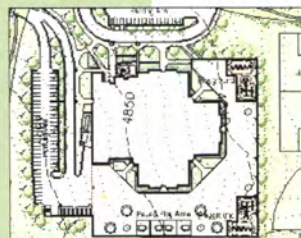




Monarch Meadows Specific Plan

Riverton, Utah

Submitted December 2002



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Section 1 **Executive Summary**

The following summaries highlight the major points covered in each of the subsequent sections of this Specific Plan:

SECTION 2: SPECIFIC PLAN SCOPE & LEGAL AUTHORITY

The Monarch Meadows Specific Plan is a development plan for approximately 206-acres on Riverton City's western boundary. The overall goal of Monarch Meadows is to develop a uniquely designed master-planned community that provides a variety of residential types, parks and recreation areas, an elementary school site, a pedestrian parkway system and preserves the corridor of Rose Creek. Monarch Meadows is designed to be a model, pedestrian-oriented planned development, affording its residents a strong sense of place and community.

The Monarch Meadows Specific Plan will be adopted as a part of Riverton City's Zoning Code by ordinance, similar to the manner that the city adopts changes to its zoning plan. The property covered by the Specific Plan will be classified on the Riverton City Zoning Plan as a "Specific Plan" or "SP" Zone. Once the adoption is effective, the regulations and guidelines included within this document will become the zoning for the property, based upon the terms and conditions included herein.

SECTION 3: PROJECT DESCRIPTION

Monarch Meadows is located in the western portion of Riverton City, adjacent to the city's western boundary. The parcel is located at the southwest corner of the intersection of 13400 South and 4800 West and is accessible from both streets. The proposed Legacy Highway corridor is located along the eastern boundary of the parcel.

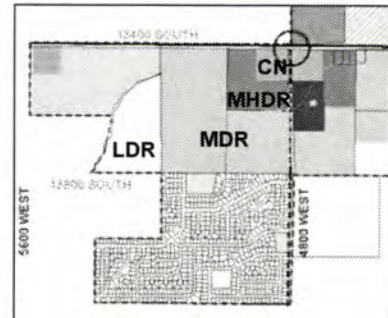
While the primary access to the site is from 13400 South and 4800 West, additional roadways stub into the parcel from Foothills subdivision to the south and Autumn Hills subdivision (Phase 1) from the west.

The Rose Creek drainage channel traverses the site and flows from the west to the east. While the creek is intermittent, it provides the primary drainage outlet for the parcel and the area to the west. The channel varies in depth as it passes through the site, from 5' deep on the west to approximately 16' deep on the east.

SECTION 4: RIVERTON CITY MASTER PLANS

The Monarch Meadows parcel lies within several zones designated on the City's recently adopted General Plan. These zones include:

- LDR Low Density Residential (2.1-5 units/acre)
- MDR Medium Density Residential (5.1-8 units/acre)
- MHDR Medium-High Density Residential (8.1-12 units/acre)
- CN Neighborhood Commercial



*Riverton City General Plan
Land Use Designations*

The density of these zones increases sequentially as it moves toward the commercial zone at the northeast corner of the parcel at the intersection of 13400 South and 4800 West.

The total number of dwelling units permitted by the Riverton General Plan was determined by taking the total planned capacity of Residential Subarea 10 (Figure 2-2 of the Riverton General Plan). The Monarch Meadows development is located within Subarea 10, a planning area that has an overall density of 3.6 units per acre and a total build-out of 1,637 units (defined in Table 2.4 and Figure 2-2 of the Riverton General Plan). The Monarch Meadows project will utilize the remaining land area within Subarea 10. Therefore, the total number of dwelling units allowed for this project was determined as outlined in the following table:

Planned Capacity of Subarea 10	1,637 units
Less Autumn Hills subdivision	- 126 units
Less Foothills subdivision	- 550 units
Total units available in Subarea 10	961 units

Table 1-1 Available unit calculation

The Master Site Development Plan proposes 961 dwelling units, fulfilling the density targeted for Subarea-10.

SECTION 5: CONCEPTUAL MASTER PLAN ALTERNATIVES

Three alternative conceptual site plans were developed for consideration at the Monarch Meadows development site. For ease of reference the three alternative plans are named Plan A, Plan B and Plan C respectively. This Master Site Plan is a combination of plan elements found predominately in Alternative Conceptual Site Plan C. The Master Site Plan is found in Figure 5-4. It includes the following elements: 421 single-family housing units, 540 multi-family housing units, recreation and open space and the general layout of roads and pedestrian walkway systems.

The Monarch Meadows project has been designed with six different zones: R-5 (single family detached, 5 units per acre), R-7 (single family detached, 7 units per acre), RM-12 (multi-family, 12 units per acre), RM-18 (multi-family, 18 units per acre), C (commercial) and OS (open space). Each zone and the associated restrictions are described in detail in the report.

SECTION 6: DESIGN ELEMENTS MASTER PLAN

An architectural style will be created for Monarch Meadows through building massing, details and color. The project will broaden market appeal and increase visual diversity by creating different massing, garage placement, street setbacks, and one-story and two-story elements within each product line. The Landscaping Plan includes details from the following elements: entry feature, fencing, signs, landscape side treatments (on roads), street lighting.

SECTION 7: ENGINEERING ELEMENTS MASTER PLAN

As part of the construction, The Developer will vacate and realign 4800 West and widen the right of way to 13400 South. Additionally, they will tie into existing roads stubbed in the Autumn Hills and The Foothills subdivisions.

Grading of the site will follow the existing slope as far as is possible. Drainage will be collected in a system of storm drain pipes that will be detained on site and discharged into the Rose Creek channel. The Developer will provide routing for a 10-year storm through the minor system (piping) and a 100-year storm through the major system (roads, local grading, detention ponds, etc.). Salt Lake County Flood Control will require that the site runoff be restricted to a rate similar to that of existing conditions.

In the past, the Jordan Valley Water Conservancy District has owned, controlled and maintained water system in the area west of 4800 West Street. In recent conversations, this scenario may change and the Foothills, Autumn Hills and the proposed Monarch Meadows development may change to be under the maintenance of Riverton City.

Currently there is a 12" ductile iron water line stubbed to the property line on the northwest corner of the project on 13400 South Street just inside the pavement and two 8" water stubs in the streets south of the project in the Foothills subdivision. A water model will be prepared by the City to plan pipe sizes within the project.

An existing secondary water tank is located on the east boundary line of the property and is maintained by Riverton City. The tank's elevation is too low to allow its use to service the Monarch Meadows project. The city will require the installation of secondary water lines that will remain dry until a reservoir location is identified that will service this zone.

The sanitary sewer service for this area of Riverton City is provided by South Valley Sewer District. The district will own and maintain all of the sanitary sewer lines that are 8" or larger. Sanitary sewer service for the area north of Rose Creek will flow to a 12" sewer line in 13400 South. The service for the area south of Rose Creek will flow to an 18" concrete pipe in 4800 West at the southeast corner of the parcel. Additional 8" stubs are provided from the subdivisions to the south of Monarch Meadows and may be used, depending on final grades of the streets within the proposed subdivision.

A geotechnical engineering report was completed by Professional Service Industries, Inc. in August 2002 and is incorporated into this plan in Appendix B.

SECTION 8: MULTI-FAMILY PLAN

Approximately 36 acres on the east side of 4800 West is set aside for 3 types of multi-family development. The developer will construct 540 units at total build-out and, depending upon the market, they will be most likely be divided into several phases. Homeowner's Associations will be set up for the care and maintenance of the common areas and recreation areas of these developments.

SECTION 9: COMMERCIAL PLAN

Approximately 13 acres south of 13400 South and west of 4800 West is set aside for commercial development. It is anticipated that a grocery store or large retailer will anchor the development with a smaller strip of retail along the south side of the parcel and several pad sites. In addition, the proximity of the commercial development to the Rose Creek Parkway will allow easy access to the parkway.

SECTION 10: PHASING PLAN

The Developer will build Monarch Meadows in 10 phases depending on economic and housing market indicators. A phasing plan for the project is included as Figure 10-1.

SECTION 10: ECONOMIC IMPACT ANALYSIS

Wikstrom studied the economic viability of the Monarch Meadows project during the Specific Plan process. The final conclusion states that the Monarch Meadows project will generate sufficient revenues to cover normal municipal operating expenses through the life of the project.

