:** B-2 Community Business District

### **Surrounding Land Uses:**

North: Commercial Uses  
South: Commercial Uses  
East: Commercial & Residential Uses  
West: Commercial Uses

**Request:** The Petitioner is requesting a Special Use Permit for a Cannabis Dispensary use on the property located at 365 Randall Road in the B-2 Community Business District.

**Location Map:**



**Planning and Zoning Commission Review:**

**OPEN PUBLIC HEARING**

*In compliance with state statutes and the Unified Development Ordinance (UDO), a Public Hearing notice was published in the Sunday, October 1, 2023 edition of the Elgin Courier. Property owners within 250 feet of the subject property were notified by mail of the time, date, and place for and how to participate in the public hearing.*

**Project Summary:**

The Petitioner is seeking a recommendation of approval for a proposed cannabis dispensary use at 365 Randall Road. The building at 365 Randall Road is 6,285 square feet and was previously the Outback Steakhouse restaurant, which closed for business earlier this year. The Petitioner plans to divide the building into two tenant spaces; the west tenant space will be approximately 3,000 square feet and will be used for the cannabis dispensary use. The Petitioner plans to sublease the east tenant space in the future for retail or restaurant use.

The exterior building façade of the existing building on the subject property is to remain the same. The main entrance to the proposed cannabis dispensary use will be located on the south side of the building. A secondary entrance will be located on the west side of the building (facing Randall Road) for delivery and receiving purposes only.

No variations or relief from the Zoning Ordinance are being requested. The Petitioner meets the parking requirements. A signage plan has not been submitted to staff to date. In the event a variation is needed for their proposed signage, it will be reviewed under a separate application.

The Petitioner developed an Air Treatment System and Odor Mitigation Plan, Inventory Plan, Plan for Recycling and Destruction of Cannabis Waste and Security Plan for the subject property, as required by the UDO. Below is an overview of the plans. With the exception of the Security Plan due to safety and security reasons, the full plans listed below are attached to this Staff Report for more information.

#### Day-to-Day Operations Plan

The Petitioner outlined a Day-to-Day Operation Plan for the subject property which provides an overview of the dispensary hours, a list of individuals who are authorized to serve as the Manager on Duty/Dispensing Agent-In-Charge, and the daily schedule. The planned hours of operation will be 8:00AM to 10:00PM local time.

#### Air Treatment System and Odor Mitigation Plan

The Petitioner developed an Air Treatment System and Odor Mitigation Plan for the subject property which includes utilizing a heating, ventilation and cooling (HVAC) system designed to move an appropriate amount of air throughout the facility to disperse odors, using industry standard carbon filters throughout the facility including canned filters, placing filters within the HVAC system designed to purify the air, training staff to engage in odor mitigation practices and enact an odor complaint tracking and response plan.

#### Inventory Plan

The Petitioner also provided an Inventory Plan for the subject property. This plan explains that they will use ADP/POS systems through BioTrackTHC and ezGreen, and the State's verification system to track every sales transaction at the time of sale, each day's beginning inventory, acquisitions, sales, disposal, and end of day's inventory, and more.

#### Plan for Recycling and Destruction of Cannabis Waste

The Petitioner created a Plan for Recycling and Destruction of Cannabis Waste for the subject property. This plan outlines the procedures for proper waste management in accordance with all applicable State and Federal Environmental Requirements. The full Plan for Recycling and Destruction of Cannabis Waste for the subject property is attached for more information.

#### Security Plan

The Petitioner developed a Security Plan for the subject property. This plan outlines the Petitioner's proactive crime-detering security strategy including camera placement, access control requiring multiple forms of authorization, ubiquitous presence of agents and security personnel, and other measures to discourage criminal activities.

The Petitioner met with the South Elgin Police Department to discuss the Security Plan and the Police Department did not have any major issues after discussing the plan with the Petitioner. The Petitioner intends to continue working with the Village's Police Department "to adapt to any changes necessary due to the evolution of the cannabis industry".

**Overview of Local and State Regulations Relating to Cannabis Business Establishments:**

In 2019, Cannabis Regulation and Tax Act (the "Act") was signed into law by the state of Illinois to legalize the cultivation, sale, possession, and consumption of cannabis in Illinois, beginning January 1, 2020. The Act allows the Village to regulate cannabis businesses, such as dispensaries, cultivation centers, transporters, processors, and craft growers, collectively known as "cannabis business establishments". In addition, the Act authorizes the Village to enact reasonable zoning ordinances or resolutions regulating cannabis business establishments as long as such regulations are not in conflict with the Act.

Subsequently, the South Elgin Planning and Zoning Commission reviewed and the Village Board approved a text amendment to the Unified Development Ordinance (UDO) to allow cannabis businesses in certain zoning districts, depending on the proposed use. The Village Board also approved a resolution limiting the number of the various types of cannabis business establishments.

A 'dispensary' under Illinois law means a facility operated by a dispensing organization at which activities licensed by the Cannabis Regulation and Tax Act may occur. A 'dispensing organization' under Illinois law means a facility operated by an organization or business that is licensed by the Department of Financial and Professional Regulation to acquire cannabis from a cultivation center, craft grower, processing organization, or another dispensary for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia, or related supplies under this Act to purchasers or to qualified registered medical cannabis patients and caregivers. As used in this Act, "dispensing organization" includes a registered medical cannabis organization as defined in the Compassionate Use of Medical Cannabis Program Act or its successor Act that has obtained an Early Approval Adult Use Dispensing Organization License.

The UDO currently states that Cannabis Dispensaries is a special use in the B-2 Community Business District. In addition, a Cannabis Dispensary must comply with the following conditions as described in *Section 156.07.C Use Standards* summarized below:

| <p align="center"><b>UDO Regulations for Cannabis Business Establishment Uses</b><br/><i>(Section 156.07.C Use Standards)</i></p>   | <p align="center"><b>Does the Petitioner meet UDO Regulations?</b><br/><b>(Staff Review)</b></p>   |
|---|--|
| <p><u>Compliance with State Regulations and Rules.</u> All cannabis business establishments must comply with all applicable state and local laws, including the Cannabis Regulation and Tax Act, as amended, the Compassionate Use of Medical Cannabis Program Act, as amended, and applicable administrative rules.</p>  | <p>Yes, the Petitioner indicates they will comply with all State and Local Regulations and Rules.</p>  |
| <p><u>Compliance with Plans.</u> The development, use, operation, and maintenance of the cannabis business establishment will be in substantial compliance with all application documents and plans, except for minor changes and site work approved by the Zoning Administrator in accordance with all applicable Village rules, regulations, and ordinances.</p>  | <p>Yes, the Petitioner indicates they will comply with with the plans submitted for the Special Use Permit.</p>  |
| <p><u>Minimum Distance Limits.</u> Must be at least 250 feet from existing preschools, elementary schools, secondary schools, day care centers, state-licenses day care homes, parks, and libraries (building measured from property line of sensitive use); and at least 100 feet from a principal residential structure (building measured from the nearest point of principal residential building).</p> | <p>Yes, the proposed cannabis dispensary meets the minimum distance limits requirements.</p> <p>There are no day care facilities or schools in the immediate area of the subject property. The proposed cannabis dispensary is 390 feet from the nearest park located in the City of Elgin and 830-feet from Stearns Sports Park. The proposed cannabis dispensary building is 545-feet from the nearest principal residential structure located in the Springs at South Elgin Apartments.</p> <p>You may also refer to the Minimum Distance Limits exhibit attached to this Staff Report.</p> |

