



Specific Development District (SDD)

Riverton City, UT | January 19,

Specific Development District (SDD)

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1. Zoning Established and Intent of this Specific Development District (SDD)

- a. Under the authority of Chapter [18.125](#), this Specific Development District (SDD) is hereby established for the subject property defined in [Exhibit A](#) and incorporated herein by reference. Without limiting the generality of the foregoing, this SDD shall apply to the property referred to herein as CPA-3 unless and until a separate SDD is approved and becomes effective with respect to any portion of such CPA-3 property. In the event a separate SDD is approved and becomes effective with respect to any portion of such CPA-3 property, then this SDD shall not be applicable to any such portion. This SDD provides the design and land use framework as well as the process for the zoning and platting of the subject property, to establish Community Scale Plans, Block Scale Plans and Detail Plan/Plat Submittals for platting and building permits.
- b. The Master Framework Plan (MFP) attached hereto as [Exhibit B](#) and incorporated by reference is hereby established for the subject property to provide for the general neighborhood structure and uses permitted within that neighborhood structure.
- c. The MFP, along with the Master Development Agreement (MDA) for the subject property, provide the core elements for neighborhood design and development, and in conjunction with the MFP, provide for the orderly process for development of the property.
- d. Relationship to General Plan - The General Plan denotes the subject property as a mixture of uses including Regional Commercial, Office and varying densities of residential. This SDD provides for the efficient and sustainable assemblage of those uses into a neighborhood structure that enhances opportunities for sustained neighborhood integrity in changing market conditions. Good design principles assist in facilitating long term market responsiveness in order to preserve the integrity of adjacent neighborhoods and to enhance the value of the subject property as development occurs over time. This value shall be based on principles such as human scale, pedestrian connectivity, housing diversity and potential transit opportunities.
- e. The following standards and design elements of this SDD and those in the MDA, along with any other applicable provisions of the Riverton City Code as limited herein and therein, shall be submitted in applications for a Detail Plan/Plat Submittal and for final plat, which upon approval of the Planning Commission shall authorize the issuance of the necessary permits for development and construction.

2. Definitions - In general order of approval process:

- a. **Master Framework Plan (MFP)** establishes the primary street and drainage infrastructure as well as the Community Plan Areas (CPAs). The CPAs are utilized to demarcate which uses are permitted within a given area of the subject property.
- b. **Community Planning Areas (CPAs)** are the areas described and shown on Exhibit B - Master Framework Plan as a CPA-1, CPA-2, CPA-3, CPA-4 and CPA-5 that set forth different areas within this Specific Development District allowing for various building heights and land uses.
- c. **Master Development Agreement (MDA)** is that certain master development agreement entered into between the Master Developer and Riverton City, dated 24 of March 2017 which establishes the densities by residential unit and non-residential square footages within the subject property as well as the overall community space requirements to be implemented through design and development according to the MFP, Community Scale Plans (CSP), Block Scale Plans (BSPs) and Detail Plan/Plat (DPP) Submittals.
- d. **Community Scale Plan (CSP)** is a high level plan that establishes the boundaries of the applicable area being planned together with basic street networks and subdivision of the blocks and those elements set forth within this SDD. The CSP shall be developed in accordance with the MFP to provide a block pattern, phasing plan and an architectural design palette within the context of the respective CPAs of the MFP. The CSP can range in size from a full CPA to a small, single-user property. The CSP will also include the allocation of the portion of residential units and/or commercial square footage per the allotment established in the MDA. CSPs are submitted to the city informally for the city's review and comment as more fully described in the MDA. CSP areas can be planned and designed in phases including all or portions of a CPA.
- e. **Block Scale Plan (BSP)** is a plan setting for specific units or lots within all or a portion of the property described in a CSP, which plan shall also include those certain elements set forth within this SDD. A BSP shall be created in accordance with the CSP of which the applicable property is a part to establish the block pattern of the neighborhood, and to allocate the permitted densities within the one or multiple Block Scale Plans within the CSP. In accordance with the terms of the MDA CSPs and BSPs can be combined into one submittal and processed simultaneously if the required details and information is provided in the submittal. BSPs are submitted to the city informally for the city's review and comment as more fully described in the MDA. BSP areas can be planned and designed in phases including all or portions of a CPA.
- f. **Detail Plan/Plat (DPP) Submittal** is a plan which begins the engineering and design review process prior to building permit requests. The DPP Submittal shall follow the guidelines as established by the CSP and BSP and will determine final parameters of

development. DPPs are submitted to the city formally for the city's review, comment and approval as more fully described herein. DPP areas can be planned and designed in phases including all or portions of a CPA.

3. Relationship to Other Ordinances

- a. Development and design standards not addressed in this SDD or the MDA shall be governed by the Riverton City Code in accordance with the terms of the MDA. The provisions of this SDD and the associated MDA, when in conflict with the Riverton City Code [Title 18](#), *Land Use and Development* as amended, shall take precedence over those ordinances in the Riverton City Code except as specifically noted herein.
- b. The platting process shall adhere to the Riverton City Code Chapter [17.10](#), *Subdivision Processing and Approval Procedures* as of the effective date of this SDD.

4. Master Framework Plan (MFP)

- a. The following elements of the MFP ([Exhibit B](#)) are hereby established:
 - i. The five (5) Community Plan Areas (CPA) within the corporate jurisdiction of Riverton City, each of which implement specific aspects of the vision for regional mixed-use destinations with significant employment, residential and commercial/retail uses. CPAs are used to identify and assign intensities, height standards and uses as set forth herein. Maximum densities for the entire subject property as described in the MDA ;
 - ii. Backbone Infrastructure network, allocating the necessary main road alignments, securing the ideal intersection locations, and establishing the crossing locations for major utility lines. This Backbone Infrastructure has been planned in coordination with Riverton City and align as it appears on [Exhibit B](#);
 - iii. Light Rail Alignment (subject to final design), locating the preferred location and alignment within this SDD; and

- iv. Community Trails in preferred locations, within the major utility easements and along the Welby Jacobs Canal and Rose Creek Alignments, and subject to further design, engineering and access agreements.
- b. Administrative Adjustments are permitted within a range for the following, so that Riverton City Staff may consider variations to specific items as engineering and development projects are presented throughout the permitting and development process:
 - i. Minor shifts of Backbone Infrastructure shall be allowed up to 500 feet as long as essential intersections and overall connectivity are maintained; and
 - ii. Minor shifts of CPA boundaries shall be allowed up to 1,000 feet or 25% of area, whichever is greater, when Backbone Infrastructure, the Light Rail Alignment, the Welby Jacobs Canal, or Rose Creek are shifted.

5. Detail Plan/Plat Submittal

- a. Submission Process for detailed review includes submission of elements required for the Riverton City plat process.
- b. Required submission content of the Detail Plan/Plat Submittal to be submitted for review and approval by Riverton City include all items required for final plat approval as defined in the Riverton City Code ([17.10.020](#)) and:
 - I. Primary and Secondary Street Network Plan
 - II. Detailed utility plan
 - III. Detailed drainage and grading plan
 - IV. Additional engineering department requirements (as determined through review consultation with Riverton City)
 - V. Signage plan (nonresidential submittals only)
 - VI. Lighting plan (nonresidential submittals only)
 - VII. For multi-family and non-residential, architectural renderings and elevations (with detail as required or requested by Master Developer, any master design review committee, and Riverton City); provided, however, the submittal of such architectural renderings and elevations may be deferred and not included in the Detail Plan/Plat Submittal, in the

developer's discretion, provided the Master Developer and any master design review committee shall have the right to review and approve such architectural renderings and elevations prior to any submittal of same to the City or Planning Commission and, thereafter, the Planning Commission shall have the right to review and approve such architectural renderings and elevations prior to the issuance of any building permit related thereto.

6. Uses Permitted

- a. The table in [Exhibit C](#) and incorporated by reference establishes the uses permitted within each CPA. The uses are categorized by general type in order to allow City Staff to determine the allocation of uses based on function, rather than specific types and to allow for the inclusion of innovative uses that may yet be identified that are consistent with the other permitted uses.
- b. To the extent a separate SDD is approved and becomes effective with respect to any portion of CPA-3, this [Exhibit C](#) shall not be applicable to any such portion.