SECTION 11: OPEN SPACE PLAN

Monarch Meadows proposes a variety of open space, parks and recreation elements that include a widened landscape parkway along 13400 South and 4800 West, the preservation and enhancement of the Rose Creek corridor, a system of collector parkways to provide a pedestrian parkway for community residents, an 8-acre community park with soccer fields and a 3.5-acre neighborhood park. The open space and parks system also includes four acres of playgrounds and fields that will be constructed on the elementary school site. Figure 5-5 is the overall open space and parks plan. The plan meets the Riverton City General Plan requirements for recreation facilities.

The objectives of the Specific Plan relative to open space are as follows:

1. Develop a planned community atmosphere with improved open spaces and parks.
2. Provide the opportunity to develop City owned and maintained parks through a 40-acre± land dedication.
3. Provide for a pedestrian network that will allow residents to walk freely between residential areas, the parks and the canal parkway.

Several amenities comprise the open space plan. First, open space has been reserved as landscaped pedestrian corridors that will connect all of the major open spaces to the residential areas. The width of these landscaped pedestrian corridors varies from 25-30' along major routes down to 10' along minor routes.

Second, two parks are located within the Monarch Meadows development. The first of these is an 8-acre park on the east side of 4800 West that will include soccer fields, a playground and pavilion. The second park is a 3.5-acre neighborhood park located in the heart of the single-family residential area. This park will include passive recreation features including a playground, a basketball court and a picnic pavilion. Each of these parks is designed to be a focal point for residents and visitors to Monarch Meadows.

Third, a segment of the Rose Creek Trail that runs through the parcel will be developed along the Rose Creek Channel. The slopes of the creek channel will be excavated back to a 3:1 slope to allow easier access to the creek bed. It is anticipated that this parkway will connect to future segments of this trail providing a linear parkway throughout the city. Details of the trail are located in the report.

Fourth, about 40% of the multi-family development is planned for open space. The open space for these areas is expected to include large grass areas and playground equipment. The open space for the multi-family development is designed to connect to the parkway trail along the Rose Creek channel.

The Developer will pay for the construction of all open spaces within Monarch Meadows. Riverton City will reimburse the developer for public open space improvements and land costs, based on an agreement detailed as part of the approval of this project. The city's reimbursements will be paid from impact fees generated during the building permit process. The Developer will not be reimbursed for open space improvements within the multi-family development.



Section 2

Specific Plan Scope & Legal Authority

A. INTRODUCTION

The Monarch Meadows Specific Plan is a development plan for approximately 206-acres on Riverton City's western boundary. The overall goal of Monarch Meadows is to develop a uniquely designed master-planned community that provides a variety of residential types, parks and recreation areas, and provides for the future development of the community. Monarch Meadows is designed to be an attractive residential development, which provides both a sense of place and individuality.

Specific Plans are a means of governing large scale/mixed use development in Utah, and more specifically, Riverton City. They are unique because they have the authority to supersede certain sections and provisions of the City's zoning, subdivision and similar ordinances as they apply to the particular master planned development to which the Specific Plan applies. Once adopted by Riverton City the regulations and guidelines included herein will be used to set appropriate standards for lot development, housing location, street design, park design, landscaping and similar development regulations.

B. PURPOSE, SCOPE AND LEGAL ASPECTS

1. Purpose

In order to offer both the developer and the City the ability to explore different planning scenarios allowing for a more flexible land use plan, Monarch Meadows has proceeded with this "Specific Plan." The goal of the Specific Plan is to reach a consensus plan for the site that benefits both Riverton City and the developer.

Along with the adoption of the Specific Plan, it is anticipated that a Development Agreement, based upon the content of the Specific Plan, will be executed between the developer and Riverton City. Therefore, the purpose of Monarch Meadows Specific Plan is to:

- a. Permit the consideration of land use alternatives.
- b. Permit the development of a mixed use, mixed density plan to include residential, parks, and open spaces.
- c. Permit the creative planning of amenities, lot sizes, and other development amenities within the framework of given densities and other zoning details found in the Riverton City General Plan.
- d. Compliment design elements in an effort to enhance residential site design, streetscape design and open spaces.
- e. Create an interesting and viable project that exemplifies the interest and approach of these types of projects in Riverton City.

2. Scope

As a land-use planning tool, a Specific Plan provides three central advantages.

First, it allows flexibility in design that may not be available under standard land use and zoning

practices. The term, "Specific Plan" means that the regulations and guidelines included are specific to this site and no other development in the city.

Second, the Monarch Meadows Specific Plan will be an integral part of a Development Agreement made between the city and the land owner and/or developer. Guidelines and regulations included herein will be legally binding upon the city, the land owner, the developer and any successors. These guidelines and regulations can only be altered by amendment, agreed to by both parties and performed as part of a similar public hearing under which this Specific Plan is originally adopted.

Third, the Specific Plan acts as a zoning document for the property. This Specific Plan should be adopted by the Riverton City Council as the zoning code for the Monarch Meadows property. All guidelines and regulations included herein replace standard city zoning regulations that are in conflict with these regulations. The following rules apply to time and manner that the Specific Plan should take precedence over standard city zoning regulations:

- a. Where a specific land use regulation is cited in the Specific Plan (i.e. Setbacks), the guidelines and regulations included herein take precedence.
- b. Where the Specific Plan is silent and does not address land use regulations, the standard city regulations apply.

As part of the companion Development Agreement, the applicability of the site-specific standards, regulations and guidelines will be enumerated in sufficient detail. Once adopted and executed by the parties, the Specific Plan and the Development Agreement will be the enabling legislation permitting the Monarch Meadows project to supercede specific sections of the Riverton City Zoning Code as enumerated herein. As part of that agreement, certain mitigation measures and improvements may be required to offset the effect of the alteration of typical city standards and regulations.

3. Legal Authority

The Monarch Meadows Specific Plan will be adopted as a part of Riverton City's Zoning Code by ordinance, similar to the manner that the city adopts changes to its zoning plan. The property covered by the Specific Plan will be classified on the Riverton City Zoning Plan as a Specific Plan or "SP" zone. Once the adoption is effective, the regulations and guidelines included within this document will become the zoning for the property, based upon the terms and conditions included herein.

4. Administrative Amendment Procedures

The Monarch Meadows Specific Plan has been designed to accommodate the development of the property to the extent known at this time. Because of changing market conditions and similar events, portions of the Specific Plan may need to be updated or amended. It is anticipated that minor changes to the Specific Plan can be approved by the City's Planning Department Director. Substantial changes may need to be reviewed by the Planning Commission and/or City Council.

The following criteria shall be used to make administrative amendments to the regulations, criteria and guidelines included herein.

- a. Minor amendments to the acreage of land use areas and/or the number of permitted dwelling units within a given land use area may be amended by the City Planning Department Director upon written request by the developer. The Planning Department

Director will be empowered to approve changes to the acreage and/or number of permitted dwelling units that do not exceed 10% from the approved Specific Plan.

- b. Amendments to the following sections:
 - i. Land Use / Development Plan (Section 5)
 - ii. Site Development Standards (Section 6)
 - iii. Phasing (Section 11.B)

Amendments to the above-referenced sections that do not substantially alter the intent of the zoning regulation can be approved by the City Planning Department Director as an administrative amendment.

- c. Decisions of the City Planning Department Director on administrative amendments may be appealed to the Riverton City Council who will have the final decision.
- d. Substantial amendments (those that propose a significant change to land use area, number of dwelling units or the size and/or type of lots proposed) shall be reviewed by the Planning Commission. Decisions of the Planning Commission on substantial amendments may be appealed to the City Council.

C. PLAN OBJECTIVES

The following objectives are the basis for the Monarch Meadows Specific Plan.

1. Develop a planned community that contributes to the fiscal prosperity of Riverton City.
2. Develop a planned community that provides for a variety of residential types and lot sizes thus providing a range of housing opportunities.
3. Develop a planned community atmosphere with improved open spaces and parks.
4. Provide the opportunity to develop City-owned and maintained parks through a 40± acre land dedication.
5. Provide for a pedestrian network that will allow residents to walk freely between residential areas, the parks and the creek parkway.
6. Develop an approach where complementary site planning and community design element themes are present throughout the planned community.