| <p align="center"><b>UDO Regulations for Cannabis Business Establishment Uses</b><br/><i>(Section 156.07.C Use Standards)</i></p>  | <p align="center"><b>Does the Petitioner meet UDO Regulations?</b><br/><b>(Staff Review)</b></p>  |
|--|---|
| <p><u>Security.</u> In addition to all state-imposed security requirements, the village may require a cannabis business establishment to provide sufficient additional safeguards in response to any special security concerns.</p>                            | <p>Yes, the Petitioner indicates they will comply with all State imposed security requirements and intends to continue working with the South Elgin Police Department.</p> <p>Staff suggests the cannabis dispensary be subject to random and unannounced inspections by law enforcement and safety or health inspectors and the Petitioner shall notify the Village of South Elgin Police Department in writing of any changes to the Security Plan within five (5) business days of said change and, where notice is not reasonably provided, no later than three (3) business days after making any such change.</p> |
| <p><u>Air Treatment.</u> In addition to all state-imposed air treatment requirements, the Village may impose additional air treatment requirements on a cannabis business establishment to promote compliance with Village nuisance and other ordinances.</p>  | <p>Yes, the Petitioner indicates they will comply with all State and Local air treatment requirements.</p>  |
| <p><u>Traffic.</u> The Village may impose conditions requiring the design of the cannabis business establishment to minimize traffic congestion, pedestrian hazards, and adverse impacts on surrounding properties.</p>  | <p>The location of the proposed Cannabis Dispensary is located in an existing commercial building that was previously the Outback Steakhouse restaurant, which closed for business earlier this year. Village staff did not express any concerns relating to traffic with the proposed Cannabis Dispensary use.</p>   |
| <p><u>Cannabis Waste.</u> All cannabis business establishments must comply with all state, county, and Village regulations governing cannabis waste.</p>   | <p>Yes, the Petitioner indicates they will comply with all State and Local regulations relating to proper disposal of cannabis waste.</p>   |
| <p><u>Hours of Operation.</u> Unless otherwise prescribed by state law, the Board of Trustees may impose hours of operation for a cannabis business establishment as a condition of any zoning certificate to reduce conflicts with surrounding land uses.</p> | <p>The planned hours of operation will be 8:00AM to 10:00PM local time, which is similar hours of operation to other commercial business establishments in the immediate area.</p>  |

| <p align="center"><b>UDO Regulations for Cannabis Business Establishment Uses</b><br/><i>(Section 156.07.C Use Standards)</i></p>  | <p align="center"><b>Does the Petitioner meet UDO Regulations?</b><br/><b>(Staff Review)</b></p>   |
|--|--|
| <p><u>Drive-Through Windows.</u> Cannabis business establishments may not have a drive-through service.</p>  | <p>Yes, the Petitioner is not proposing a drive-through window for the proposed cannabis dispensary.</p>   |
| <p><u>On-Premises Consumption.</u> No cannabis business establishment may allow the smoking, inhalation, or consumption of cannabis in any form anywhere inside or outside the building on its property.</p>   | <p>The Petitioner indicates they will enforce the prohibition of on-premise consumption of cannabis products inside or outside the building on the subject property.</p>   |
| <p><u>Non-Transferability.</u> The special use applies to the applicant only and is non-transferable.</p>  | <p>The Petitioner understands that the Special Use Permit will be non-transferable.</p>  |
| <p><u>Inspections.</u> Cannabis dispensaries and medical cannabis dispensaries are subject to random and unannounced inspections by local law enforcement.</p> <p>When reasonable cause of a violation exists, all cannabis business are subject to inspections by the Zoning Administrator with the assistance of the Village Attorney, the Police Department, or other Village agents and employees.</p> | <p>The Petitioner understands that local law enforcement may conduct random and unannounced inspections and/or the Village’s Zoning Administrator may conduct an inspection when reasonable cause of a violation exists.</p> |

The Petitioner has met or has indicated they can meet all the above-listed requirements. The Village Board has the authority to require additional safeguards, including imposing hours of operation for a cannabis business establishment, requiring additional air treatment, etc.

The various Village Departments and South Elgin and Countryside Fire Protection District had the opportunity to review the proposed plans and their respective comments have been incorporated into these drawings and plans.

**Review of Special Use Request:** The purpose of a special use is to provide for uses, which may have a special, unique, or unusual impact upon the use of neighboring property. The Village Board, Planning and Zoning Commission, and Zoning Administrator shall evaluate applications for special use permits with specific written findings based on certain standards outlined below.

- 1. The proposed special use will not endanger the health, safety, comfort, convenience, and general welfare of the public.**

Petitioner's Findings: No, the proposed adult use dispensary will follow all local and state guidelines to ensure the health, safety, comfort, convenience and general welfare of the public.

- 2. The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.**

Petitioner's Findings: Yes, the building is a free standing outlot in the Stony Creek Shopping Center and the special use is compatible.

- 3. The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.**

Petitioner's Findings: Correct, the proposed special use will not impede the normal and orderly development and improvement of other properties.

- 4. The proposed special use will be provided with adequate utilities, access roads, drainage, and/or other necessary facilities.**

Petitioner's Findings: Yes, the building was a fully operating Outback Steak House.

- 5. The proposed special use is consistent with the intent of the elements of the Comprehensive Plan, this Unified Development Ordinance, and the other land use policies of the Village.**

Petitioner's Findings: Yes, as previously discussed with the Village.

## **DISCUSSION BY PLANNING AND ZONING COMMISSION AND PUBLIC**

### **VOTE ON FINDINGS OF FACTS (ROLL CALL VOTE)**

*That the Planning and Zoning Commission accept the Findings of Fact as presented by the Petitioner.*

**CLOSE PUBLIC HEARING (ROLL CALL VOTE)****VOTE ON REQUEST (ROLL CALL VOTE)**

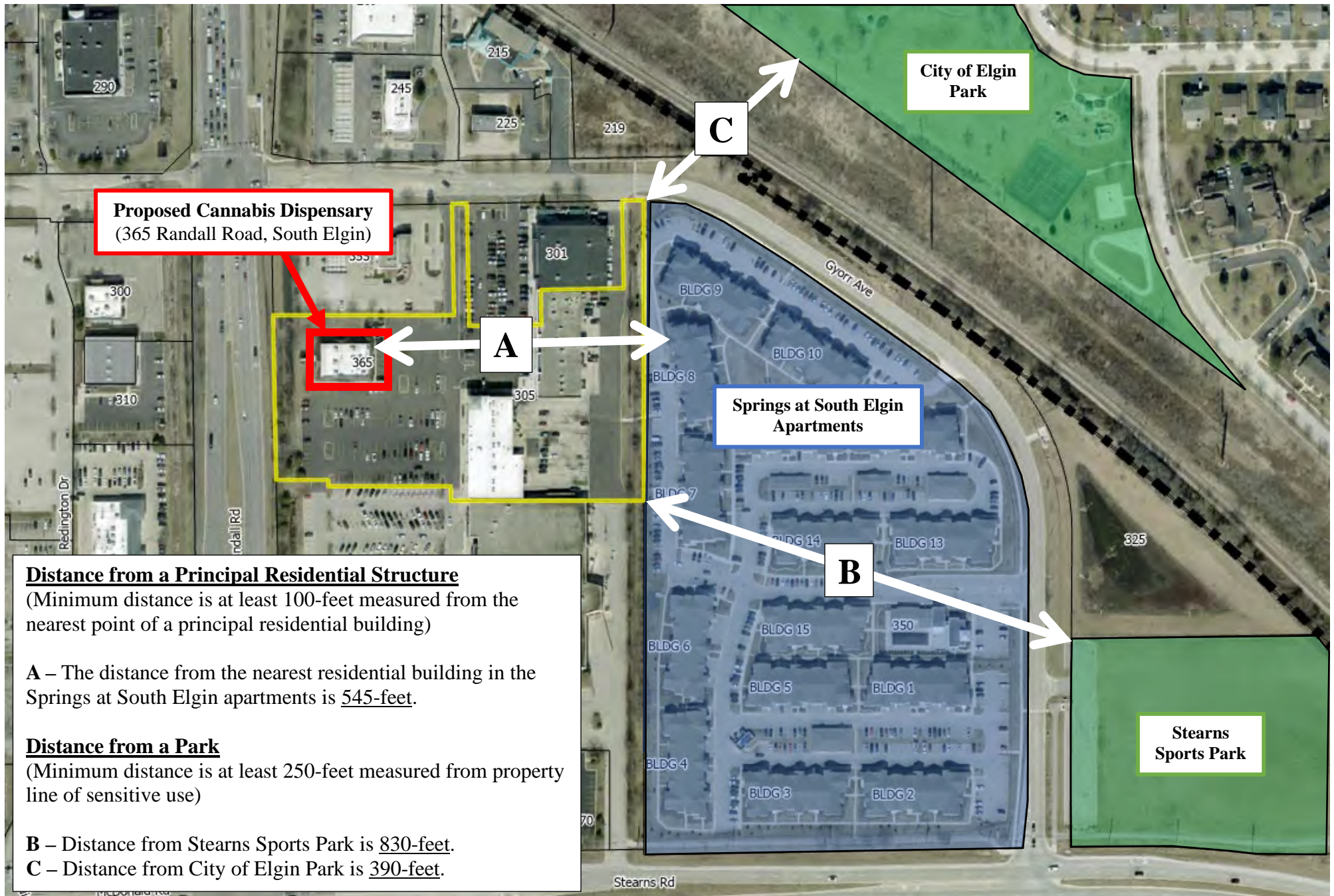
*Recommended Motion: That the Planning and Zoning Commission recommends to the Village Board approval of Petition CD 2023-09 for a Special Use Permit for the proposed Cannabis Dispensary use on the property located at 365 Randall Road in the B-2 Community Business District with the following conditions of approval:*