7. Lot and Block Standards

a. Lot Widths & Setbacks

- i. Minimum lot widths and setbacks shall be as follows:

Use Type	Front-yard Setback Range	Side-Yard	Rear-yard Setback
Single-family lots 45 feet or greater in width	10' Min; 40' Max 20' to garage	5' Min.	10' Min. if front-load garage; 3' to 4' or greater than 18' if rear-load garage
Single-family lots less than 45 feet in width (rear-load)	10' Min; 25' Max (Alley required for garage access)	5' Min.	3' to 4' or greater than 18'
Single-family lots fewer than 45 feet in width (front-load)	10' Min; 25' Max	5' Min.	10' Min.
Multi-family	Connector Street - 40' Max. Pedestrian Focused Street - 20' Max.	10' Min.	10' Min.
Non-Residential/ Mixed-Use	Connector Street - 100' Max. Pedestrian Focused Street - 20' Max	0' Min. ; 30' Min. if adjacent to single-family or duplex lot	0' Min. 30' Min. if adjacent to single-family or duplex lot

- ii. For development within the transition zones in CPA-1 and CPA-2 established height is shown in the Table below in Section 8, the side

and rear-yard setbacks of lots shall be at least the minimum respective dimensions established in the Western Springs Subdivision north of the property line of CPA-1 at the time of the adoption of the SDD.

b. Lot Character

- i. Staggered front yard setbacks - A variable front yard setback should be encouraged within each block.
- ii. Variable lot width - Providing variable lot widths within an individual product line is encouraged.
- iii. Corner lots - Buildings on corner lots should be designed to positively define and frame the public realm of both streets they front. Different frontage types can be used on each of the two street facing facades, the same frontage type can be used on each facade, or a frontage type can wrap around the corner from one facade to the other.
- iv. Lots fronting community space - When a lot is served by an alley it will have the option of being allowed to front onto a community space. (This standard shall override [17.15.020](#) [2] of the Riverton City Code which is hereby inapplicable to the subject property.)
- v. In order to promote a more walkable and mixed use format in site design and development, Riverton City Code [18.155.080](#), nonresidential fencing shall not apply to property governed by this SDD; the exception being, for development adjacent to any outparcels in the north portion of CPA-4, fencing shall be required for incompatible uses unless waived by the adjacent property owner.
- vi. Fencing materials for residential lots adjacent to other lots shall not be chain-link; if wood, they shall be finished framed panel wood.

c. Street Character

- i. Relationship to public realm - Buildings should be oriented to positively define and frame adjacent public streets, and/or public or common spaces, while promoting the collective form of neighborhoods by:
 - (a) Matching or complementing adjacent building setbacks;
 - (b) Matching or complementing adjacent building heights and massing;
 - (c) Completing the streetscape pattern of the street they front.

- ii. Relationship to neighboring homes - Houses should be designed to relate to their neighbors rather than as a stand-alone building. This design standard can be accomplished by, among other things:
 - (a) Matching existing building heights or exceeding them by only one story.
 - (b) Orienting the side yards in order to preserve the privacy of the outdoor spaces of both.
 - (c) Modulating side yard and rear yard volumes to provide as much distance as possible between the facades in order to preserve privacy of the outdoor spaces of both.
 - (d) Placing windows (with different sizes) in side and rear yards designed with care and sensitivity for the preservation of privacy between buildings.
- iii. Activating the street - Buildings should be designed with frontages that engage the street by providing direct access to the public realm (street or Community Space).
- iv. Terminated vistas - The massing of new buildings at street terminations should be designed to acknowledge, through their form, the centrality of their placement relative to the right of way. They should be either placed on the street's center line, or positioned in a manner that convincingly shows that they were not meant to be centered.
- v. Window and door size and placement - Windows and doorways should be designed to reflect the character and size of the rooms to which they belong. The composition of street facing elevations should organize these windows, doors, and the space between them into a clear and legible pattern appropriate to both the style of the building and the scale of the street it faces.
- vi. Front yard continuity - The front-yard landscape of new buildings should be continuous and coordinated with that of existing neighboring ones.

d. Block Character

1. Scale - Buildings should be scaled to respond to their context by sensitively and positively addressing the scale and massing of their adjacent neighbors.
2. Transitions - Higher-density projects need to respond to lower-density, existing buildings through compatible massing and thoughtfully designed side yard elevations.
3. Side and rear elevations - The rear and/or side elevations of new buildings that are visible from the public realm should be designed with equal care and quality as the front or principal façade.
4. Building entrances - Buildings should be entered directly and prominently from the street. Entrance ways and doorways should be clearly identifiable as prominent points of access into buildings.
5. Garage entrances - Garage entrances should be minimized when reasonably possible within the front elevation of buildings by varying garage orientation and setbacks based on product type, lot size and architectural style. The scale, shape, character, material, panel pattern, window type and color of the door shall correlate with the architectural style of the home. To incorporate the door into the collective design of the home the garage door shall be recessed as appropriate to the architectural style. Garage orientations include but are not limited to recessed, tuck under, flush, swing-in, split tandem, detached rear yard, side-entry, alley-loaded, etc. Garage options to accommodate larger cars, SUVs, commercial vehicles and storage area recommended.

8. Heights Allowed

- a. Maximum heights allowed and applicable transition requirements for adjacencies to certain edge or adjacent development conditions within each CPA shall be allowed as follows:

<i>Maximum Heights & Transition Requirements</i>		
Community Plan Area (CPA)	Maximum Height	Transition Requirements
CPA-1	3 Stories	2 story maximum for any building adjacent to or within 250 feet of the existing neighborhood north of the subject property; 35 feet maximum for

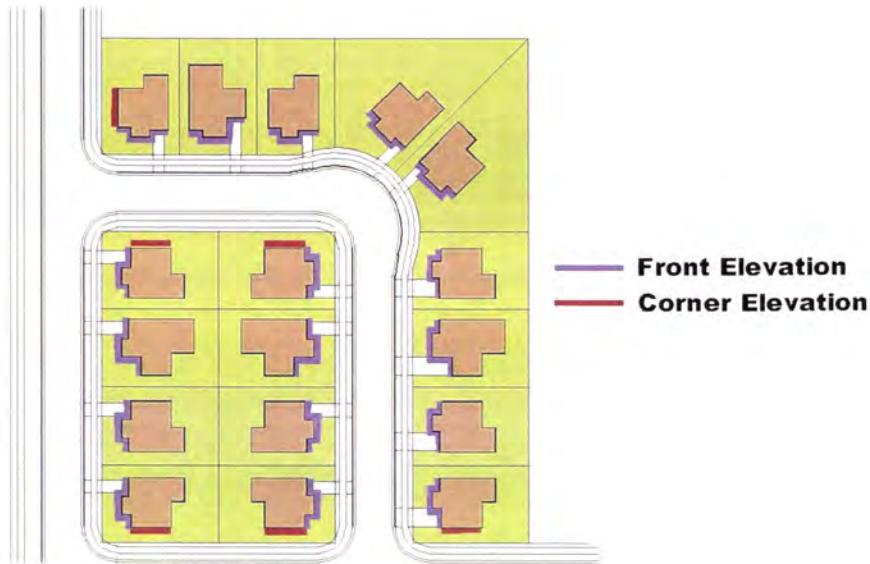
		any lots adjacent to the north property line
CPA-2	No maximum	5 story maximum for any building adjacent to or within 150 feet of CPA-1
CPA-3	No maximum	
CPA-4	5 Stories	
CPA-5	5 Stories	

- b. There shall be no limitation of height for each story.

9. Building Design Standards

- a. General Requirements - These building design standards are intended to establish a coherent character and encourage enduring and attractive development through implementation of the following principles:
- i. The design of buildings and their relationship to the street shall depend on the context of development.
 - ii. Buildings should be scaled to respond to their context by sensitively and positively addressing the scale and massing of their adjacent neighbors.
 - iii. Higher-density projects need to respond to lower-density and/or existing buildings through compatible massing and thoughtfully designed side yard elevations.
 - iv. Buildings should be oriented to positively define and frame adjacent public streets, and/or public or commons spaces, while promoting the collective form of neighborhoods.
 - v. Buildings should be designed with frontages that engage the street by providing direct access to the public realm.
 - vi. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
 - vii. All building elements shall be compatible with the architectural style, materials, colors, and details of the building as a whole.
 - viii. Building masses shall be organized as simple and well-scaled volumes.
 - ix. Building masses and building facades shall be designed with simple, harmonious proportions.
 - x. Excessive roof breaks and overly complicated hipped or gabled roofs should be avoided.
 - xi. Materials shall be appropriate to the scale of the building and consistent with the character of the development.

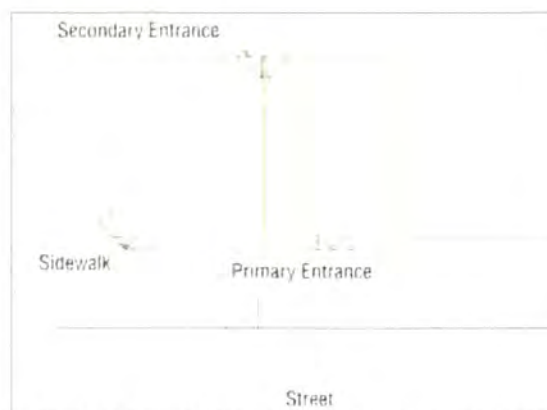
- xii. Heavier (load bearing) materials shall be closer to the base of the building (i.e. finished wood above stucco or masonry, or stucco above masonry).
 - xiii. Change of materials shall occur naturally rather than indiscriminately.
 - xiv. Placement of materials shall occur horizontally (vertical placement tends to defy structural and visual logic).
 - xv. Color changes shall clarify, not clutter the building design.
- b. Key design principles will assist in establishing essential goals and ensure the preservation, sustainability, and visual quality of different development locations in the subject property. The design of buildings and their relationship to the street shall depend on the context of the development. Generally, buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:
- i. Utilize building elements and details to achieve a pedestrian-oriented public realm along pedestrian oriented streets.
 - ii. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
 - iii. Building facades shall include appropriate architectural details and ornament to create variety and interest.
 - iv. Community Space(s) shall be incorporated to provide usable public areas integral to the urban environment using Community Space types provided in [Section 15](#).
- c. Façade zones are defined as front and corner lot elevations (or façades) visible from public streets (see diagram below). Specific architectural treatments as delineated below shall apply to façades within the façade zone.



d. Specific to Non-Residential and Mixed-Use Buildings

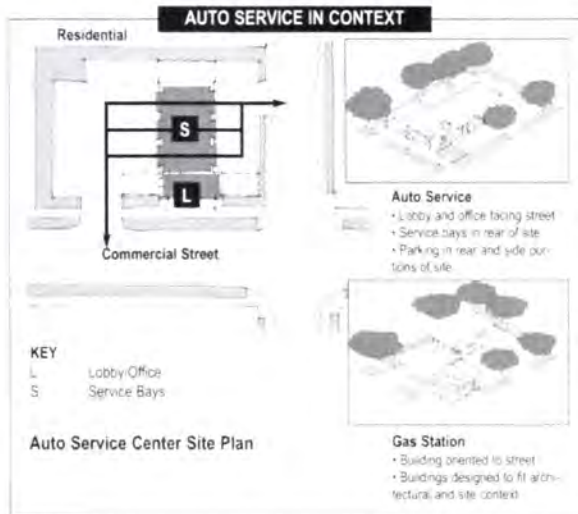
i. Building Orientation as described below is applicable only to Pedestrian Focused Streets

- (a) On pedestrian focused streets, primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (b) On pedestrian focused streets, all primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.