Section 3 Project Description

A. LOCATION

Riverton City, which was founded in 1865, boasts a 2000 Census population of 30,684. The city is located in the southwest quadrant of Salt Lake County. Figure 3-1 locates Riverton City and the Monarch Meadows Planned Community in relation to the remainder of Salt Lake County.

Monarch Meadows is located at the southwest corner of the intersection of 13400 South and 4800 West and is accessible from both streets. The proposed Legacy Highway corridor is located along the eastern boundary of the parcel. Figure 3-2 contains an Aerial Photograph illustrating the location of the subject property.

B. ACREAGE

The Monarch Meadows Planned Community property contains about 206-acres and is approximately 2,650 feet in the north/south direction and about 4,000 feet in the east/west direction. The property approximates a square with a jog that extends westward to the eastern side of Rose Creek.

C. LEGAL DESCRIPTION

The Monarch Meadows property is split between five separate parcels. The legal description for the assembled parcels is included in Appendix G to this Specific Plan.

D. BOUNDARY SURVEY

A boundary and topographic survey was prepared by Stantec Consulting, Inc. for the Monarch Meadows property and is shown as Figure 3-3.

E. EXISTING CONDITIONS

The Church of Jesus Christ of Latter-day Saints has used Monarch Meadows for farming for many years. The Rose Creek flood plain creates a natural boundary separating the property. The property is bounded by the following subdivisions: The Foothills Subdivision on the South property line and Autumn Hills Phases 1 and 2 on the West Property line. Near the North end of the property the creek bends to the East cutting through the middle of the property. A minor drainage channel exists on the south end of the property running from the approximate midpoint of the Southern boundary to 4800 West. The intersection point of this drainage with 4800 West is approximately 350 feet south of the intersection of Rose Creek and 4800 West. There is an existing secondary irrigation water tank near the intersection of Rose Creek and 4800 West. This water tank is owned and operated by Riverton City. The majority of the property is typical of the rural residential and farming lands that are found in the vicinity. No other major distinguishing features can be found on the site.

1. Existing Roads

The major access road to the Monarch Meadows property is 13400 South. There are also roads stubbed into the property from The Foothills development near the south end of Monarch Meadows as well as roads stubbed from the Autumn Hills development to the west.

During their recent Master Plan process, Riverton City developed typical sections to be used for various types of collector and arterial roadways. Figure 3-4 displays the typical sections generated from the Master Plan.

2. Existing Grading

The Rose Creek channel is the dominant feature on the site and the entire site drains toward the channel. The property generally slopes downhill from southwest to northeast. The high point of the site is in the southwest corner at an elevation of 4,906 feet. The low point is the outlet of the rose creek channel at 4800 West that is at an elevation of approximately 4,775 feet. This drop in 130 feet yields an average slope of 3.5% across the parcel.

Riverton City's Storm Drain Master Plan calls for all of the storm water runoff from the site to be discharged into Rose Creek. The FEMA flood insurance rate maps indicate a generalized area around Rose Creek as being within the 100-year flood plain. However, no specific study has been performed to determine the actual extend of the flood zone. It is anticipated that the current channel, which is nearly 16' feet deep in some locations, has sufficient capacity to convey the 100-year storm. As part of this improvement, the developer will submit an application to the Federal Emergency Management Agency to revise the flood map.

3. Existing Utilities

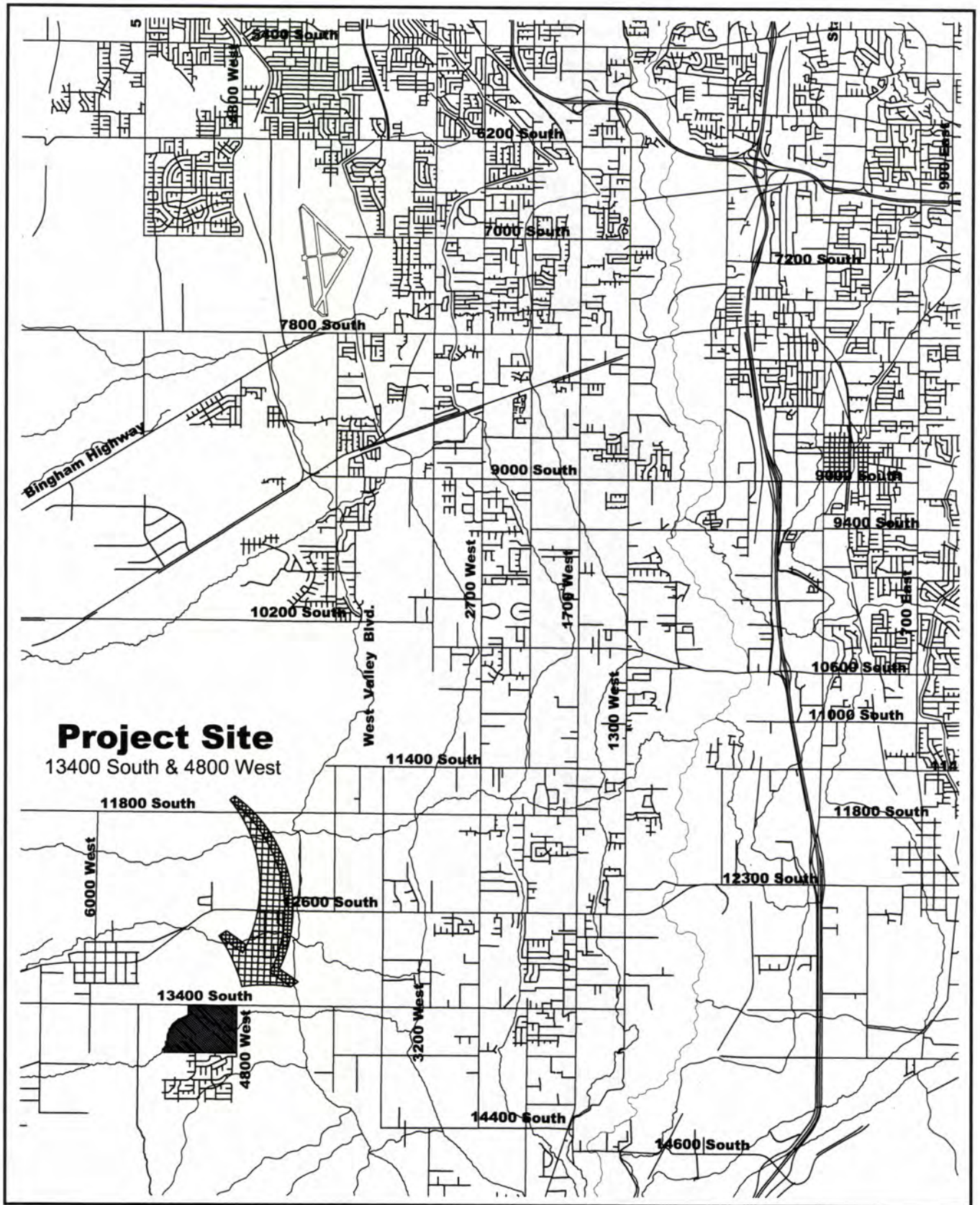
a. Water Service

Riverton City is the entity that will serve culinary (potable) water to Monarch Meadows. City records show that there are four culinary water mains stubbed to the boundaries of Monarch Meadows. These main lines are displayed on Figure 3-5.

The culinary water master plan requires that the water mains described above be connected together through Monarch Meadows. Upon submittal of preliminary design drawings, the city will initiate a master water study for the development. During this study, they will determine the fire and service needs of the development and whether the proposed water system meets those needs.

b. Sewer Service

The entity providing sanitary sewer service to Riverton City is the South Valley Sewer District. The district maintains two lines that could possibly serve Monarch Meadows. Figure 3-5 displays the sanitary sewer mains in the vicinity of the project.



Monarch Development
Salt Lake City, Utah



Monarch Meadows

Locus Map

Figure 3-1



Section 4

Riverton City Master Plans

A. RIVERTON CITY ZONING PLAN

The current zoning map for Riverton City is shown in Figure 4-1. Though the land use for the Monarch Meadows property is currently farming, the entire property is zoned for residential, two dwelling units per acre (R-2 and RR-22). The property will need to be rezoned before construction may begin. The Specific Plan process allows the Monarch Meadows property to be rezoned to match the Preferred Plan described in the Specific Plan.