- *The special use shall apply to the Petitioner only and is non-transferrable;*
- *The Petitioner use shall comply with all state rules and regulations;*
- *The use shall be in substantial compliance with all plans submitted;*
- *On premise consumption of cannabis shall be prohibited;*
- *Prior to the Final Certificate of Occupancy all final applications, plans, and required state licenses to operate as a cannabis business establishment shall be provided to the Zoning Administrator and shall be maintained in effect at all times that the business is operational at the subject property;*
- *The use shall be subject to random and unannounced inspections by law enforcement and safety or health inspectors;*
- *If reasonable cause of violation exists, all cannabis business establishments shall be subject to inspections by the Zoning Administrator, police or other village agents and employees, with the assistance of the Village Attorney;*
- *The Petitioner shall notify the Village of South Elgin Police Department in writing of any changes to the Security Plan within five (5) business days of said change and, where notice is not reasonably provided, no later than three (3) business days after making any such change.*

**Attachments:**

- Minimum Distance Limits Exhibit – Packet Page 28
- Site Plan – Packet Page 29
- Building Elevations - Packet Page 30
- Proposed Floor Plan – Packet Page 31
- Day-to-Day Operations Plan – Packet Page 32-35
- Air Treatment System and Odor Mitigation Plan – Packet Page 36-38
- Inventory Plan – Packet Page 39-40
- Plan for the Recycling of Cannabis Waste – Packet Page 41-42
- GWB Illinois LLC Resume – Packet Page 43-45

# Minimum Distance Limits Exhibit



**Proposed Cannabis Dispensary**  
(365 Randall Road, South Elgin)

**City of Elgin Park**

**Springs at South Elgin Apartments**

**Stearns Sports Park**

**Distance from a Principal Residential Structure**  
(Minimum distance is at least 100-feet measured from the nearest point of a principal residential building)

**A** – The distance from the nearest residential building in the Springs at South Elgin apartments is 545-feet.

**Distance from a Park**  
(Minimum distance is at least 250-feet measured from property line of sensitive use)

**B** – Distance from Stearns Sports Park is 830-feet.  
**C** – Distance from City of Elgin Park is 390-feet.

### LEGEND & ABBREVIATIONS

|                  |                          |                                |
|------------------|--------------------------|--------------------------------|
| UTILITY POLE     | MANHOLE                  | P.O.C. POINT OF COMMENCEMENT   |
| LIGHT POLE       | SANITARY MANHOLE         | P.O.B. POINT OF BEGINNING      |
| TRANSFORMER      | STORM STRUCTURE (CLOSED) | DEGREES                        |
| UTILITY PEDESTAL | STORM STRUCTURE (OPEN)   | FEET/MINUTES                   |
| TRAFFIC SIGNAL   | CURB INLET               | INCHES/SECONDS                 |
| SIGNAL BOX       | VALVE VAULT              | S.F. SQUARE FEET               |
| GAS VALVE        | FLARED END SECTION       | (B) RECORD BEARING/DISTANCE    |
| WATER VALVE      | WATER LINE               | TF TOP OF FOUNDATION           |
| ELECTRIC METER   | TELEPHONE/CATV LINE      | FF FINISHED FLOOR              |
| GAS METER        | GAS LINE                 | TP TOP OF PIPE                 |
| FIRE HYDRANT     | ELECTRIC LINE            | B.S.L. BUILDING SETBACK LINE   |
| AUTO SPRINKLER   | OVERHEAD WIRES           | P.U.E. PUBLIC UTILITY EASEMENT |
| MONITORING WELL  | STORM SEWER              | D.E. DRAINAGE EASEMENT         |
| GROUND LIGHT     | SANITARY SEWER           | L ARC LENGTH                   |
| BOLLARD          | CHAIN LINK FENCE         | R RADIUS LENGTH                |
| B/BOX            | STOCKADE FENCE           | C CHORD LENGTH                 |
| SIGN             | GUARD RAIL               | CH CHORD BEARING               |
| FLAG POLE        | CONCRETE SURFACE         | CMP CORRUGATED METAL PIPE      |

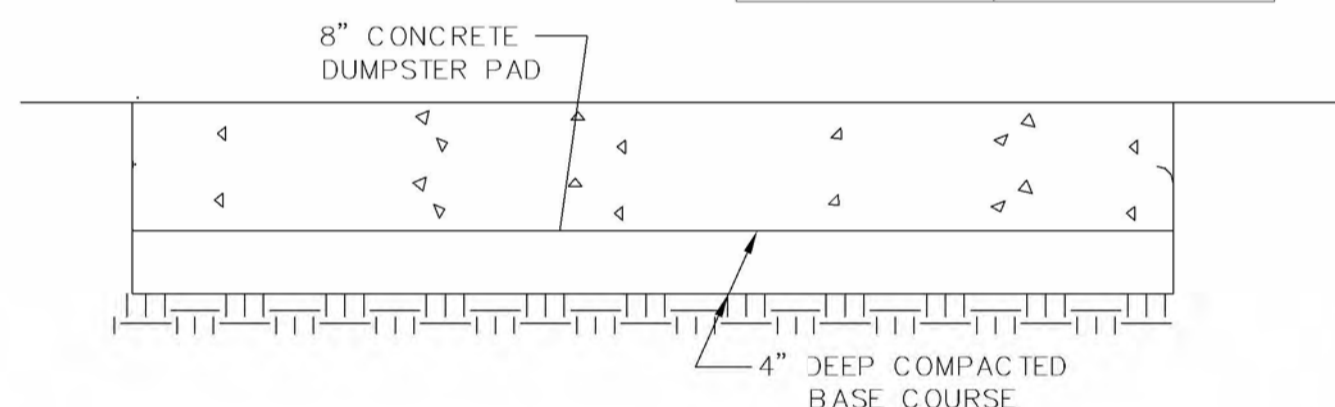
### ZONING INFORMATION

THE SURVEYOR WAS PROVIDED WITH THE FOLLOWING ZONING INFORMATION.  
 NV5 ZONING REPORT. PROJECT NUMBER: 7202100854. DATED APRIL 21, 2021.

THE SUBJECT PROPERTY IS ZONED "B-2" - COMMUNITY BUSINESS.

FRONT SETBACK: 0' MINIMUM.  
 SIDE SETBACK: 0' MINIMUM.  
 REAR SETBACK: 0' MINIMUM.  
 MAXIMUM BUILDING HEIGHT: 50'  
 MINIMUM LOT AREA: 10,000 SQ. FT.  
 MINIMUM LOT WIDTH: 50'  
 MINIMUM LOT DEPTH: NO REQUIREMENT NOTED.  
 MAXIMUM FLOOR AREA RATIO: NO REQUIREMENT NOTED.  
 MINIMUM PARKING: 213 SPACES.