Required building orientation and location of primary entrances

- ii. Design of Automobile Related Building Site Elements shall be required on any Pedestrian Focused Street by meeting the following criteria (only when permitted in the Schedule of Uses as set forth in the SDD)



Site concept plan for an auto service centers

- (a) Drive-through lanes for commercial uses shall be thoughtfully designed to minimize the impact of the drive through on the walkability of the adjacent streets and sidewalks.
- (b) No more than 50% of a lot's frontage along streets shall be occupied by gas pumps, canopies, and/or service bays.
- (c) Any buildings associated with any automobile related use shall also have a pedestrian entrance at a public sidewalk.
- (d) Outdoor storage and sales of vehicles shall be permitted with screening of outdoor storage adjacent to all non-commercial development.

- (e) All off-street loading, unloading, and trash pick-up areas shall be located along Secondary Streets or alleys where applicable. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

iii. Architectural Features:

- (a) The following architectural features are encouraged for consideration, but not required:
- i. Arched doorways
 - ii. Decorative block or brick quoins
 - iii. Columns utilizing brick or other masonry as approved
 - iv. Keystones over doorways over doorways or windows
 - v. Decorative awnings, shutters, and other window treatments
 - vi. Brick accent walls
 - vii. Other features as approved by the planning commission

iv. Building Materials:

- (a) A building's façade within façade zones shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a two-step process, cast stone, glass, or glass block)
 - Fiber-cementitious siding with at least a 25-year material warranty
 - Split face concrete block or pre-cast concrete
- (b) Building façade accent materials may consist of: finished wood, shake shingle, architectural metal panel, split-face concrete block, tile, EIFS or pre-cast concrete panels.
- (c) Buildings shall be designed with architectural wall variations at least every 70 feet in linear width for walls along all streets.
- (d) Development in CPA-3 is exempt from this Building Materials section.

e. Specific to Multi-Family Buildings

- i. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- ii. Building Character
 - (a) Façades within façade zones shall be articulated to improve the street scene and aesthetics of the neighborhood. Façade Zones will be identified at the Detail Plan/Plat submittal.
 - (b) At least 25% of a building's façade zone shall incorporate the use of primary materials.
 - (c) Primary materials include:
 - Masonry (brick, stone, stucco utilizing a two-step process, cast stone, glass, or glass block)
 - Fiber-cementitious siding with at least a 25-year material warranty

- (d) Building façade accent materials may consist of: finished wood, shake shingle, architectural metal panel, split-face concrete block, tile, EIFS or pre-cast concrete panels.
 - (e) All other building facades shall be of a similar finish and color in order to blend with the Façade Zone requirements. Building materials for these facades may be any of the primary or accent façade materials listed above.
 - (f) Materials shall wrap outside corners; termination of materials shall occur at inside corners or continue for a minimum of at least 2'.
 - (g) The location and placement of façade materials shall be left to the discretion of the developer.
 - (h) Exterior wall surfaces shall not include fluorescent colors.
- f. Specific to Single-Family Residential Buildings
- i. Building Character
 - (a) Façades within façade zones shall be articulated to improve the street scene and aesthetics of the neighborhood. Façade Zones will be identified at the Detail Plan/Plat submittal.
 - (b) At least 25% of a building's façade zone shall incorporate the use of primary materials.
 - (c) Primary materials include:
 - Masonry (brick, tile, stone, stucco utilizing a two-step process, cast stone, glass, or glass block)
 - Fiber-cementitious siding with at least a 25-year material warranty.
 - Poured in place concrete.
 - (d) Building façade accent materials may consist of: finished wood, shake shingle, architectural metal panel, split-face concrete block, tile, EIFS or pre-cast concrete panels.
 - (e) All other building facades shall be of a similar finish and color in order to blend with the Façade Zone requirements. Building materials for these facades may be any of the primary or accent façade materials listed above.
 - (f) Materials shall wrap outside corners; termination of materials shall occur at inside corners or continue for a minimum of at least 2'.

- (g) Material usage and mixing of materials shall be done sensitively, not to detract from the design of the home.
- (h) The location and placement of façade materials shall be left to the discretion of the developer.
- (i) Elevations should be composed according to an architectural logic with openings, attached architectural elements, and fixtures that relate to one another proportionally.
- (j) The selection of materials, window and door assemblies, colors, and finishes should result in a finely detailed and harmonious design.
- (k) Massing should work to emphasize house entries and deemphasize the garage.
- (l) Exterior wall surfaces shall not include fluorescent colors.

10. Street Connectivity and Design

- a. General Requirements - Streets must support the overall connectivity requirements for the development. They should balance all forms of mobility while maximizing convenience for residents and visitors. All streets and street layouts are subject to review and approval by Riverton City.
- b. The MFP designates the Backbone Infrastructure within the development. This section specifies the typical configuration of secondary streets, outside of the Backbone Infrastructure, within the development. The specifications address vehicular lane widths, parkway widths, R.O.W. widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets within the SDD planning area will vary based on their location. Standard city street cross-sections may be used but can be superseded by street sections assembled using [EXHIBIT D - Street Types Matrix](#) (Not applicable to Riverton City Backbone Infrastructure):
- c. Any proposed cross sections, using [EXHIBIT D](#), must be in compliance with the Fire Code.
- d. All proposed streets, whether public or private, shall conform to the SDD Street Design Standards.
- e. All streets 80 feet wide or greater shall be given the option of a planted median, to be negotiated by agreement between the city and developer. (This standard shall override [12.20.040](#) [8] of the Riverton City Code which is hereby inapplicable to the subject property.)

- f. Primary and Secondary Street Network Criteria: The following priorities and outcomes shall guide the development of the primary and secondary street network and the implementation of this section and its technical guidance herein:
 - i. Determine potential location(s) of Pedestrian Focused Streets. A Pedestrian Focused Street is defined as a thoroughfare type which prioritizes its design, relative to scale and mobility, to conform to a human being rather than the automobile. Human scale transportation (i.e. walking and biking) is better accommodated on Pedestrian Focused Streets as a result. Examples of streets which do not have a pedestrian focus would include 13200 South, 13400 South, 13800 South, 4050 West, and 4500 West.
 - ii. Neighborhoods shall aim to be connected to one another through a woven collector system that offers several external access points.
 - iii. Walking and cycling should be a convenient option of movement within the network in terms of safety and efficient movement from one location to another.
 - iv. Access to local commercial and business destinations from adjacent neighborhoods should generally be achieved through the primary and secondary street network as opposed to arterial roadways.
 - v. Alternate routes should be available for traffic congestion relief at peak times.
 - vi. The street types established in and networks encouraged by this section should balance efficient travel with appropriate speeds.
 - vii. Connecting streets should be assigned within a network in conjunction with an overall connectivity strategy, rather than just to link *ad hoc* elements of subdivisions.
 - viii. Roadways should follow natural features such as creek beds and topography as appropriate.
 - ix. Linkages between streets, alleys and trails should be purposeful and integrated into the transportation network.
- g. Primary and Secondary Street Network Plan: Based on the network criteria, a connectivity framework should be developed for each individual development project. This framework should accomplish the implementation goals by meeting the primary and secondary street network criteria. In order to illustrate a

project's connectivity, the development applicant will provide a "Primary and Secondary Street Network Plan". The Primary and Secondary Street Network Plan is a site-specific application of the broader network criteria. Its purpose is to establish the basic elements of the neighborhood describing access points as well as which locations within the neighborhood that will be aligned with connector streets or place-focused streets. Each Primary and Secondary Street Network Plan for each portion of the property must be reviewed and approved by Riverton City.

- h. The general elements of a Primary and Secondary Street Network Plan should include:
 - i. Streets within the project's proposed street network and development to be designated by street type
 - ii. Pedestrian Focused Streets shall be identified.
 - iii. Connections to the following:
 - 1. Backbone Infrastructure, key perimeter roadways and other major transportation corridors
 - 2. Adjacent neighborhoods or areas of dense development (existing or planned)
 - 3. Significant destination open spaces/parks
 - iv. Creation and location of significant gateways to major natural assets such as parks and natural features.

11. Streetscape Design

Streetscape standards shall apply to all streets and development within the subject property. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Options for streetscape elements are referenced in [EXHIBIT D](#).