B. RIVERTON CITY LAND USE PLAN

According to Riverton City's Land Use Plan (Figure 2-1, General Plan), the Monarch Meadows parcel lies within several zones. These zones include:

- LDR Low Density Residential (2.1-5 units/acre)
- MDR Medium Density Residential (5.1-8 units/acre)
- MHDR Medium-High Density Residential (8.1-12 units/acre)
- C-N Neighborhood Commercial

The density of these zones increases sequentially as it moves toward the commercial zone at the northeast corner of the parcel at the intersection of 13400 South and 4800 West. The Land Use Plan depicting these zones is shown in Figure 4-2.

C. RIVERTON CITY PARKS AND OPEN SPACE PLAN

During the preparation of the Riverton City General Plan provisions were made for a Parks and Open Space Plan. This plan is shown on Figure 4-3. The plan calls for the Monarch Meadows development to locate a park within the development. Additionally, the plan calls for a multi-purpose pedestrian/bike trail along Rose Creek that will run through the city along the entire length of the Rose Creek channel.

D. RIVERTON CITY STREET TREE MASTER PLAN

Riverton City's street tree master plan is shown in Figure 4-4. The figure is copied from the Riverton City General Plan (Figure 4-3 of that plan). The figure outlines the trees that are planned for the rights-of-way for the major streets throughout the city. The trees within the 13400 South right-of-way are called out to be either English Oak (*Quercus robur*) or Silver Linden (*Tilia tomentosa*). The General Plan identifies the Legacy Highway corridor along 4800 West and it was assumed for the purposes of this plan that the 4800 West right-of-way should follow the tree selection guidelines for the Legacy Highway corridor. As such, the trees within the 4800 West right-of-way are called out to be Common Hackberry (*Celtis occidentalis*) or London Planetree (*Platanus x. acerifolia*). Street trees on minor streets within the development are not identified in Riverton City's General Plan and will be chosen from the Riverton City Recommended Plant List found in Appendix F.