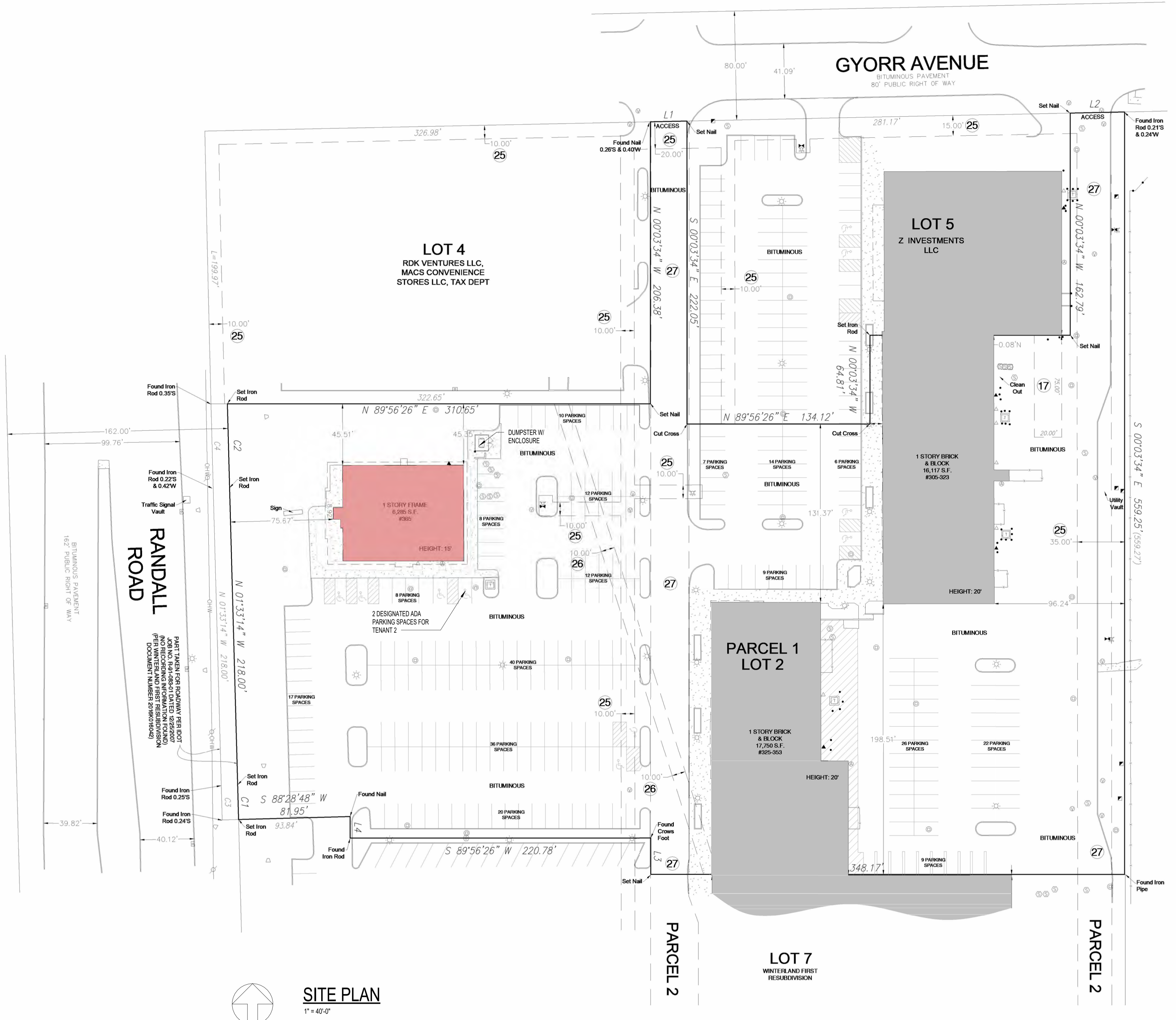
| TYPE OF SPACE | TOTAL EXISTING |
|---------------|----------------|
| REGULAR       | 256            |
| ADA           | 7              |
| TOTAL         | 263            |



**8" THICK CONCRETE DUMPSTER PAD DETAIL**



**LOCATION MAP**



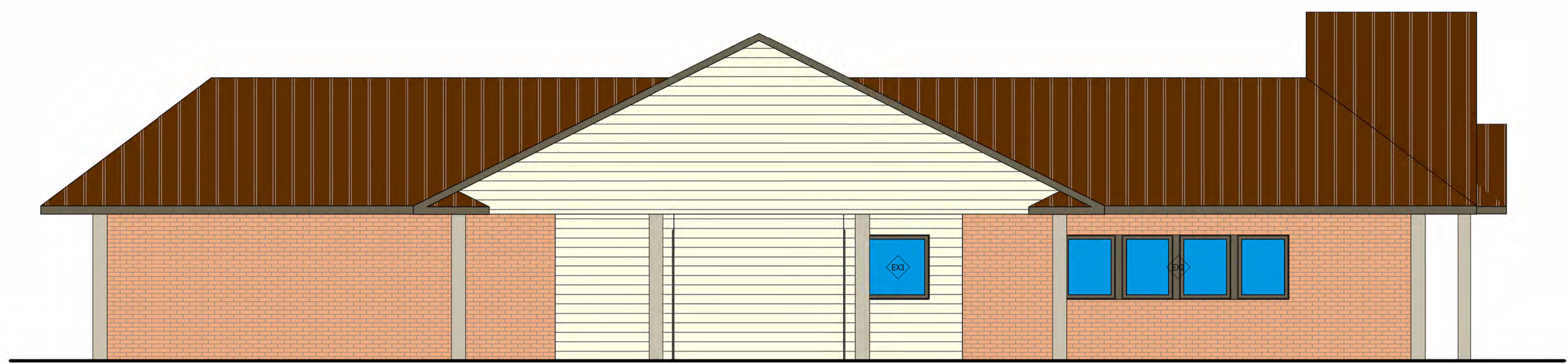
**SITE PLAN**  
 1" = 40'-0"

5844 RED ARROW HIGHWAY  
 STEVENSVILLE, MICHIGAN 49127  
 Phone: (269) 429-7000  
 Fax: (269) 429-7888  
 Email: ade@brooksbros.com  
 © BROOKS ARCHITECTURAL INC. 2023

**BROOKS**  
 ARCHITECTURAL

**SITE PLAN**  
 DRAWINGS FOR:  
**South Elgin Dispensary**  
 365 Randall Rd. South Elgin, IL 60177

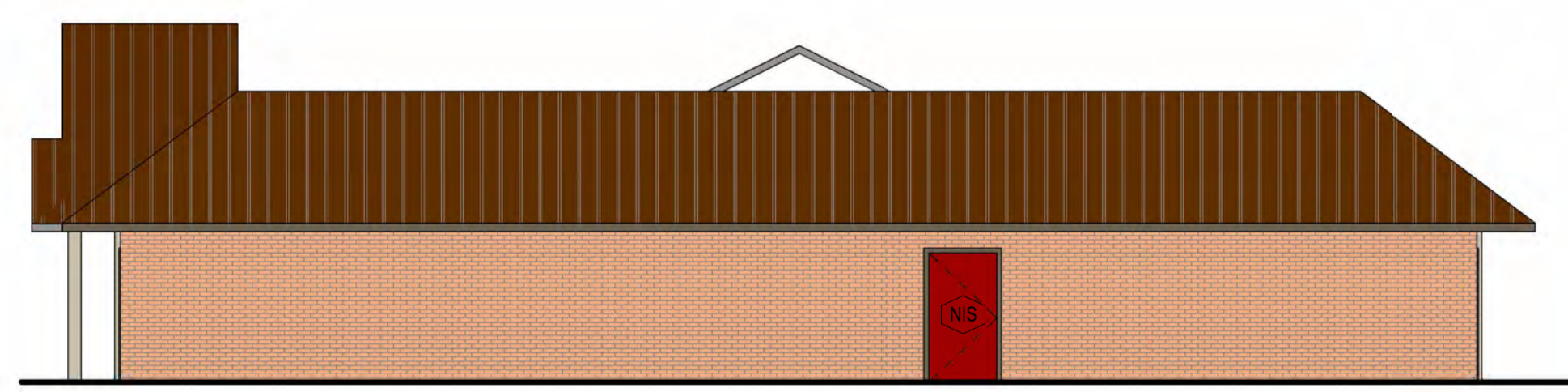
|                      |
|----------------------|
| DRAWN BY: Author     |
| APPROVED BY: Approve |
| REVISIONS            |
|                      |
| PROJECT: 23-033C     |
| DATE: 10.4.23        |
| SHEET                |
| <b>C-1</b>           |
| OF 07                |