- a. Street Furniture, Lighting, and Materials
 - i. Alley lighting shall be provided through the use of photo-voltaic cells on rear coach lights of each home backing an alley.
 - ii. The light standard selected shall be compatible with the design of the street and buildings. The City shall maintain the street lights; provided,

however, in the event any developer elects to use street lights that differ from current City standards, then the City shall not be required to maintain same unless agreed to by City.

- iii. All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 5 feet. In no event shall the City be required to maintain any street furniture unless agreed to by the City.

b. Pedestrian Accommodation - Streetscape Zone

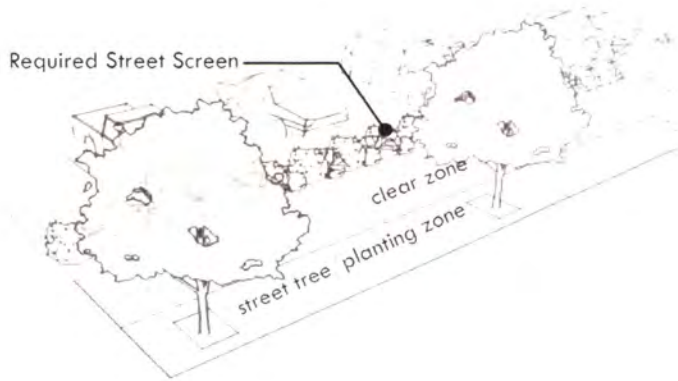
- i. Public sidewalks and/or trails are required along streets. A Streetscape Zone shall consist of a sidewalk zone and may also include a parkway/pedestrian transition zone.
- ii. **Parkway/Pedestrian Transition Zone:** The parkway/pedestrian transition zone is intended for the placement of street trees, where feasible, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
- iii. **Sidewalk Zone:** The sidewalk zone shall be hardscaped, shall be located adjacent to the parkway/pedestrian transition zone, and shall comply with ADA and Utah accessibility standards and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight (8) feet. Awnings, signage and other similar overhangs shall be allowed within the sidewalk zone as long as it meets the unobstruction requirement.



Streetscape Zone elements

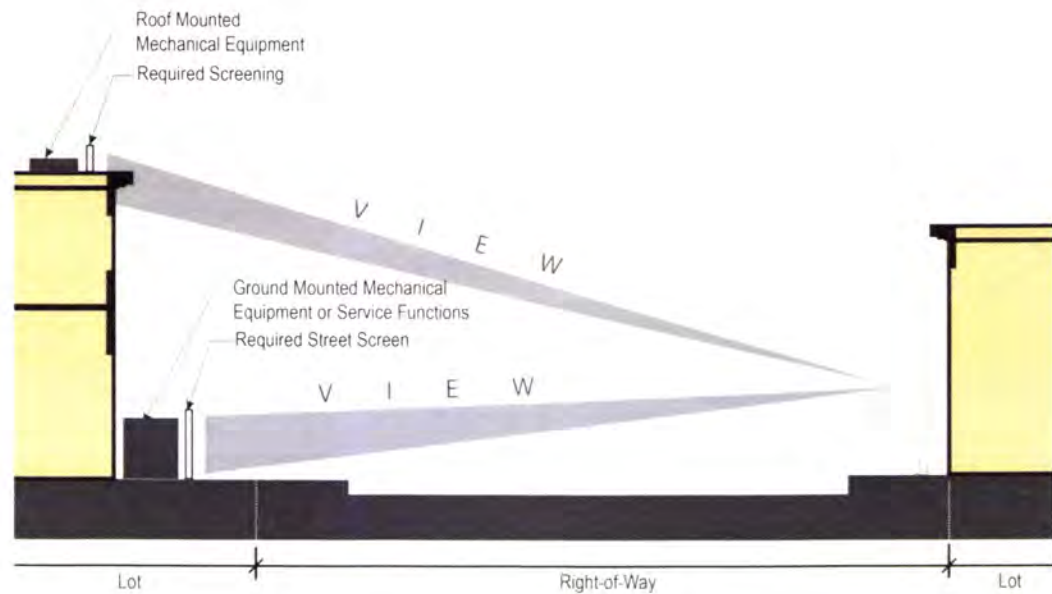
c. Screening Standards

- i. **Street Screen Required:** Any parking frontage facing a Pedestrian Focused Street shall be framed by a 3-foot high street screen along the street edge. When required, street screens shall be of one of the following:
 - (a) The same building material as the principal structure on the lot or
 - (b) A vegetative screen composed of shrubs planted to be opaque at maturity, or
 - (c) A combination of the two.
- ii. The required street screen shall be located at the minimum setback line along the corresponding frontage.
- iii. Street screens cannot block any city required sight triangles along a cross street or driveway.
- iv. Street screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.



Required Street Screen

- v. Screening of Ground Level or Roof Mounted Equipment: All ground level or roof mounted mechanical equipment (except solar panels) shall be screened from view of a person standing on the property line on the far side of the adjoining street. The screening material used shall be the same as the primary exterior building material used.



Required screening of roof and ground mounted equipment

12. Easements

- a. Public utility easements shall be provided on every lot, including a 10-foot easement on front and rear property lines. Side yard easements shall consist of the following:
 - i. 5 foot easements on lots with detached residential product and less than 60 feet in width. (This standard shall override [17.20.020](#) [1] [a] of the Riverton City Code which is hereby inapplicable to the subject property.)
 - ii. 7 ½ foot easements on lots with detached residential product and 60 feet or greater in width
- b. For lots less than 30 feet and attached single-family lots, the public utility easements and drainage ways can be mitigated through mutually acceptable means with City Engineering Dept.
- c. When possible, locations on private property should be found for switchgear and transformer pads needed to serve that property. Such locations shall be either along Secondary Streets or at the side or rear of the property and screened from view of a person standing on the property line on the far side of any adjoining street as approved by the utility.

13. Parking

- a. Non-Residential parking shall require a parking standard ratio based on building square footages. In order to maintain the flexibility of transition of spaces over time, a consistent non-residential ratio of one (1) space per 350 square feet of enclosed non-residential space. (This standard shall override [18.145.040](#) and [18.145.120](#) of the Riverton City Code which is hereby inapplicable to the subject property.)
- b. Multi-family Residential parking requires 1.5 spaces per dwelling.
- c. Residential, other than Multi-family, requires 2 spaces per dwelling.
- d. Parking requirements may be reduced with a shared parking plan that is based on a parking and traffic analysis.
- e. Food truck parking and vending shall be permitted to vend on Pedestrian Focused Streets. (This standard shall override [10.10.060](#) of the Riverton City Code which is hereby inapplicable to the subject property.)
- f.

14. Parking Design

- a. Design of Surface Parking Lots
 - i. Surface parking shall be placed behind or to the side of the primary building.
- b. Design of Parking Structures
 - i. Where above ground structured parking is located at the perimeter of a building with frontage along a street; it shall be screened in such a way that cars on all parking levels are completely screened from pedestrian view from all adjacent public streets. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
 - ii. When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
 - iii. Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Appropriate design of Parking Structures

15. Community Space, Trails and Connectivity

- a. This section establishes the design standards of Community Space. These standards include general character, typical size, frontage requirements, and typical uses. (This section shall override [18.105](#) of the Riverton City Code which is hereby inapplicable to the subject property.)
- b. The following objectives shall be implemented in the design and construction of required community spaces and trails, which shall be designed according to these typologies and design standards:
 - i. Integrated into neighborhoods
 - ii. Activating the built environment in a way that promotes activities in key locations and promote economic vibrancy
 - iii. Accessible by walking and cycling
 - iv. Access to transit
 - v. Connecting adjacent neighborhoods
- c. These standards are used to coordinate the style of design appropriate to the context within each CPA. The following table establishes the Community Space type and their appropriate Community Plan Area:

	CPA-1	CPA-2	CPA-3	CPA-4	CPA-5	CPA-6	CPA-7
Square	X		N/A	X	X		
Plaza	X	X	N/A	X			
Multi-Use Trail	X	X	N/A	X	X	X	X
Pocket Park	X	X	N/A	X	X	X	X
Neighborhood Park	X		N/A		X	X	X
Green	X		N/A		X	X	X
Special Use	X	X	N/A	X	X	X	X
Community Garden	X		N/A		X	X	X
Waterway/Channel	X		N/A	X	X		
Parkway (Boulevard)	X	X	N/A	X	X	X	X
Paseo		X	N/A	X	X	X	X

Square



A square is a public urban Community Space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have an urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

Formal Community Space

Spatially defined by buildings and tree-lined streets.

Open shelters, paths, lawns, and trees formally arranged

Walkways and plantings at all edges

Abundant seating opportunities

Location and Size

0.25 - 4 acres

Minimum width - 25'

Minimum pervious cover - 60%

Minimum perimeter frontage on public right of way - 60%

Located at important intersections

Typical Uses

Unstructured and passive recreation - no organized sports.

Community gathering

Occasional commercial and civic uses

Plaza



A plaza is a public urban Community Space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban zones and create formal Community Spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, to benches, to tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Plazas typically should be located at the intersection of important streets. A minimum of one public street frontage shall be required for plazas.