Monarch Meadows

Riverton, Utah

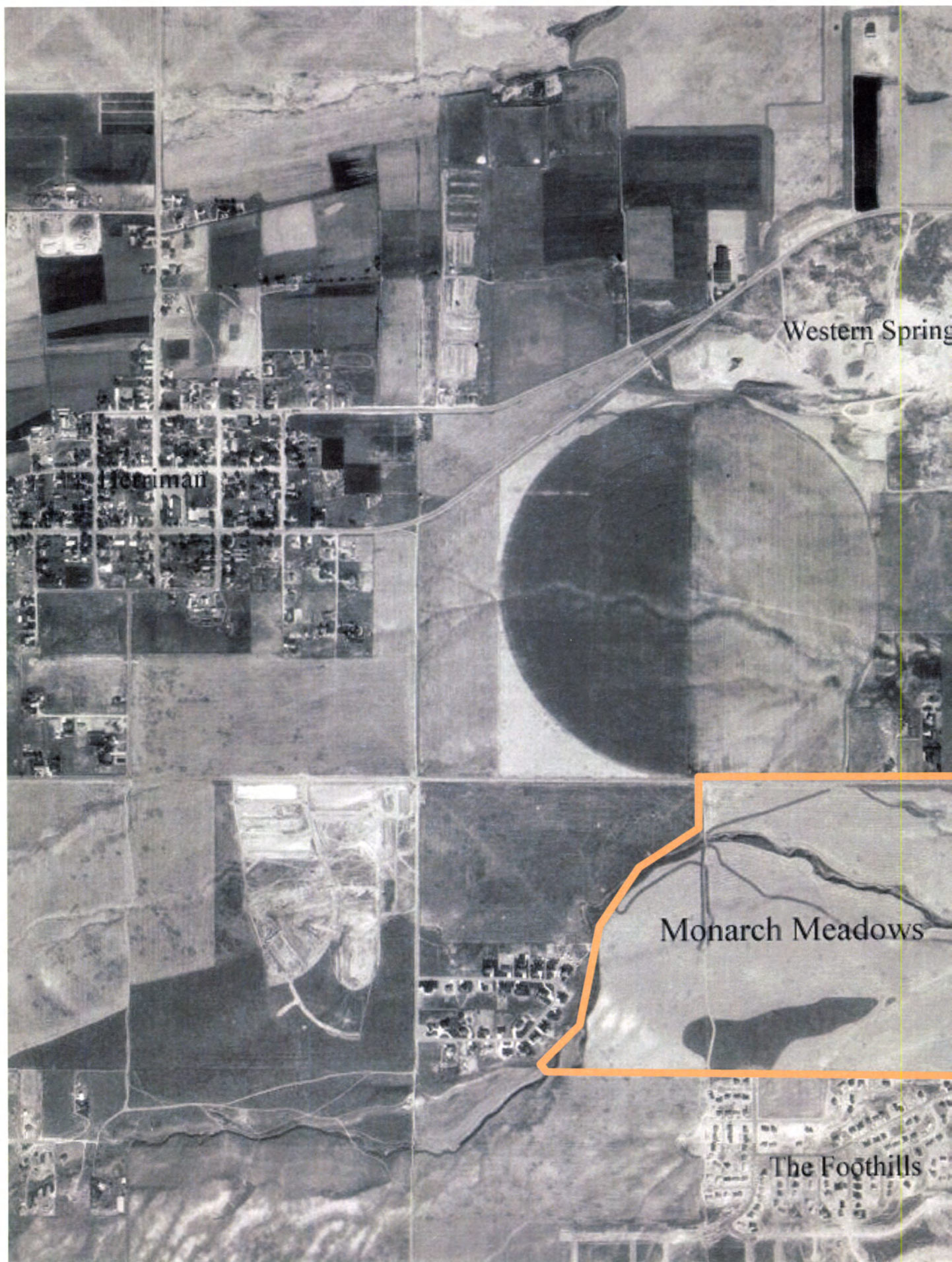
Aerial Photograph

Figure 3-2



Monarch Development
Salt Lake City, Utah



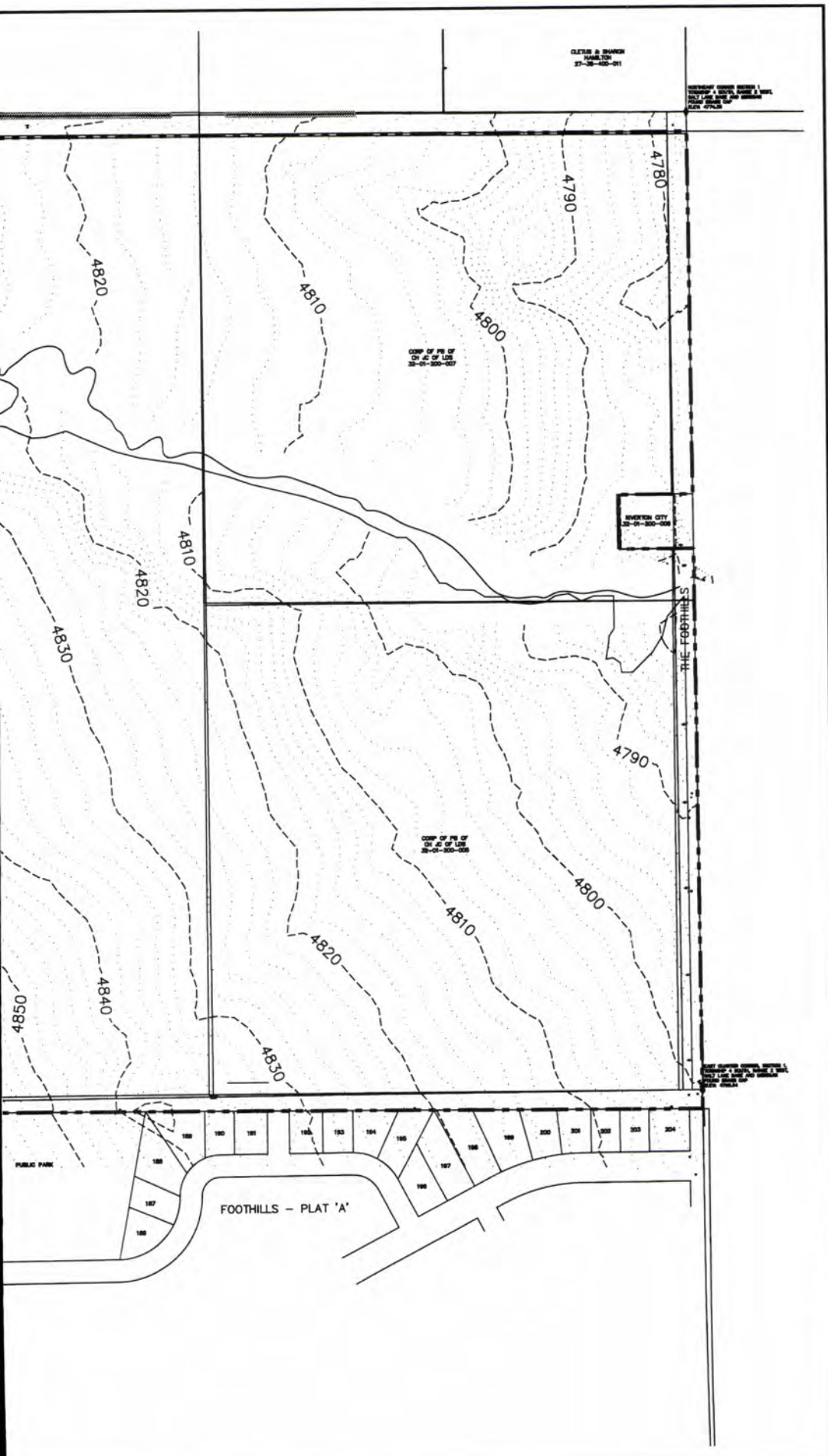




**Monarch
Meadows**
Riverton, Utah

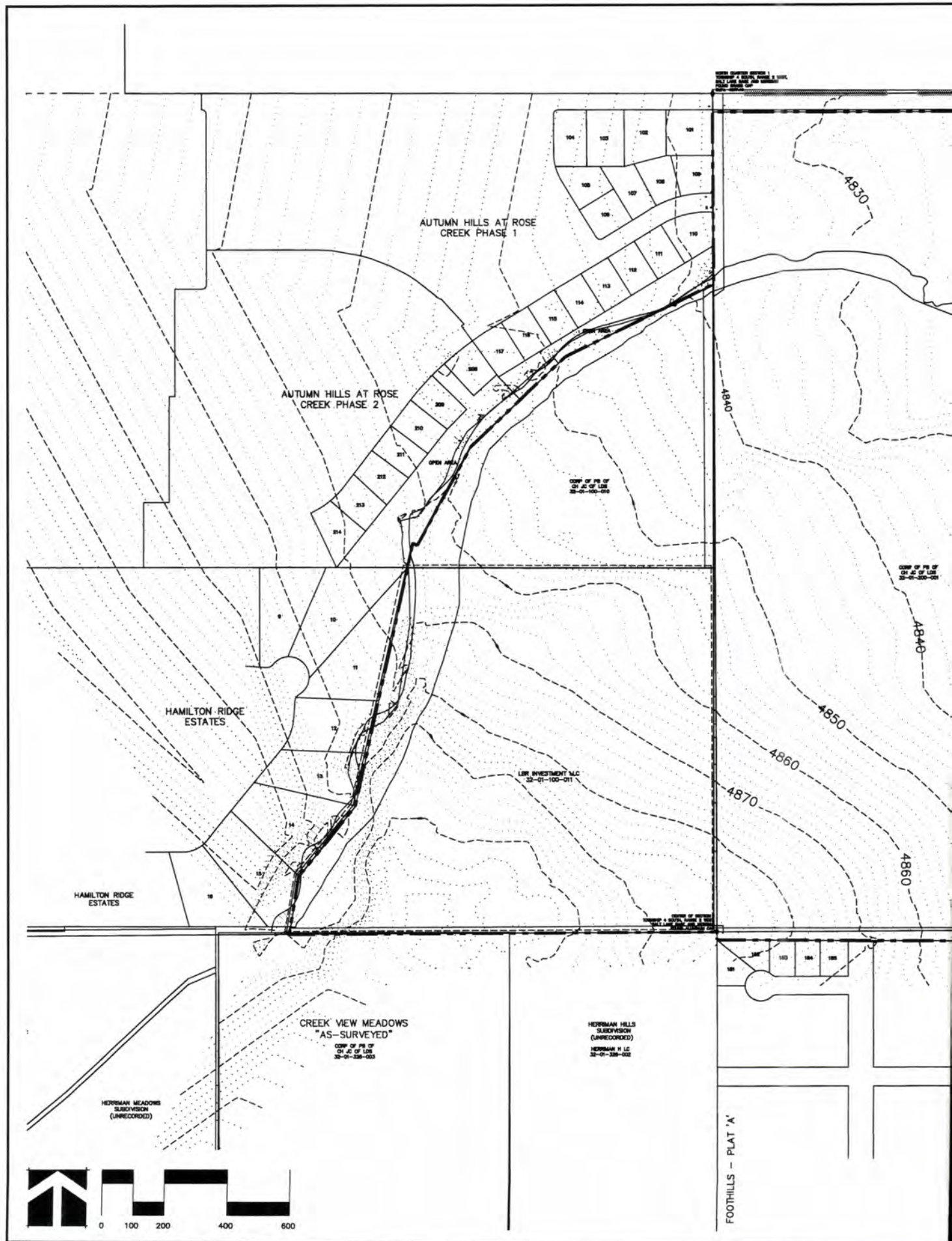
Topographic Survey

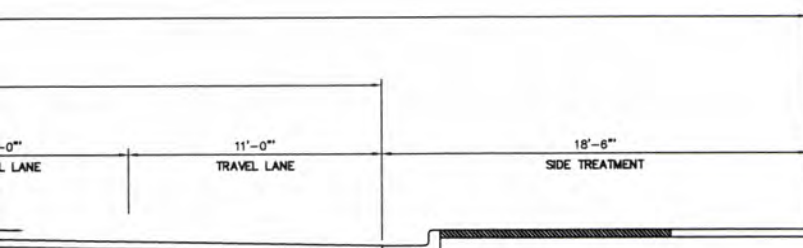
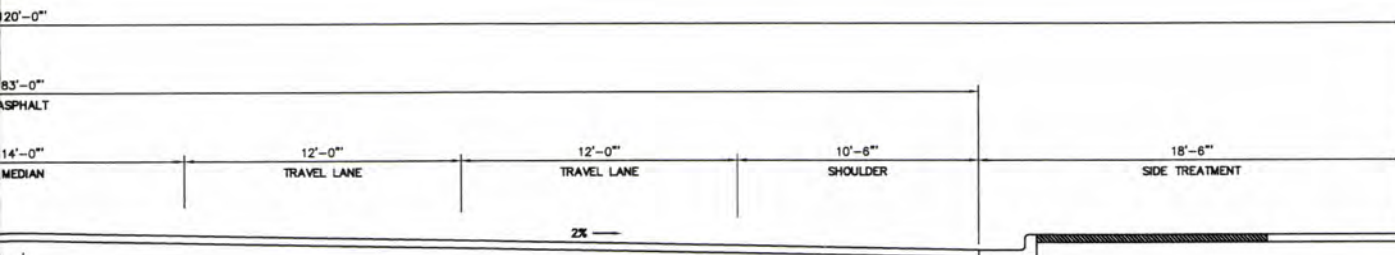
Figure 3-3



Monarch Development
Salt Lake City, Utah

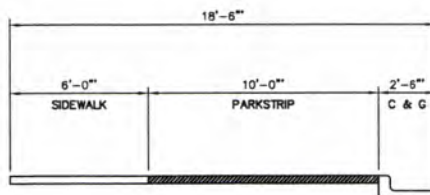
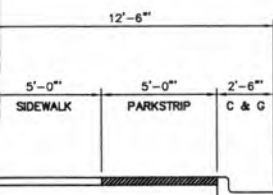