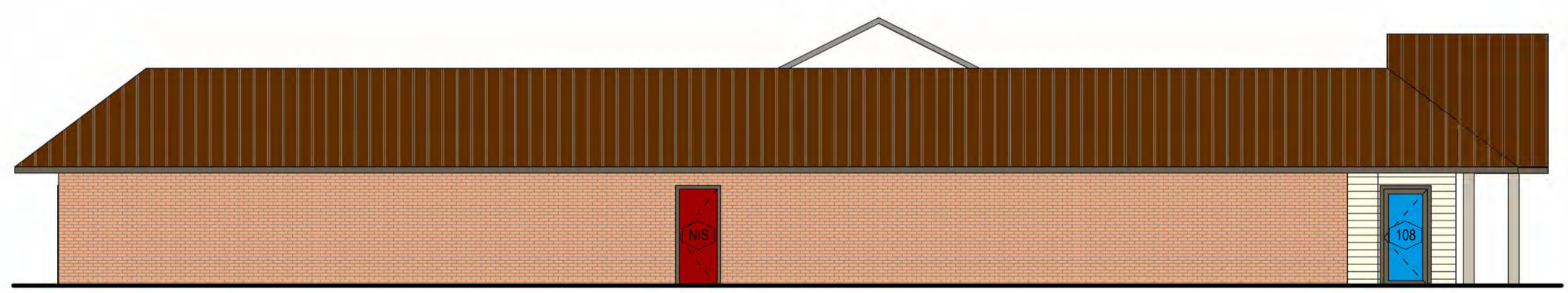
4 RANDALL RD ELEVATION  
1/4" = 1'-0"



3 PARKING LOT ELEVATION  
1/4" = 1'-0"



1 BAH ELEVATION  
1/8" = 1'-0"



2 BACK ELEVATION  
1/8" = 1'-0"

5844 RED ARROW HIGHWAY  
STEVENSVILLE, MICHIGAN 49127  
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Fax: (269) 429-7888  
Email: ade@brooksbarch.com  
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**BROOKS**  
ARCHITECTURAL

**ELEVATIONS**

DRAWINGS FOR:  
**South Elgin Dispensary**  
365 Randall Rd, South Elgin, IL 60177

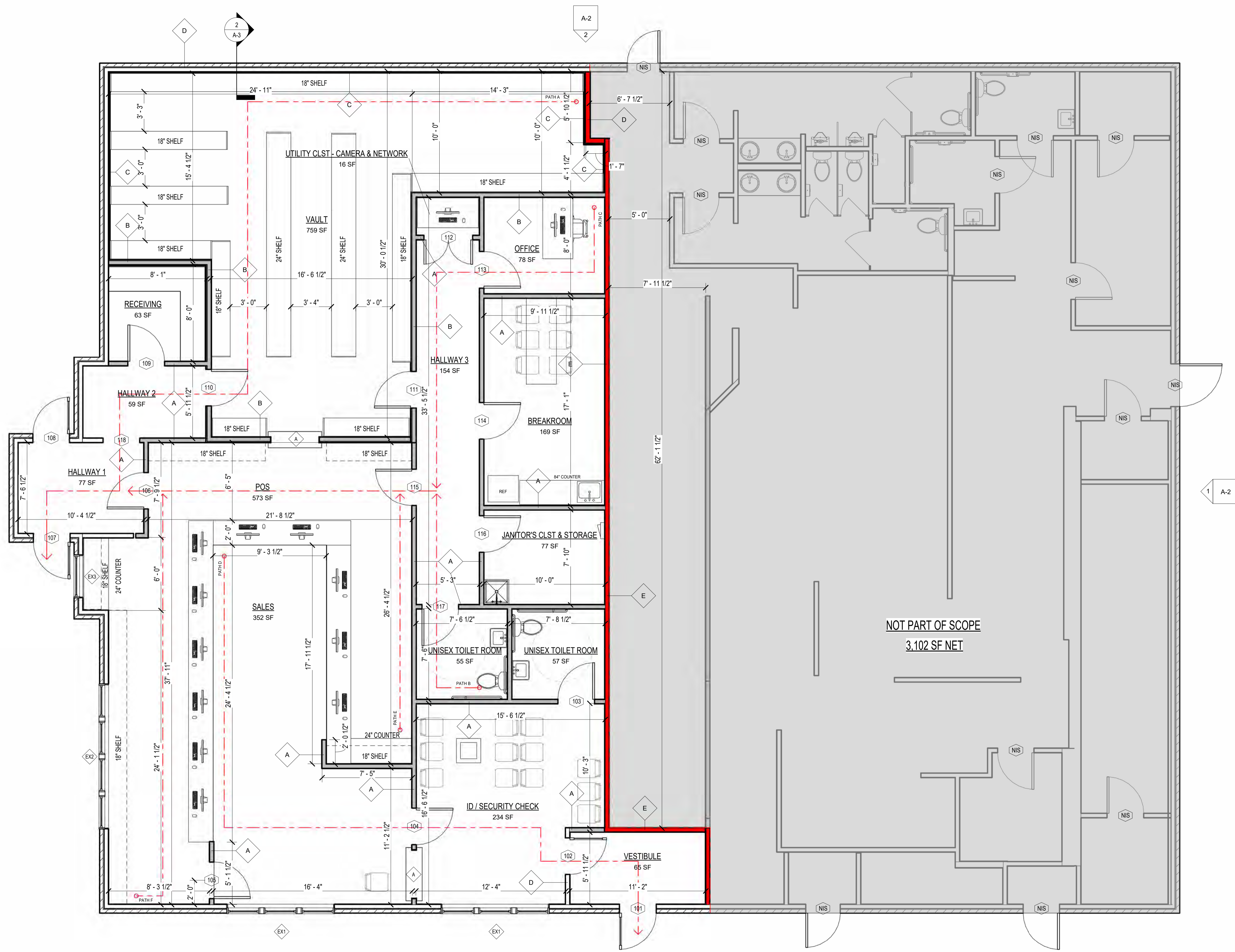
DRAWN BY: CV  
APPROVED BY: AA  
REVISIONS

PROJECT: 23-033C  
DATE: 10.4.23

SHEET  
**A-2**  
OF 07

**TRAVEL DISTANCES**

|        |        |
|--------|--------|
| PATH A | 79.0'  |
| PATH B | 71.25' |
| PATH C | 71.75' |
| PATH D | 42.58' |
| PATH E | 52.25' |
| PATH F | 48.58' |



**FLOOR PLAN**  
 1/4" = 1'-0"  
 2,904 SF NET  
 3,068 SF GROSS

**FLOOR PLAN**

DRAWINGS FOR:  
**South Elgin Dispensary**  
 365 Randall Rd. South Elgin, IL 60177

DRAWN BY: CV  
 APPROVED BY: AA  
 REVISIONS

PROJECT: 23-033C  
 DATE: 10.4.23

SHEET  
**A-1**  
 OF 07

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 ARCHITECTURAL

5844 RED ARROW HIGHWAY  
 STEVENSVILLE, MICHIGAN 49127  
 Phone: (269) 429-7000  
 Fax: (269) 429-7888  
 Email: ade@brooksrch.com  
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## Day to Day Operations

Dispensary hours of operation will be from 8:00 a.m.-10:00 p.m. local time (§15-70[j]).

The following individuals are authorized to serve as the Manager On Duty /Dispensing Agent-In-Charge:

- General Manager (GM)
- Inventory Control Manager (ICM)
- Quality Assurance Manager (QAM)

All managers will be expected to compile shift notes throughout the day with details such as sales numbers, customer counts, employee behavior, security issues, inventory issues, compliance, or any other significant observations or events (§15-95).