Typical Characteristics

General Character

Formal Community Space

A balance of hardscape and planting

Trees important for shade

Spatially defined by building frontages

Location and Size

0.1 - 1 acre

Minimum width - 30'

Minimum pervious cover - 20%

Minimum perimeter frontage on public right of way - 25%

Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

Commercial and civic uses

Formal and casual seating

Tables and chairs for outdoor dining

Retail and food kiosks

Multi-Use Trail



A multi-use trail is a linear public urban Community Space that accommodates two or more users on the same, undivided trail. Trail users could include pedestrians, bicyclists, skaters, etc. A trail frequently provides an important place for active recreation and creates a connection to regional paths and biking trails.

Trails within greenways or neighborhood parks shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape.

Pedestrian amenities add to recreational opportunities, particularly in an urban setting. These include drinking fountains, scenic view posts, fitness stations, and directional signs, and may be spread along the trail or grouped in a trailhead area.

Trails shall align with any current City plans if identified as a section of that plan.

Typical Characteristics

General Character

Multi-Use Trail in Neighborhood Park:

- Naturally disposed landscape
- Low impact paving
- Trees lining trail for shade
- Appropriately lit for safety
- Formally disposed pedestrian furniture, landscaping and lighting

Multi-Use Trail along Roads:

- Paved trail with frequent gathering spaces and regular landscaping.

Standards

Min. Width 10 feet

Typical Uses

- Active and passive recreation
- Casual seating

Pocket Park



Small and frequent, generally passive recreation that ensures walkable green space access for everyone. May contain specialized facilities that serve a concentrated or limited population or group such as tots, pets or senior citizens.

Typical Characteristics

General Character

A small public park oriented towards local usage and incorporating a short trail, loop, and occasionally a playground.

Location and Size

2,500 SF to 1.0 acre

Service Area

¼ mile radius

Neighborhood Park



The neighborhood park remains the basic unit of the park system and serves as the recreational and social focus of the neighborhood. The focus is on informal active and passive recreation. The park should be centrally located within the neighborhood. These parks are frequently developed adjacent to civic uses such as an elementary school.

Typical Characteristics

General Character

A typical neighborhood park situated within a development and typically incorporating a playground or other active recreation facilities.

Location and Size

3 to 10 acres

Service Area

¼ to ½ mile radius

Green



A Green is a public urban Community Space available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the Green.

A Green shall be adjacent to a public right of way and be spatially defined by buildings which shall front onto and activate this space.

Typical Characteristics

General Character

Community Space

Spatially defined by street and building frontages and landscaping

Lawns, trees and shrubs naturally disposed

Open shelters and paths formally disposed

Location and Size

0.25 - 4 acres

Minimum width - 25'

Minimum pervious cover - 80%

Minimum perimeter frontage on public right of way - 50%

Typical Uses

Unstructured recreation

Casual seating

Commercial and civic uses

No organized sports

Special Use



Covers a broad range of parks and recreation facilities oriented toward single-purpose use. Special uses generally fall into three categories: Historic/Cultural/Social Sites (ex. Historic downtown areas, performing arts parks, arboretums, ornamental gardens, indoor theaters, churches, public buildings and amphitheaters). Recreation facilities (i.e., either specialized or single-purpose facilities) fall into this category; for example, community centers, senior centers, hockey arenas, marinas, golf courses and aquatic parks. Frequently community buildings and recreational facilities are located within neighborhood parks and community parks.

Typical Characteristics

General Character

Locations of significance for the development. This includes monument locations, park facilities or heritage sites.

Location and Size

Varies

Service Area

Varies

Community Garden



Space programmed specifically for gardening. Located in the center of a neighborhood to provide convenient and safe access. Oftentimes included in pocket parks and neighborhood parks. They are a valued asset in urban areas where residential yards are rare.

Typical Characteristics

General Character

Small public, urban Community Space responding to specific user groups and space available within a development

Location and Size

Up to 1 acre

Service Area

1/8 to 1/4 mile radius

Waterway/Channel



Linear space defined by a waterway. The space serves as a pedestrian connection, recreational opportunity, and property value creation (waterfront property). It can serve as a secondary connection to a greenway or parkway.

Typical Characteristics

General Character

Trails along the waterway or channel can be for pedestrian or bicycle connectivity. Buildings can front the waterway or channel in order to frame the waterway or channel as an amenity for development.

Location and Size

Typically less than 100 feet in width; length varies

Service Area

Varies

Parkway (Boulevard)



Urban streets that provide comfortable and safe pedestrian and cyclist connections. May include landscaped center median, large shade trees, on or off-street bikeways and seating.

Typical Characteristics

General Character

Low growth vegetation or ground cover within a parkway strip along a road or within a median in a roadway

Location and Size

Varies

Service Area

Varies

Paseo



Pedestrian passages or paseos are linear public urban Community Spaces that connect one street to another at through-block locations. Pedestrian passages create intimate linkages through buildings at designated locations. These wide pathways provide direct pedestrian access to residential or other commercial addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm.

Pedestrian passages should consist of a hardscape pathway with pervious pavers activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Shade is required for the success of the paseo.

Typical

Characteristics



General Character

Hardscape pathway with pervious pavers

Defined by building frontages

Frequent side entries and frontages

Shade Required

Minimal planting and potted plants

Maintain the character of surrounding buildings

Standards

Min. Width 15 feet

Typical Uses

Pedestrian connection and access

Casual seating

EXHIBIT A - Metes & Bounds

NORTH WEST PIVOT PARCEL

164.857 ACRES

BEGINNING AT THE CENTER OF SECTION MONUMENT FOR SECTION 31, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH AND RUNNING THENCE SOUTH89°31'03"EAST 508.33 FEET ALONG THE QUARTER SECTION LINE TO THE WEST LINE OF THE WELBY CANAL AS DEFINED IN DOCUMENT ENTRY NO. 7502870; THENCE ALONG SAID CANAL THE FOLLOWING COURSES AND DISTANCES: SOUTH0°35'01"EAST 48.08 FEET, SOUTH01°22'54"EAST 216.06 FEET, SOUTH04°03'53"WEST 43.06 FEET, SOUTH0°26'02"WEST 136.53 FEET, SOUTH03°42'25"EAST 48.61 FEET, SOUTH0°11'42"WEST 245.31 FEET, SOUTH01°21'22"EAST 333.34 FEET, SOUTH0°05'39"EAST 369.70 FEET, SOUTH07°12'16"EAST 97.74 FEET, SOUTH14°39'01"EAST 50.07 FEET, SOUTH22°05'46"EAST 51.77 FEET, SOUTH28°08'34"EAST 97.81 FEET, SOUTH22°52'37"EAST 94.43 FEET, SOUTH13°04'33"EAST 295.98 FEET, SOUTH11°27'03"EAST 493.10 FEET TO THE NORTH RIGHT-OF-WAY LINE OF 13400 SOUTH STREET; THENCE NORTH89°48'35"WEST 826.64 FEET; THENCE NORTH89°48'47"WEST 1060.80 FEET TO THE PROPERTY CONVEYED TO THE UTAH DEPARTMENT OF TRANSPORTATION FOR THE MOUNTAIN VIEW CORRIDOR; THENCE ALONG SAID LINE THE FOLLOWING COURSES AND DISTANCES: NORTH0°01'46"WEST 3.40 FEET, NORTH89°55'00"WEST 73.23 FEET, NORTH89°48'43"WEST 55.753 FEET, NORTH87°16'17"WEST 52.05 FEET, NORTH86°29'14"WEST 105.88 FEET, NORTH84°56'44"WEST 105.88 FEET, NORTH04°45'17"EAST 6.45 FEET, NORTH85°14'43"WEST 58.96 FEET, SOUTH04°45'17"WEST 6.45 FEET, NORTH86°20'14"WEST 78.08 FEET, NORTH87°26'08"WEST 78.08 FEET, NORTH88°28'05"WEST 68.72 FEET, NORTH89°26'15"WEST 69.14 FEET, NORTH89°55'04"WEST 90.78 FEET, NORTH78°39'45"WEST 230.08 FEET, NORTH89°55'32"WEST 30.84 FEET, NORTH02°16'04"EAST 619.80 FEET, NORTH11°47'26"EAST 238.89 FEET, NORTH03°48'01"WEST 588.90 FEET, NORTH21°41'43"WEST 321.97 FEET, NORTH13°52'13"WEST 797.10 FEET TO THE QUARTER SECTION LINE; THENCE SOUTH89°31'13"EAST 2442.31 FEET ALONG SAID LINE TO THE POINT OF BEGINNING, CONTAINING 164.857 ACRES.