 **Monarch Meadows**
Riverton, Utah

Riverton Typical Street Section Plan Figure 3-4

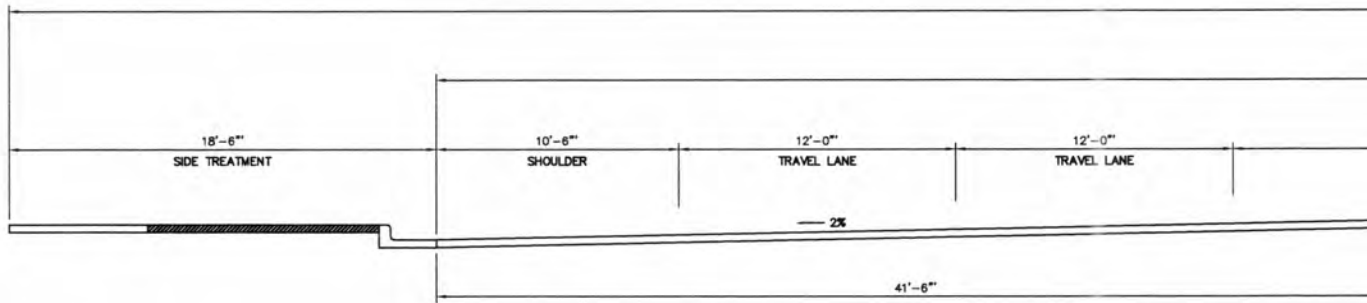


SOURCE: RIVERTON TYPICAL
STREET SECTIONS (FIGURE 14)

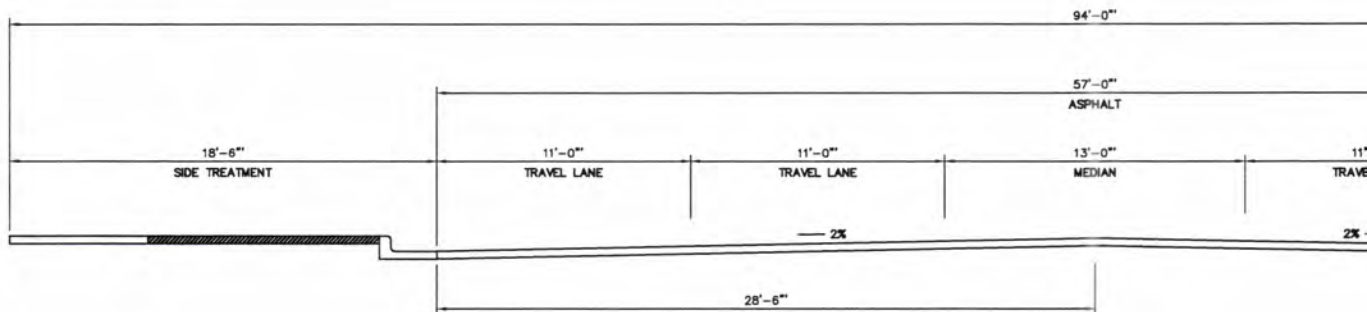
Monarch Development
Salt Lake City, Utah