## Daily Schedule

### **Agent-In-Charge // Manager on Duty (MOD) Opening Duties, 7:30 a.m.-8:00 a.m.**

The opening MOD (Agent-In-Charge) will arrive at least thirty minutes before the start of business. Upon arrival, the MOD will verify that security personnel are present before unlocking and entering the dispensary. Two or more employees must be present to open the dispensary; managers will not open the store alone (§15-70[n][14]). Once inside, the MOD will disable the entry alarm, turn on lights, unlock the safe, and remove the products to stock the sales floor. The MOD will ensure a guard is posted at the secured entrance(s) to admit arriving employees. Once security is in place, the MOD will turn on the point-of-sale (POS) system terminals and deposit opening cash into the register drawers. The MOD will then turn on the sound systems, powered displays, and/or TVs. The MOD will place any promotional signs needed for the day in their designated locations. The MOD will ensure restrooms are clean and properly stocked. The MOD will count the vendor and change cashbox to ensure correct amounts of cash are on hand. The MOD will perform a brief check of the inventory verification system to determine if any shipments are coming in that day or if any items are on hold or in quarantine. The MOD will assign employees to POS terminals and start a Daily Task List form for each. Finally, they will turn on the open sign. The MOD will interact directly with customers and assist staff in completing transactions as necessary throughout the day.

### **Agent-In-Charge // MOD Midday Duties, 12:30 p.m.-6:30 p.m.**

The MOD will check cash drawers throughout the day to ensure enough change to conduct business and maintain approximately \$250 in each. If a drawer contains more than \$1,000, the MOD will complete a cash drop (move cash from a drawer to the safe) for the terminal to return it to \$250. To perform a cash drop, MOD will remove the cash from the drawer, place the cash in a cash drop envelope, indicate the date, name, point of sale number, time of drop, deposit amount, reason and, for the final cash drop, indicate the final cash amount on the envelope. The MOD will also check the sales floor periodically to help dispensary agents restock and keep it

clean and organized. The MOD will monitor the inventory tracking system and maintain appropriate stock levels.

**Agent-In-Charge // MOD Shift Change Duties, ~12:30 p.m.**

The evening MOD will arrive at least one hour before evening dispensary agents are due. When the evening MOD arrives, they will meet with the morning MOD regarding the day's activities, issues, and any shift notes compiled throughout the day. After the meeting, the evening MOD will check on morning agents to see if terminals need change or require a cash drop and to send the agents to lunch. Overlap in employee scheduling ensures the dispensary is adequately staffed, and that customers are continually served.

**Agent-In-Charge // MOD Closing Duties, 10:00 p.m.-10:30 p.m.**

At 9:55 p.m., the MOD will open the safe and provide the security staff with the keys to the front door, back door, and waste disposal area. The MOD will record the exact time keys are provided and returned, the employee number of the person using the keys, and the MOD's initials on the key log. Directly after closing, the MOD will perform a final drawer count and cash drop on their own terminal and ensure employee terminals are counted out and ready to go for the next day. The MOD will recount the final drop by hand in the presence of at least one other employee. Additionally, the final cash drop will be run through a money counter to verify the final amount is correct. Both the MOD and the witnessing employee will count the money and sign their initials next to the final amount, acknowledging the cash count. The MOD will perform final cash drop counts on all agents and secure them in a safe accompanied by a completed deposit envelope for tracking and recordkeeping purposes. The MOD will count the manager's change drawer to \$6,000, and restock it with adequate change, as necessary. The MOD will also do a final count on the vendor change box to ensure correct amounts were given to the vendor at the time of receiving. The MOD will then shut down all laptops, TVs/monitors, and interior lights, and turn on the facility's exterior lights. At the end of the shift, the MOD will send their shift notes to the GM. Agents will collect the sales floor trash for removal. The MOD will secure keys for the waste disposal area and the front and back doors then place them back in the master lock box. The MOD will ensure that all lighting, outside and inside the dispensary, is in good working order with sufficient wattage for security cameras (§15-70[k][14]). The MOD and security staff will complete a final sweep of the dispensary before setting the alarm and escorting all employees out of the building. Upon exit, the MOD and security staff will confirm the doors are securely locked, exterior lights are functioning (§15-70[k]), and the alarm is properly set before leaving the premises.

**Dispensary Agent Opening Duties, 7:45 a.m.-8:00 a.m.**

Dispensary agents will arrive 15 minutes prior to the start of business to complete their opening tasks and prepare for the business day. After clocking in, each agent will be assigned a POS terminal and daily tasks by the MOD. After receiving their assignment, the agent will log into the POS terminal and open the cash drawer. The agent will then count the cash in the drawer to ensure that there is exactly \$250. Any discrepancies in the starting drawer amount will be reported to the MOD immediately. While counting, the agent will lay the bills out on the counter

according to denomination, and confirm that the bills are “bank faced,” meaning they all face the same side and in the same direction. Change will be counted last, sorted into designated cash drawer compartments by denomination. This exercise will be repeated at the end of the day directly following the close of business. Once the agent has verified their cash drawer is set at the correct base amount of \$250, they will complete the POS sign-in sheet, which will include the following: name; POS terminal number; date; starting and final amount of cash drawer; and dispensary agent’s initials. After the cash drawers have been counted and logged, agents will help stock and forward-face product on the dispensary shelves, following First-In, First-Out (FIFO) inventory methods (§15-65[a][4]). They will confirm perishable products are stocked and faced in the appropriate refrigerated unit. After all products and apparel are replenished, the agent will perform remaining routine maintenance and cleaning, prior to opening.

### **Dispensary Agent Shift Change Duties, ~2:30 p.m.**

At shift change, agents will stagger closing their cash drawers, depending on the flow of customer traffic. The first agent that is asked to close their register will begin end-of-shift restocking and cleaning duties.

### **Dispensary Agent Closing Duties, 10:00 p.m.-10:30 p.m.**

At closing, each agent is required to do a final verification count and cash drop for their register. After the agent has verified the cash in the drawer has been reset to the base amount of \$250, they will provide their final cash drop and completed log to the MOD (Agent-In-Charge). The MOD will count the final drop by hand and run the final amount through a money counter to verify its accuracy in the presence of the agent. Agents are responsible for restocking products on the sales floor throughout the business day. To do this, the agent will first create a list of items that need to be restocked based on the predetermined amounts that fit on any given display shelf. This number is based on the size and dimensions of shelf, as well as the size of the product packaging. Agents will visually inspect each display to discern how many units need to be restocked, then add the items and amounts to the restock list. Once the list is complete, it is given to the MOD (Agent-In-Charge) to approve. The MOD will then accompany the agent into the restricted-access storage area to retrieve the required items. Two employees must be present whenever pulling product from the restricted-access storage areas, to prevent possible diversion and for accountability measures. As agents restock each product, they will make sure its packaging and labeling is intact, faced forward, and that the product has not expired or been damaged. Products will be placed and organized according to expiration dates, with the first products to expire closest to the front of the display, in line with FIFO best practices. Once cannabis products have been replenished, the agents will focus on replenishing non-cannabis stock items. POS stations will be supplied with receipt paper, label paper, ink, counterfeit pens, business cards, discount and loyalty cards, exit bags, and paper bags. Once all products, apparel and supplies have been restocked, the agent will perform basic housekeeping duties such as cleaning the bathroom, wiping down glass displays, collecting trash and placing consolidated trash near the back door (for security to remove trash to a compliant dumpster during their final perimeter check prior to closing), sweeping and mopping. We will also prominently post notices inside of the dispensary that states activities that are strictly prohibited and punishable by law, including, but not limited to:

1. No minors permitted on the premises unless the minor is a minor qualifying patient Under the Compassionate Use of Medical Cannabis Pilot Program Act;
2. Distribution to persons under the age of 21 is prohibited; and
3. Transportation of cannabis or cannabis products across state lines is prohibited.

## Air Treatment System and Odor Mitigation for 365 S Randall Rd., South Elgin

### Introduction

GWB Illinois, LLC, a Illinois limited license liability company (“Company”) plans to operate an adult-use cannabis dispensary located at 365 S Randall Rd., which is a 6,285 SF Free-standing single story building of which 3,000SF will be used for the dispensary. The building is located as an outlet in The Shoppes of Stony Creek shopping center.