BASIS OF BEARING FOR THE ABOVE DESCRIPTION IS S89°34'02"E BETWEEN THE SOUTHWEST CORNER AND THE SOUTH QUARTER CORNER OF SECTION 31, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

Ck by JJB 27 Jan. 2015

NORTH EAST PIVOT PARCEL

163.03 ACRES

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH AND RUNNING THENCE NORTH0°21'31"EAST 1311.43 FEET ALONG THE WEST LINE OF SAID SECTION TO A 1/16TH LINE; THENCE SOUTH89°59'12"EAST ALONG SAID LINE 494.79 FEET TO THE WEST LINE OF THE BANGERTE HIGHWAY; THENCE ALONG SAID LINE THE FOLLOWING COURSES AND DISTANCES: SOUTH0°03'43"WEST 544.14 FEET TO A RIGHT-OF-WAY MONUMENT, SOUTH0°03'43"WEST 2239.29 FEET TO A RIGHT-OF-WAY MONUMENT AND A POINT OF CURVATURE TO A 3379.27-FOOT RADIUS CURVE TO THE LEFT; THENCE WESTERLY ALONG THE ARC OF A NON-TANGENT CURVE FOR A DISTANCE OF 543.24 FEET, (CHORD BEARING AND DISTANCE = SOUTH11°17'58"EAST 542.65 FEET), SOUTH13°01'29"EAST 203.89 FEET TO A POINT OF CURVATURE TO THE LEFT (CHORD BEARING AND DISTANCE = NORTH22°44'34"EAST 404.26

FEET) TO THE NORTH SIDE OF 13400 SOUTH STREET; THENCE NORTH89°58'29"WEST 122.35 FEET ALONG SAID LINE TO THE RIGHT OF WAY MONUMENT; THENCE SOUTH0°00'00"EAST 0.97 FEET; THENCE NORTH89°39'57"WEST 235.41; THENCE SOUTH0°20'03"WEST 49.73 FEET TO THE SECTION LINE; THENCE NORTH89°48'52"WEST 59.07 FEET ALONG SAID LINE; THENCE NORTH0°05'06"EAST 57.16 FEET; THENCE SOUTH89°50'13"WEST 408.11 FEET; THENCE NORTH89°48'32"WEST 1350.79 FEET; THENCE LEAVING SAID STREET NORTH0°14'25"EAST 206.10 FEET; THENCE NORTH49°39'39"WEST 196.10 FEET; THENCE SOUTH89°50'20"WEST 343.41 FEET TO THE EASTERLY LINE OF THE WELBY CANAL PROPERTY AS DEFINED IN DOCUMENT ENTRY NO.7502870; THENCE ALONG SAID LINE NORTH11°27'03"WEST 166.60 FEET, NORTH13°04'33"WEST 300.93 FEET, NORTH22°52'37"WEST 100.95 FEET, NORTH28°08'234"WEST 97.47 FEET, NORTH22°05'46"WEST 45.93 FEET, NORTH14°39'01"WEST 43.62 FEET, NORTH07°12'16"WEST 91.44 FEET, NORTH0°05'39"WEST 367.17 FEET, NORTH01°21'22"WEST 333.22 FEET, NORTH0°11'42"EAST 246.33 FEET, NORTH03°42'25"WEST 48.51 FEET, NORTH0°26'02"EAST 133.17 FEET, NORTH04°03'53"EAST 43.84 FEET, NORTH01°22'54"WEST 218.07 FEET, NORTH0°35'01"WEST 46.81 FEET TO THE SECTION LINE; THENCE SOUTH89°31'03"EAST 2098.02 FEET ALONG THE SECTION LINE TO THE POINT OF BEGINNING, CONTAINING 163.03 Acres
Ck by JJB 27 Jan. 2015

SOUTH PIVOT PARCEL

287.584 ACRES (Portion within Riverton-179.87 acres. Portion within Herriman-107.71 acres)

BEGINNING AT A POINT WHICH IS SOUTH 0°16'25" EAST 45.00 FEET FROM THE NORTH QUARTER CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH, BASIS OF BEARING IS NORTH 89°48'47" WEST BETWEEN THE NORTH QUARTER CORNER OF SECTION 6 AND THE NORTHWEST CORNER OF SAID SECTION 6 AND RUNNING THENCE ALONG THE SOUTH LINE OF 13400 SOUTH STREET THE FOLLOWING COURSES AND DISTANCES: SOUTH 89°49'27" EAST 55.98 FEET, CURVE TO THE RIGHT, RADIUS = 2361.00 FEET, ARC = 56.04 FEET, CHORD BEARING AND DISTANCE = SOUTH 89°07'59" EAST 56.04 FEET, SOUTH 88°27'11" EAST 617.16 FEET, CURVE TO THE LEFT, RADIUS = 2439.00, ARC = 65.85, CHORD BEARING AND DISTANCE = SOUTH 89°13'36" EAST 65.85 FEET, NORTH 90°00'00" EAST 44.11 FEET TO THE WEST LINE OF THE PROVO RESERVOIR CANAL; THENCE ALONG SAID LINE SOUTH 0°02'54" EAST 34.90 FEET, SOUTH 04°42'22" WEST 427.97 FEET, SOUTH 06°07'09" WEST 19.62 FEET, SOUTH 04°56'39" WEST 116.10 FEET, SOUTH 01°31'26" WEST 114.94 FEET, SOUTH 03°33'13" EAST 85.79 FEET, SOUTH 04°49'22" EAST 397.90 FEET TO THE PROPERTY OWNED BY THE CITY OF RIVERTON, ENTRY NO. 10410754; THENCE ALONG SAID LINE SOUTH 81°24'06" WEST 20.23 FEET, SOUTH 08°35'54" EAST 78.27 FEET, SOUTH 22°22'32" EAST 296.56 FEET SOUTH 25°11'03" EAST 106.56 FEET SOUTH 20°04'29" EAST 100.35 FEET, SOUTH 05°15'41" EAST 107.69 FEET, SOUTH 0°24'02" WEST 525.27 FEET, SOUTH 06°59'42" EAST 109.21 FEET, SOUTH 25°34'15" EAST 112.81 FEET, SOUTH 89°50'58" EAST 24.20 FEET; THENCE LEAVING SAID PROPERTY AND FOLLOWING ALONG THE WEST RIGHT-OF-WAY LINE OF THE PROVO RESERVOIR CANAL SOUTH 33°11'55" EAST 131.19 FEET, CURVE TO THE RIGHT, ARC = 260.93 FEET, CHORD BEARING AND DISTANCE = SOUTH 06°16'53" EAST 256.68 FEET, RADIUS = 416.50 FEET, CURVE TO THE LEFT, ARC = 120.63 FEET, RADIUS = 316.50, CHORD BEARING AND DISTANCE = SOUTH 09°43'03" WEST 119.90 FEET, SOUTH 01°12'03" EAST 236.80 FEET, CURVE TO THE LEFT, ARC = 197.64 FEET, RADIUS = 416.50 FEET, CHORD BEARING AND DISTANCE = SOUTH 14°47'43" EAST 195.79 FEET, SOUTH 27°32'12" EAST 155.63 FEET, SOUTH 26°33'53" EAST 103.31 FEET, SOUTH 30°37'30" EAST 106.96 FEET, SOUTH 28°31'46" EAST 115.09 FEET, SOUTH 29°35'10" EAST 33.08 FEET; THENCE LEAVING SAID LINE SOUTH 89°59'44" WEST 1463.88 FEET, SOUTH 0°16'25" EAST 99.91 FEET ALONG THE QUARTER SECTION LINE; THENCE SOUTH 89°59'44" WEST 1322.09 FEET; THENCE NORTH 0°21'29" WEST 100.00 FEET; THENCE SOUTH 89°59'44" WEST 855.76

FEET TO THE EASTERLY LINE OF THE PROPERTY CONVEYED TO THE UTAH DEPARTMENT OF TRANSPORTATION; THENCE ALONG SAID LINE CURVE TO THE RIGHT, RADIUS = 4480.00 FEET, ARC = 276.40 FEET, CHORD BEARING AND DISTANCE = NORTH 02°12'29" WEST 276.35 FEET, NORTH 0°26'26" WEST 1625.088 FEET, NORTH 03°20'26" EAST 400.51 FEET, CURVE TO THE LEFT, RADIUS = 15,241.00 FEET, ARC = 412.74 FEET, CHORD BEARING AND DISTANCE = NORTH 0°20'07" EAST 412.73 FEET, NORTH 0°26'26" WEST 943.66 FEET, NORTH 05°55'18" EAST 257.76 FEET, NORTH 78°43'37" EAST 195.01 FEET; THENCE SOUTH 89°46'40" EAST 76.75 FEET; THENCE LEAVING SAID LINE SOUTH 0°21'35" EAST 297.37 FEET; THENCE SOUTH 89°48'47" EAST 540.65 FEET; THENCE NORTH 0°21'38" WEST 92.98 FEET; THENCE SOUTH 89°48'47" EAST 187.72 FEET; THENCE NORTH 0°21'04" WEST 204.75 FEET TO THE SOUTHERLY LINE OF 13400 SOUTH STREET; THENCE ALONG SAID LINE SOUTH 89°52'27" EAST 341.51 FEET; THENCE NORTH 0°15'03" WEST 14.90 FEET THENCE SOUTH 89°48'47" EAST 799.31 FEET TO THE POINT OF BEGINNING, CONTAINING 287.584 ACRES.

Less and excepting that portion of property located in Herriman City.