 **ASWN**
ALLRED SOFFE WILKINSON & NICHOLS INC.

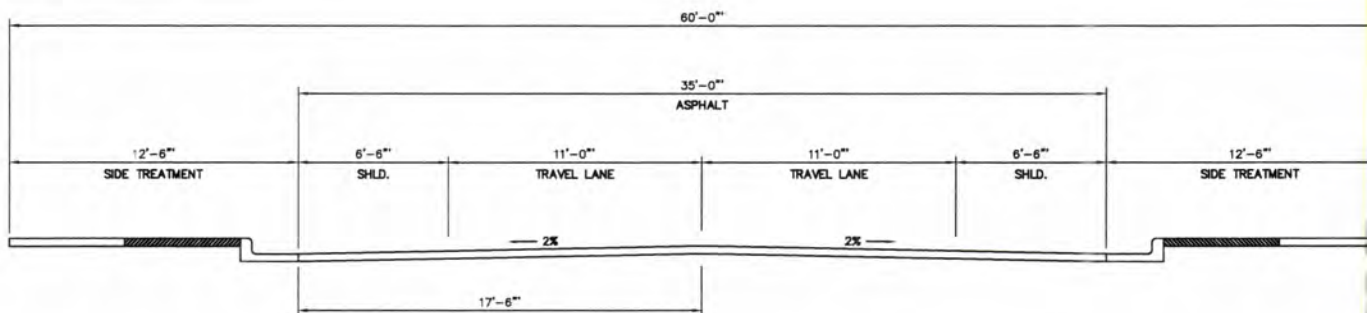
E SIDE TREATMENTS



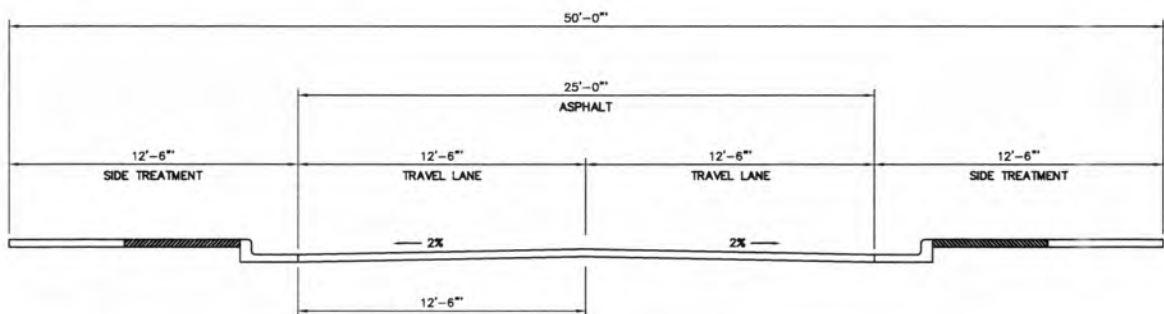
A 120-FOOT RIGHT-OF-WAY
5-7 LANES



B 94-FOOT RIGHT-OF-WAY (TYPICAL)
3-5 LANES



C 60-FOOT RIGHT-OF-WAY (TYPICAL)
2 LANES



D 50-FOOT RIGHT-OF-WAY (BY APPROVAL ONLY)
2 LANES

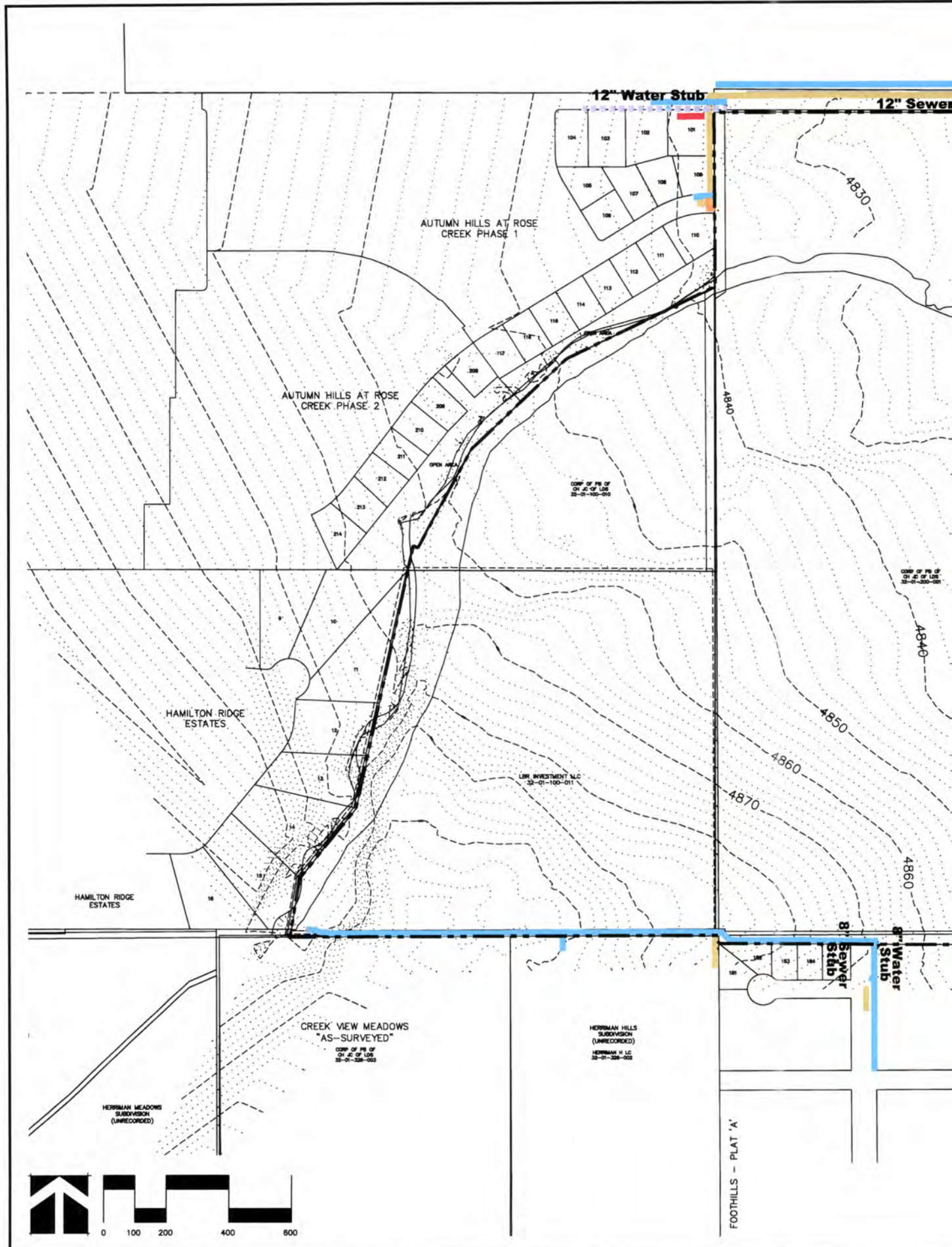