This Odor Control and Response Plan details the measures the Company deploys to ensure that no offensive marijuana odor is emitted from the dispensary, the Company's response if odors do ever emanate and the Company's policies to ensure these odor measures remain effective over time. The Company prevents its dispensary from causing any type of odor by engaging in the following activities:

1. Utilizing a heating, ventilation, and cooling (HVAC) System designed to move an appropriate amount of air (cfm) throughout the facility to disperse odors;
2. Using industry standard carbon filters throughout the facility, including:
  - a. Canned filters; and
  - b. Placing filters within the HVAC system designed to purify the air;
3. Training staff to engage in odor mitigation practices; and
4. An odor complaint tracking and response plan.

### Appropriately Sized and Maintained HVAC System

The Company will install multiple appropriately sized HVAC system and a sufficient number of filters to handle the proper movement of air (cfm) throughout the facility to prevent the stagnation of air. Additionally, the Company will install larger exhaust ducts within all rooms where marijuana is stores to create the proper amount of air flow to inhibit odors from accumulating. The Company will deploy a maintenance schedule to ensure service on its odor mitigation systems, and to optimize performance, including the inspection and changing of carbon filters as needed, to ensure such filters do not fail and/or get clogged. The Company may also install a negative pressure system to control odor distribution so that the odors within rooms where marijuana is stored stays contained and does not escape through access doors due to employee and customer traffic. In order to deal with any odor/s, the dispensary has developed odor mitigation strategies to minimize cannabis smells being emitted by the dispensary that will include separate HVAC units as well as separate gas and electric services to accommodate two tenant spaces.

### Use of Activated Carbon Filters

Carbon filtration is known in the cannabis industry to be very effective at controlling marijuana odors. The Company will install activated carbon air filters, which remove 99.5% of all odors and other airborne particles, and which are further described below.

1. Canister Carbon Absorbers. Carbon filtration units, sometime referred to as "carbon cans," are placed throughout the facility to help control odors. Carbon cans have a pre- filter to capture dust particles and an in-line fan to move air through the enclosed carbon filtration system.

The primary method will be the placement of high-quality, activated-carbon filters in the HVAC systems. These filters will be in-line with the HVAC intake in all rooms where cannabis is stored, displayed for sale, or otherwise handled. These filters act by "scrubbing" the air, absorbing contaminants into the activated carbon material as it passes through to be circulated throughout the HVAC system. We selected Can-Filters as the provider of these filters. The brand was selected for their reputation for manufacturing high-quality filters in North America for over 30 years, such as having the thickest filter material and longest shelf life of the various filters we compared. Their filters are designed for the control of VOC's (Volatile organic compounds) (paint fumes, hydrocarbons, etc.), odors and other gaseous contaminants.

As a secondary method, we will utilize a freestanding recirculating floor fan with activated carbon filtration. This type of fan will be located primarily in the receiving room, where product will be inspected. When required this fan can be moved into other areas of the facility, to act as a backup source of odor mitigation, when filters within the HVAC system are being replaced.

All of the following rooms will be equipped with activated carbon filters to absorb a large portion of the odors, and will feature a pre-filter designed to collect particulate matter.

1. Receiving Room — All cannabis items will arrive at the dispensary pre-packaged for individual sale, which will virtually eliminate the potential for detectable odors.

2. Reinforced Vault Room —

Odors should be minimal in designated storage areas. All packages will remain sealed and enclosed in a box or safe in the product storage area. (Cannabis samples will remain in a sealed container). Any product being stored for disposal will remain sealed until it is destroyed. Employees will receive training to make sure that all containers are closed and sealed and will immediately close any containers noticed open in the storage area per standard operating procedures and the employee handbook. They will report any open containers to the agent in charge at the dispensary.

3. Dispensing Room — Opening display or samples is not allowed in dispensaries and therefore, Cannabis samples will then remain in a sealed container in the restricted access storage area.

#### Staff Training to Engage in Odor Mitigating Practices

The Company will train its employees in odor mitigation practices to further the effectiveness of this Odor Control and Response Plan. The Company will train employees to:

(i) keep doors and windows closed at all times to prevent escaping odors,

(ii) continually check the air exhaust and filtration systems to ensure the same are running at all times as required and

(iii) alert management of any marijuana odors that are detectable from the parking lot as they enter the facility daily.

#### Evaluating the Effectiveness of Odor Control Measures

1. Once per week, the Company will engage in an odor analysis to determine the effectiveness of our odor control measures. An employee, before starting the work day, will walk the outer perimeter of the property line and the immediate exterior of the facility to assign a grade to the air quality using the following simple scale for odor intensity:

- 0- No odor, or no odor of the designated component (no marijuana smell);
- 1- Threshold level of the component (slight marijuana smell);
- 2- Definite odor of the component (clear and identifiable smell of marijuana);
- 3- Strong odor of the component (strong marijuana smell); or Overpowering odor of the component (overpowering marijuana smell).

Any score above a 0 will be considered a failing score which requires examination of Company odor control measures and implementation of an immediate response. This weekly

exercise will result in records of these activities, and the Company's responses, if applicable. The Company will maintain these records and provide them to the Village of South Elgin or the state upon request.

#### Tracking Complaints and Response

The Company anticipates having an open and friendly relationship with neighboring businesses and surrounding residences and community organizations. As such, complaints of neighbors and the public will also be used as a tool to determine the effectiveness of the Company's Odor Control Program. The Company anticipates that these odor control measures will be more than sufficient to keep any odors from emanating from the facility. The Company will consider these measures a failure should even a single complaint be registered. If the Company does ever receive a complaint which cannot be remedied by this Plan, the Company will engage the services of a certified industrial hygienist to provide an independent analysis of the Company's odor control devices and to recommend improvements until the problems are identified and remedied. The Company will track complaints made directly to the Company and any that have been made to the Village of South Elgin. The Company will also track the response measures taken and the resolution of each complaint. These records will be made available for inspection by the Village of South Elgin or the state.

## Inventory Plan for 365 S Randall Rd., South Elgin

### Introduction

GWB Illinois, LLC an Illinois limited license liability company (“Company”) plans to operate an adult-use cannabis dispensary located at 365 S Randall Rd., which is a 6,285 SF Free-standing single story building of which 3,000SF will be used for dispensary. The building is located as an outlot in The Shoppes of Stony Creek shopping center.

### Inventory Control System

The Dispensary will assign an Agent-in-Charge for the oversight of the Dispensary’s account with the State’s cannabis inventory verification system, the Dispensary’s Automatic Data Processing (ADP) and Point of Sale (POS) systems.

The ADP/POS systems through BioTrackTHC and ezGreen will be real-time, web-based, and accessible by the Department at any time and will track the date of sale, amount, price and currency exchanged for all transactions.

In the event the ADP or POS system becomes inoperable, the Dispensary will immediately cease sales and any other operations as required by the Department.

The Dispensary will document the following information in BioTrackTHC, the State’s verification system and our ezGreen POS system:

1. Every sales transaction at the time of sale
2. Each day’s beginning inventory, acquisitions, sales, disposal and end of day’s inventory
3. Acquisition of cannabis and cannabis-infused products from a licensed Adult Use cultivation center, craft grower, infuser, dispensary or transporter.
4. The disposal of cannabis and cannabis products.
5. Acquisition records in the State’s verification will include:
  - (a) A description of the products, including the quantity, strain, variety, and batch number of each product received.
  - (b) The name and registry identification number of the licensed Adult Use cultivation center, craft grower, infuser, dispensary or transportation agent delivering the cannabis.
  - (c) The name and registry identification number of the dispensing organization agent receiving the cannabis.
  - (d) The date of acquisition.

The Company will train their staff to follow all inventory procedures and will be asked to review procedures related to their specific tasks at least once per year and give recommendations for improvements.

6. The disposal of cannabis will be recorded in the State's verification system and will include:

1. A description of the products, including the quantity, strain, variety, batch number;
2. The reason for disposing of the cannabis or cannabis product;
3. The date, time and Agents responsible for disposing of the cannabis products.