Ck by JJB 27 Jan. 2015

**DRAINAGE POND 13-ACRE PARCEL
9.132 ACRES**

BEGINNING AT A POINT WHICH IS NORTH 89°48'35" WEST 1326.43 FEET ALONG THE SECTION LINE AND SOUTH 0°16'10" EAST 57.00 FEET FROM THE NORTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH AND RUNNING THENCE SOUTH 0°16'10" EAST 388.85 FEET; THENCE NORTH 89°48'35" WEST 10.80 FEET; THENCE SOUTH 0°53'40" WEST 882.04 FEET; THENCE NORTH 89°06'20" WEST 414.70 FEET TO THE EASTERLY LINE OF THE PROVO RESERVOIR CANAL; THENCE ALONG SAID LINE THE FOLLOWING THREE (3) COURSES AND DISTANCES: NORTH 22°37'25" WEST 17.77 FEET, NORTH 04°35'30" WEST 554.80 FEET, NORTH 03°51'05" EAST 695.26 FEET TO THE SOUTH LINE OF 13400 SOUTH STREET; THENCE ALONG SAID LINE NORTH 90°00'00" EAST 86.66 FEET TO A POINT OF CURVATURE TO A 1270.00-FOOT RADIUS CURVE TO THE LEFT; THENCE EASTERLY ALONG SAID CURVE 72.95 FEET, (CHORD BEARING AND DISTANCE = NORTH 88°21'11" EAST 72.94 FEET); THENCE SOUTH 89°48'35" EAST 282.38 FEET TO THE POINT OF BEGINNING, CONTAINING 13.23 ACRES.

Ck by JJB 27 Jan. 2015

Less and excepting:

Parcel No. 0182:112J
Project No. MP-0182(6)
Affecting Tax ID. No. 33-06-200-048

A parcel of land, in fee for a drainage facility incident to the construction of a highway known as Project No. MP-0182(6), being part of an entire tract of property, situate in Lot 2 of Section 6, T. 4 S., R. 1 W., S.L.B. & M. The boundaries of said parcel of land are described as follows:

Beginning at a point in the easterly boundary of said entire tract at a point 1,316.99 ft. S. 89°48'32" E. along the section line and 644.32 ft. S. 0°11'28" W. from the North Quarter Corner of said Section 6; and running thence S. 0°53'43" W. 236.05 ft. along said easterly boundary line; thence S. 44°45'07" W. 212.44 ft.; thence S. 89°45'07" W. 280.67 ft.; thence S. 4°55'01" E. 258.08 ft.; thence S. 13°18'18" E. 32.79 ft. to a point in the southerly boundary of said entire tract; thence N. 89°06'17" W. 21.06 ft. along said southerly boundary

line to the southwest corner of said entire tract; thence along the westerly boundary line of said entire tract for the following three (3) courses 1) N. 22°51'44" W. 17.63 ft. 2) N. 4°29'48" W. 561.01 ft. 3) N. 4°22'31" E. 122.47 ft thence leaving said westerly boundary line S. 86°50'48" E. 385.09 ft; thence N. 89°45'07" E 82.31 ft. to the point of beginning as shown on the official map of said project on file in the office of the Utah Department of Transportation. The above described parcel of land contains 178,496 square feet in area or 4.098 acres, more or less.

(Note: Rotate all bearings in the above description 0°14'53" clockwise to match the above said Right of Way Control Line.)

Ck by JJB 2 Feb. 2015

Legal Description for Jordan School District Property

"AS SURVEYED" DESCRIPTIONS

Parcel 27-31-200-023

Beginning at a point which is N00°20'55"E 618.25 feet along the Section Line from the East Quarter Corner of Section 31, Township 3 South, Range 1 West, Salt Lake Base and Meridian; and running thence N89°40'42"W 1327.95 feet; thence N00°19'18"E 613.33 feet to a fence corner; thence S89°53'52"E 1302.00 feet along a fence to a fence corner; thence N84°41'47"E 26.38 feet along a fence and its extension to the Section Line; thence S00°20'55"W 620.91 feet along the Section Line to the point of beginning.

Contains 18.78 Acres

Ck by JJB 02 Sept 2015

Parcel 27-31-200-024

Beginning at the East Quarter Corner of Section 31, Township 3 South, Range 1 West, Salt Lake Base and Meridian; and running thence N89°30'59"W 1327.66 feet along the Quarter Section Line; thence N0°19'18"E 614.50 feet; thence S89°40'42"E 1327.95 feet to the Section Line; thence S00°20'55"W 618.25 feet along the Section Line to the point of beginning.

Contains 18.79 Acres

Ck by JJB 02 Sept 2015

EXHIBIT B - Master Framework

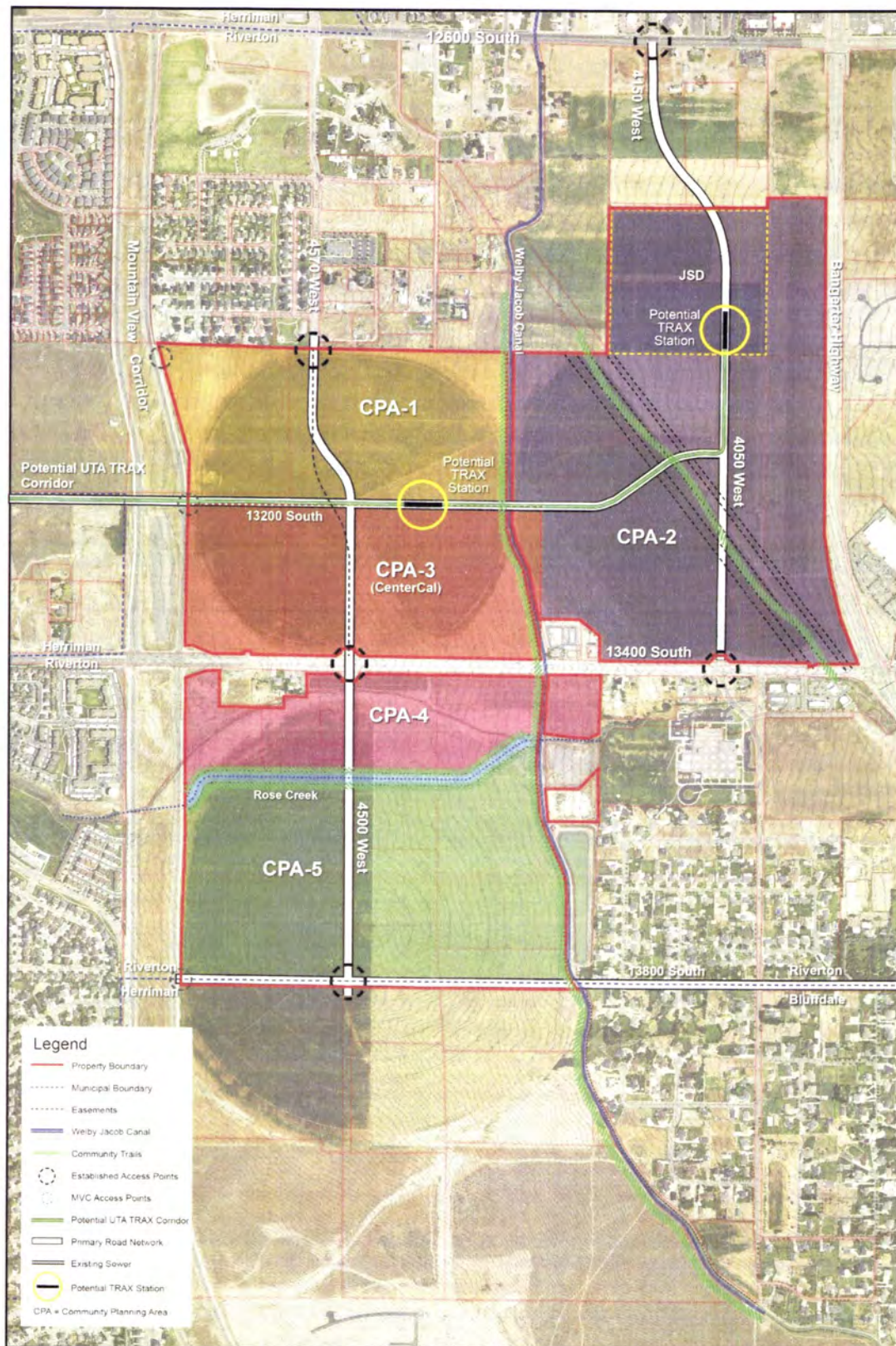


EXHIBIT C - Schedule of Uses

P = Permitted, NP = Not Permitted, C = Conditional

Community Plan Areas	CPA-1*	CPA-2	CPA-3**	CPA-4	CPA-5
Land Use					
Non-Residential (Office, Retail, Sales and Service Uses)					
Apparel alteration and shoe repair	P	P	P	P	P
Apparel and accessories retail and rental (apparel, accessories, tailoring, fur, shoes)	NP	P	NP	C	NP
Artists and related services	P	P	P	P	P
Auto parts retail	P	P	P	P	P
Auto dealership (new or used)	C	P	P	P	C
Auto dealership with ancillary repair services	C	P	P	P	C
Auto glass repair and retail	NP	C	NP	C	NP
Automobile repair and related services	NP	P	P	P	NP
Automotive dealership (new) - Sales and service center	NP	P	P	P	NP
Bakeries (including donut shops, delicatessens)	P	P	P	P	P
Banking services (banks, credit unions, etc.)	P	P	P	P	P
Beauty and barber services	P	P	P	P	P
Bed and breakfast	P	P	P	P	P
Books, stationery, art/hobby supplies retail	P	P	P	P	P
Bus passenger terminal	P	P	P	P	P
Business, professional and finance consulting	P	P	P	P	P
Car wash, auto or self-serve (unless auto car wash is part of a gasoline service station)	NP	C	C	C	NP
Car wash, automatic as part of a gasoline service station	NP	P	P	P	NP
Check cashing businesses	NP	NP	NP	NP	NP
Commercial and corporate offices	P	P	P	P	P
Construction services	P	P	P	P	P
Convention and other public assembly halls	C	C	C	C	C
Convenience store with gasoline service (max. 2 within 1,000 ft.)	C	P	P	P	C
Convenience store without gasoline service	C	P	P	P	C
Correctional institutions	NP	NP	NP	NP	NP
Counseling services	P	P	P	P	P
Credit reporting services (adjustment and collections)	P	P	P	P	P
Cultural activities (libraries, museums, art galleries, etc.)	C	C	C	C	C
Day care centers/preschool	P	P	P	P	P
Data processing services	P	P	P	P	P
Department store and general merchandise retail (including shopping centers)	C	P	P	P	C
Drinking establishments (bars, taverns, night clubs, brewery, winery)	NP	NP	NP	NP	NP
Drive-through windows	NP	P	P	P	NP
Drive-through windows for food services	NP	P	P	P	NP
Drug stores and pharmacies retail	P	P	P	P	P
Duplicating, mailing, and other office services	P	P	P	P	P
Educational services (primary, secondary, colleges, special training)	C	C	C	C	C
Electrical appliance repair and services	P	P	P	P	P
Electrical supplies (except appliances) retail	P	P	P	P	P
Electrical, gas, and water utility	C	C	C	C	C
Employment services	P	P	P	P	P
Engineering, architectural, and planning services	P	P	P	P	P
Fairgrounds, amusement parks, and sports assembly (arenas, race tracks, stadiums)	C	C	C	C	C
Farm and garden supply retail	P	P	P	P	P
Florists retail	P	P	P	P	P
Funeral parlor	NP	C	C	C	NP
Gasoline service stations (max. 2 within 1,000 ft.)	NP	P	P	P	NP
Gifts retail	P	P	P	P	P
Governmental services (executive, legislative, judicial, protective, postal)	C	C	C	C	C
Grocery stores retail	P	P	P	P	P
Hardware and supplies retail/home improvement	P	P	P	P	P
Heating and plumbing equipment retail	P	P	P	P	P
Historic and monument sites	C	C	C	C	C
Holding and investment services	P	P	P	P	P
Home furnishings and household appliances retail (furniture manufacturing prohibited)	P	P	P	P	P
Home improvement retail	P	P	P	P	P

P = Permitted, NP = Not Permitted, C = Conditional

Community Plan Areas	CPA-1*	CPA-2	CPA-3**	CPA-4	CPA-5
Hospitals	C	P	P	P	C
Hotel	P	P	P	P	P
Insurance carriers, agents, brokers, and services	P	P	P	P	P
Interior decorators office with limited retail	P	P	P	P	P
Jewelry retail	P	P	P	P	P
Landscaping services	C	C	C	C	C
Laundering, dry cleaning, and dyeing services	P	P	P	P	P
Legal services	P	P	P	P	P
Mail and phone order houses	P	P	P	P	P
Medical clinics (Excluding Plasma Donation Centers)	P	P	P	P	P
Microfilming services	P	P	P	P	P
Motel	NP	C	C	C	NP
Motor vehicle services (taxi, auto rental, ambulance, parcel pickup and delivery)	P	P	P	P	P
Natural activities (planetariums, aquariums, botanical gardens, zoos, etc.)	C	C	C	C	C
News syndicate services	P	P	P	P	P
Nurseries (plants)	C	C	C	C	C
Office equipment, furniture, machines and supplies retail	P	P	P	P	P
Outlets, factory and direct sales, wholesale	NP	C	C	C	NP
Paint, glass, and wallpaper retail	P	P	P	P	P
Pawnshop	NP	NP	NP	NP	NP
Pets and supplies retail	P	P	P	P	P
Photographic supplies retail	P	P	P	P	P
Photography, portrait and commercial	P	P	P	P	P
Physicians, Dental, Other Professional Medical Offices, Out-Patient Treatment Centers (Excluding Plasma Donation Centers)	P	P	P	P	P
Playgrounds and other recreational grounds	C	C	C	C	C
Political, civic and veterans organizations	P	P	P	P	P
Printing and publishing services	P	P	P	P	P
Professional/medical offices	P	P	P	P	P
Public or private parks	P	P	P	P	P
Public/community uses	P	P	P	P	P
Recreation or fitness center/health club	P	P	P	P	P
Research and development services	P	P	P	P	P
Restaurants, drive-in or fast food	C	P	P	P	C
Restaurants, sit down	P	P	P	P	P
Sexually oriented businesses	NP	NP	NP	NP	NP
Sign graphics and production	NP	C	C	C	NP
Sports activities, private (golf courses, tennis courts, skating rinks, etc.)	C	P	P	P	C
Storage and warehousing	NP	C	NP	C	NP
Swimming pools, commercial	P	P	P	P	P
Telephone and radio communication office (billing and repair)	P	P	P	P	P
Theaters (drive-in)	NP	C	NP	C	NP
Theaters (motion picture)	C	P	P	P	C
Theaters (traditional - plays)	P	P	P	P	P
Tobacco and tobacco products retailer (Including 'Vapor' and 'Smoke Shops')	NP	NP	NP	NP	NP
Treatment centers, In Patient (behavioral, drug and alcohol, and sanitariums)	NP	C	C	C	NP
Veterinary and animal hospital services	C	P	P	P	C
Wedding reception center	P	P	P	P	P
Residential					
Single Family Detached Residential	P	P	P	P	P
Accessory Unit	NP	NP	NP	NP	NP
Multi-Unit Home	P	P	P	P	P
Single-family residential attached dwelling unit (Townhomes)/ Patio Home, Duplex	P	P	P	P	P
Multi-family Residential Ground floor	P	P	P	P	P
Multi-family Residential Upper floors	P	P	P	P	P
Home Occupations	P	P	P	P	P
Other					
Parking, structured	NP	P	P	P	NP

January 19, 2016

* Permitted uses in CPA-1 within 250 feet of the north property line shall be limited single family detached residential

** To the extent a separate SDD is approved and becomes effective with respect to any portion of CPA-3, this Exhibit C shall not be applicable to any such portion.

EXHIBIT D - Street Type Matrix

MDG Base Street Types					
Street Type	Collector			Local	
Street Purpose	Connector - Major	Connector - Minor	Pedestrian Focus	Connector	Pedestrian Focus
Street Description	Connects arterials within a development, used for heavier traffic volume areas	Connects arterials within a development, used for normal connector traffic volumes	Ideal for a mixed-use center to serve pedestrians, bicycles and vehicles	Ideal within a neighborhood to support moderate traffic volumes and access to homes	Ideal for a walkable neighborhood with slow vehicle speeds
Overall Right of Way					
Right-of-Way Width (min)	74'	44'	43'	41'	49'
Streetscape Zone					
Overall Width Per Side (min)	13'	8'	11'	10'	11'
Furnishing Sub-Zone					
Width Minimum	8'	8'	5'	5'	5'
Landscaped or Hardscaped	Landscaped only	Landscaped only	Both permitted	Landscaped only	Both permitted
Pedestrian Scale Street Lighting	Optional	Optional	Required	Optional	Required
Street Trees	Optional	Optional	Required	Required	Required
Sidewalk/Trail Sub-Zone					
Sidewalks	Sidewalk to be provided on both sides if there is no trail, or if pedestrian safety requires	Sidewalk to be provided on both sides if there is no trail, or if pedestrian safety requires	Both sides required	Sidewalk to be provided on both sides if there is no trail, or if pedestrian safety requires	Both sides required
Sidewalk Width (min)	4'	4'	5'	4'	5'
Trails	Optional	Optional	Optional	Optional	Not Permitted outside travel way
Trail Width (min)	8' (if no sidewalk)	8' (if no sidewalk)	8' (in addition to required sidewalk)	8' (if no sidewalk)	N/A
Travel Way					
Overall Pavement Width (min)	48'	23'	21'	21'	27'
Number of Travel Lanes (max)	4	2	2	2	2-way yield
Lane Width Not Including Bike Lane (min-max)	11' - 12'	11' - 12'	10' - 11'	10' - 11'	N/A
Parking					
Parallel Parking	Not Permitted	Not Permitted	Optional	Optional	Allowed
Parallel Parking Width	N/A	N/A	8'	8'	8'
Angle Parking	Not Permitted	Not Permitted	Optional	Not Permitted	Optional
Reverse Angle Parking	Not Permitted	Not Permitted	Optional	Optional	Optional
Bicycle Facilities					
Bike Accommodation	Signage and Sharrow OR Bike Lane Required	Signage and Sharrow Required	Signage and Sharrow Required	Allowed	Allowed
Bike Lane Width Per Side (min)	5'	Separate Bike Lane Not Permitted			
Cycle Track	Optional	Separate Bike Lane Not Permitted			
Median					
Median	Optional	Optional	Optional	Optional	Not Permitted
Minimum Width	16'	16'	12'	6'	N/A
Access to Public Space					
Link to major park, open space, or public destination	Trail, bike lane or cycle track, or shared use sidewalk of 12 feet required, where feasible	Trail, or shared use sidewalk of 12 feet required, where feasible	Trail, bike lane or cycle track, or shared use sidewalk of 12 feet required, where feasible	Trail, bike lane or cycle track, or shared use sidewalk of 12 feet required, where feasible	Sidewalk required
Intersections					
Pedestrian enhanced crosswalks	Optional	Optional	Required	Optional	Required
Curb Return Radii	TBD	TBD	TBD	TBD	TBD