#### Record Keeping Manager

The Record Keeping Manager will be responsible for archiving paper and electronic records and following the retention policy developed by senior management.

#### Inventory Discrepancies

The Agent-in-Charge will conduct a daily inventory reconciliation documenting and balancing cannabis inventory by cross-checking the State's verification system against the Dispensary's POS system and the physical product in the Dispensary vault. If the Agent-in-Charge determines that there is a discrepancy and an inventory adjustment is necessary, the Dispensary will notify the Department to receive approval prior to completing the adjustment. The Agent-in-Charge will notify the Department by phone and emailing the Inventory Adjustment Form mandated by the Department and include a detailed reason for the adjustment. If the Department implements or requires an alternative method of communication, Dispensary will comply and modify the employee training and Standard Operating Procedures as needed. We will retain all inventory adjustment documentation in a binder labelled "INVENTORY ADJUSTMENT RECORDS" which will be kept in the office where records are stored. We will retain all inventory adjustment documentation for five (5) years. If the Dispensary identifies an imbalance in the amount of cannabis products after the daily reconciliation that is due to a mistake, Dispensary will determine the reason for the imbalance, how it occurred and immediately take and document corrective action to prevent future mistakes. If the Dispensary identifies an imbalance in the amount of cannabis products after the daily reconciliation or through other means due to theft, criminal activity or suspected criminal activity, we will immediately investigate how the reduction occurred. The Agent-in-Charge will notify the Department, the Illinois State Police and South Elgin Police by phone and in writing. The Dispensary will also take and document corrective action. At no point will the Dispensary operate the store if its Point-of-Sale system is inoperative pursuant to 410 ILCS 705/15-70(n)(12). Similarly, if the State's electronic verification system is inoperative, we will not operate the Dispensary, per 410 ILCS 705/15-70(n)(13).

## Plan for Recycling and Destruction of Cannabis Waste for Dispensary at 365 S Randall Rd., South Elgin

### Introduction

GWB Illinois, LLC, a Illinois limited license liability company (“Company”) plans to operate an adult-use cannabis dispensary located at 365 S Randall Rd., which is a 6,285 SF Free-standing single story building of which 3,000SF will be used for the dispensary, the building is located as an outlot in The Shoppes of Stony Creek shopping center.

The dispensary’s waste management policy will be disposed of in accordance with 8 Ill. Adm Code 1000.460. To the greatest extent feasible, all cannabis plant waste will be rendered unusable by grinding and incorporating the cannabis plant waste with compostable mixed waste to be disposed of. The Company will remain in compliance with all applicable State and federal environmental requirements including but not limited to storing, securing and managing all recyclables and waste, including organic waste composed of or containing cannabis and cannabis products.

The dispensary and its staff will abide by the following procedures for waste management:

1. Clearly communicate during training that improper disposal of any type of waste by an employee may be cause for discipline up to and including termination.
2. Prohibit the dumping or disposal of trash, garbage, litter or any kind of waste on the property or any public place.
3. Prohibit the sale of cannabis waste.
4. Keep cannabis waste in a secured waste receptacle /secured area.
5. Physically restrict access to waste receptacles/secured areas by the public.
6. Render products unrecognizable and unusable using methods such as grinding them using a mechanical grinder and mixing them with an inert non cannabis substance.
7. Prohibit disposal unless the cannabis goods have been removed from their packaging.
8. The dispensary will contract with a private waste hauler or municipal waste service to deliver cannabis waster to a permitted solid waste facility for final disposal. Acceptable permitted solid waste facilities include, but are not limited to:
  1. For compostable mixed waste: compost, anaerobic digester, or other facility with approval of the jurisdictional health department:
  2. For non-combustible mixed waste: landfill, incinerator or other facility.
  3. All disposal will be recorded on the dispensaries security system and will be made available to the Village of South Elgin or the state.
9. Employees will weigh, record and enter data into the data system before rendering it unusable in accordance with 410 ILCS. They will record key items in the Inventory Control System including:
  1. Plant or lot identifier of the cannabis to be disposed.

2. Quantity of cannabis waster added to the waste container
3. Description of the cannabis waster being disposed of
4. Weight of mixed waster when entered into storage
5. Weight of mixed waste when removed from storage
6. Waster container identification number, if applicable
7. Method of disposal
8. Date of disposal
9. Confirmation that the cannabis was rendered unusable before disposal
10. Name and signature of Agent in Charge or his/her designee.
10. The Agent in Charge will verify all waste destruction activity which will be conducted in the vault under video surveillance.
11. The dispensary will retain electronic destruction and disposal for a period of no less than five years.

## **GWB Illinois LLC**

### **Summary:**

Experienced professionals with a successful track record in managing and operating dispensary in the cannabis industry. Leveraging two years of hands-on experience in Michigan's cannabis market, we have honed our skills in dispensary management, compliance, and customer service. Our expertise is complemented by over two decades of experience in property development, including hotels with major brands such as Marriott, Hilton, and Holiday Inn, as well as a deep understanding of retail operations from owning and managing liquor stores.

### **Professional Experience:**

#### **Dispensary Owners and Operators - Michigan**

*2 Years*

- Successfully established and managed a cannabis dispensary in Michigan, ensuring compliance with state regulations and consistently exceeding revenue targets.
- Developed and implemented efficient inventory management and procurement strategies, resulting in reduced operational costs and increased profitability.
- Created a welcoming and educational environment for customers, fostering strong customer loyalty and positive word-of-mouth.
- Oversaw a diverse team of budtenders, ensuring high-quality customer service and product knowledge.

- Collaborated with local communities to build positive relationships and promote responsible cannabis consumption.

### **Property Development - Various Hotel Brands**

*20+ Years*

- Managed the development and construction of hotels under renowned brands such as Marriott, Hilton, and Holiday Inn.
- Demonstrated expertise in project planning, budgeting, and on-time delivery, consistently achieving high guest satisfaction ratings.
- Collaborated with architects, contractors, and regulatory agencies to ensure compliance with building codes and zoning regulations.
- Handled negotiations with vendors and suppliers, optimizing procurement processes to maximize cost-efficiency.
- Implemented effective marketing and sales strategies to drive occupancy rates and revenue growth.

### **Retail Management - Liquor Store Ownership**

*10+ Years*

- Owned and operated multiple successful liquor stores, maintaining compliance with alcohol licensing regulations.
- Implemented inventory management systems to track and optimize product selection and availability.
- Managed a team of staff members, emphasizing customer service, safety, and responsible sales.
- Established strong supplier relationships to negotiate favorable pricing and promotional opportunities.
- Adapted to changing market trends, consistently growing sales and profitability.

**Skills:**

- Dispensary Management
- Compliance and Regulation
- Inventory Control
- Customer Service
- Team Leadership
- Property Development
- Project Management
- Budgeting and Financial Analysis
- Retail Operations

We bring a unique blend of cannabis industry expertise, property development acumen, and retail management experience to the table, making them well-suited for the management and operation of a dispensary.



## MEMORANDUM

To: Planning and Zoning Commission

From: Lauren Tredup, Community Development Coordinator

Date: October 18, 2023

RE: Village of South Elgin Development Project Update Report – 2023 Q4

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This memo is to provide the Planning and Zoning Commission (PZC) an update on various development projects it has reviewed:

- **CD 2023-04: Variation to Increase the Maximum Sign Area Allowed for a Wall Sign located at 482 Randall Road – Cima Network, Inc., Petitioner**  
*The request was reviewed by the Village Board on August 7, 2023, and approved at its August 21, 2023 meeting.*
  
- **CD 2023-05: Special Use Motor Vehicle Repair and/or Service (Golden Way Inc.) located at 1790 Gilpen Avenue – Golden Way Inc., Petitioner**  
*The request was reviewed by the Village Board on September 5, 2023, and approved at its September 18, 2023 meeting. The petitioner is working with the Village to obtain a Certificate of Occupancy.*

Should you have any questions, please feel free to contact me at [lblayney@southelgin.com](mailto:lblayney@southelgin.com).