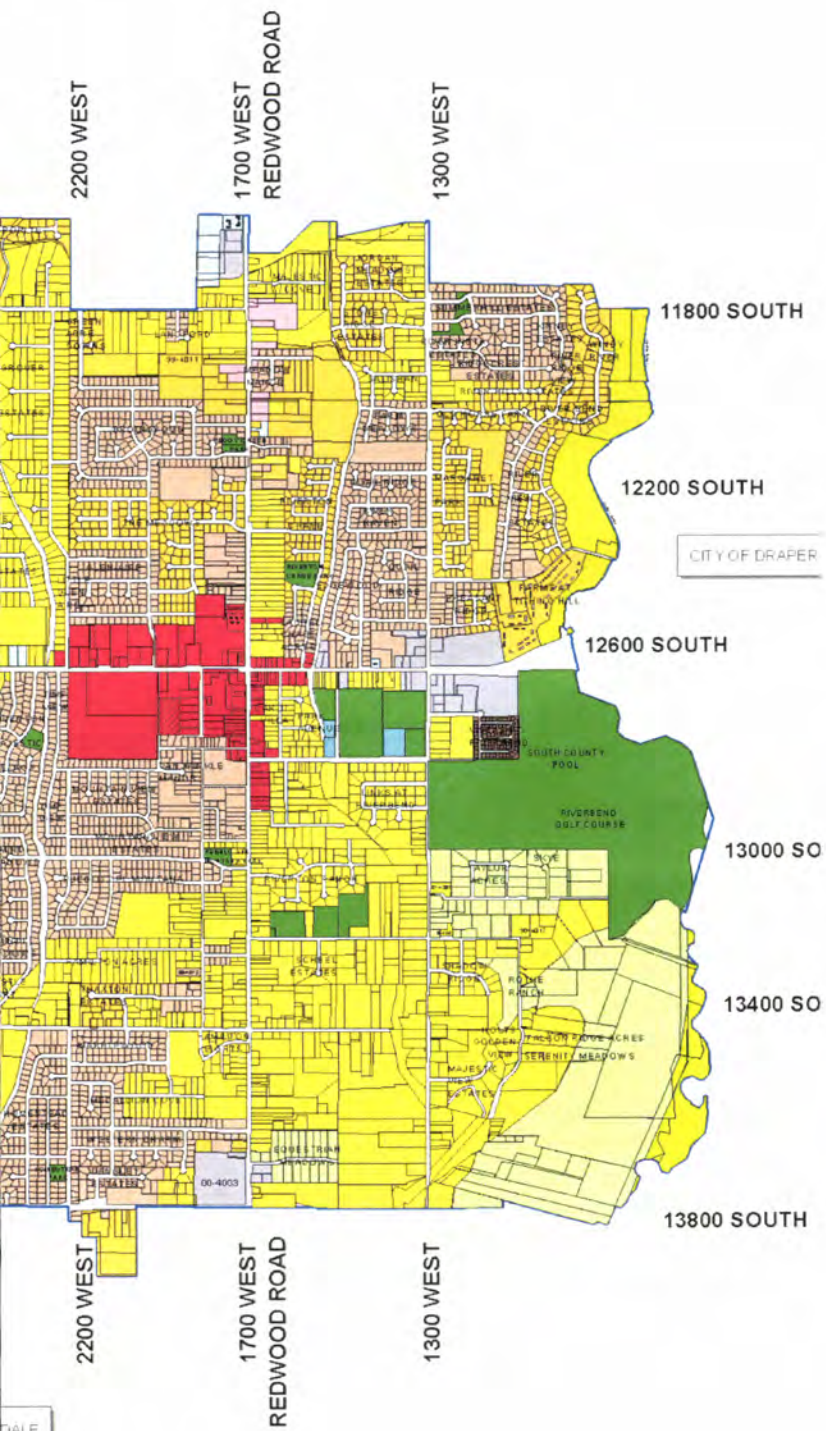
Figure 3-5

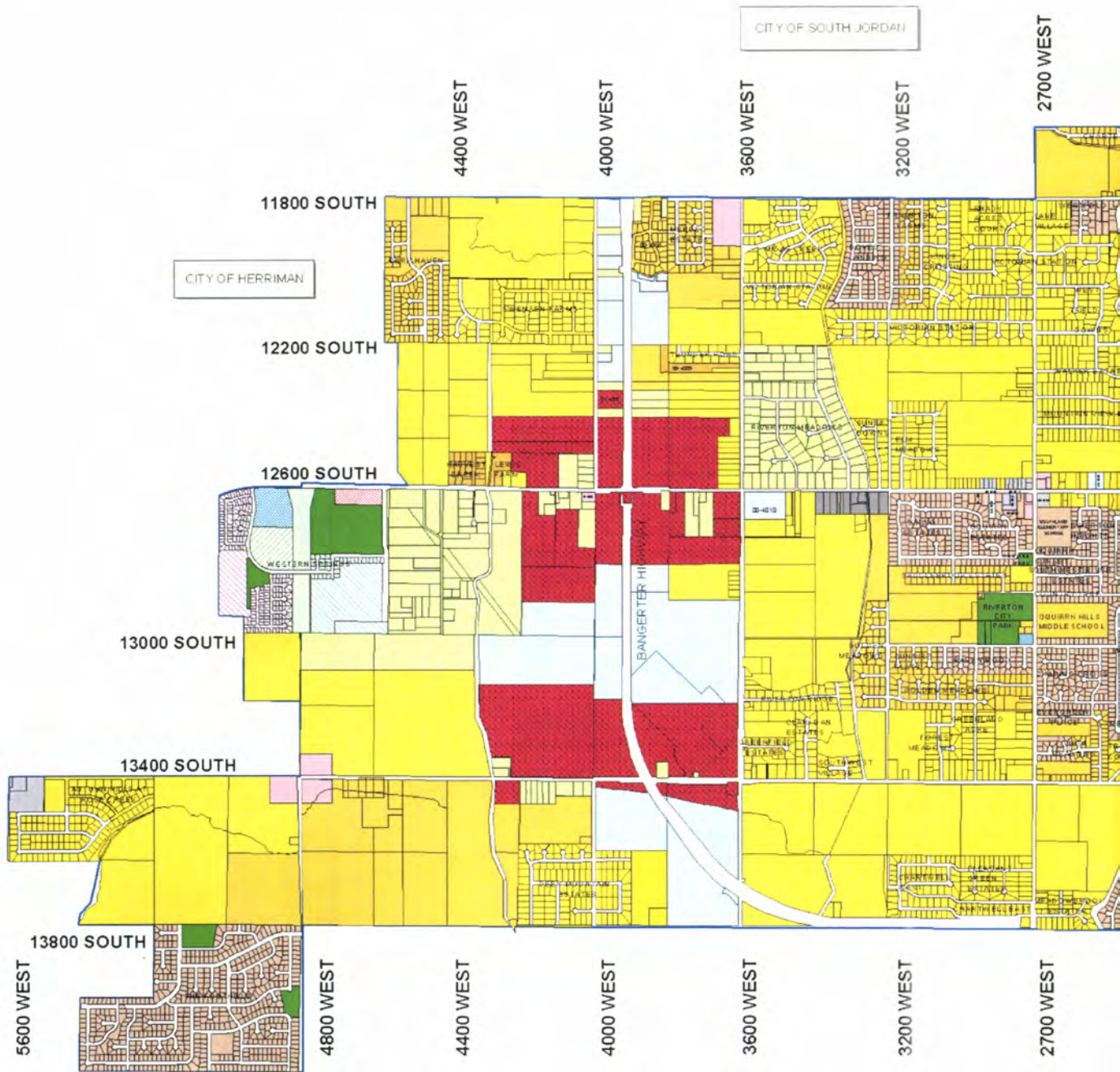


Monarch Development
Salt Lake City, Utah





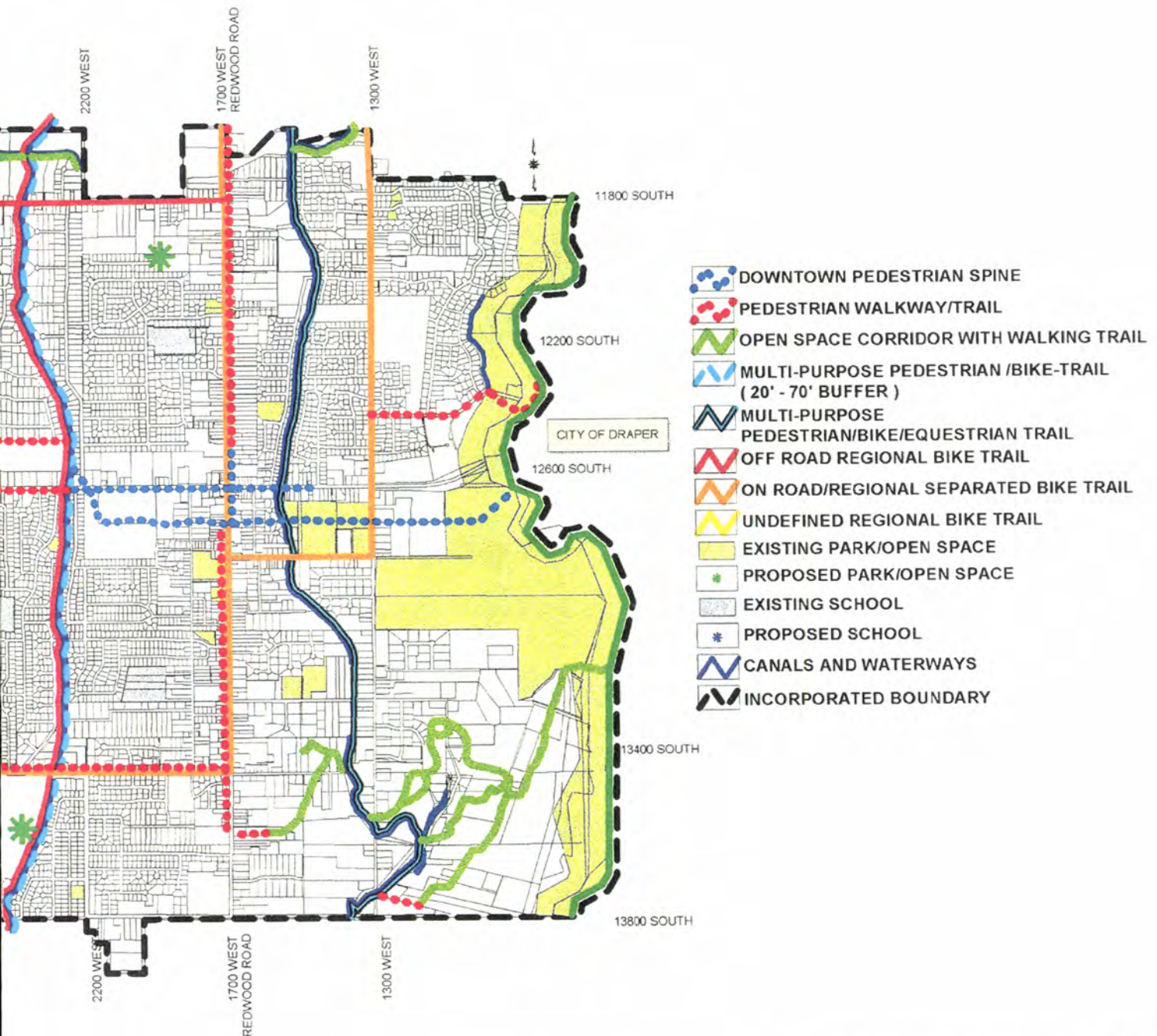






Monarch Meadows

Riverton, Utah

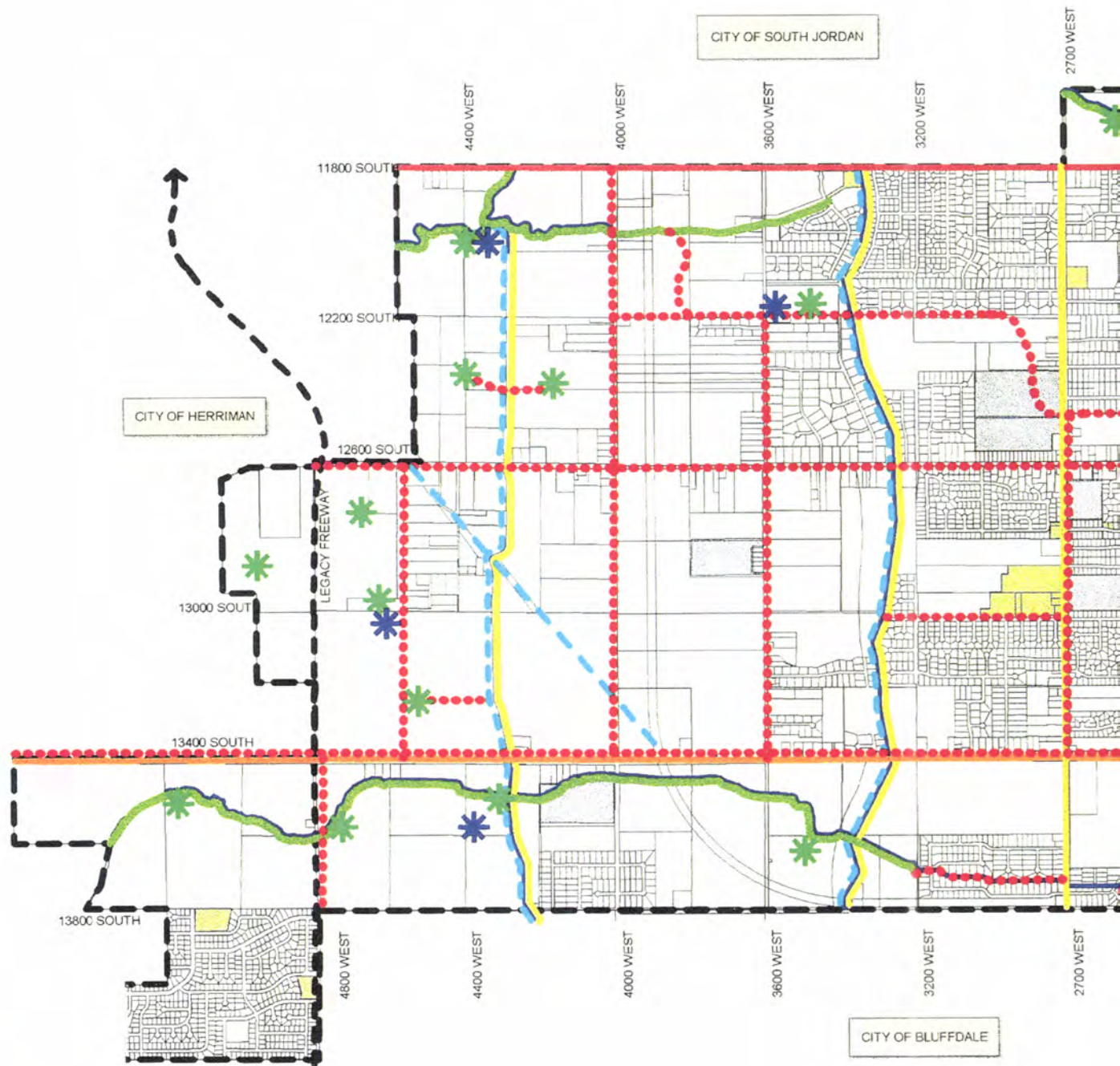


Monarch Development
Salt Lake City, Utah



Riverton City Parks & Open Space Plan

Figure 4-3

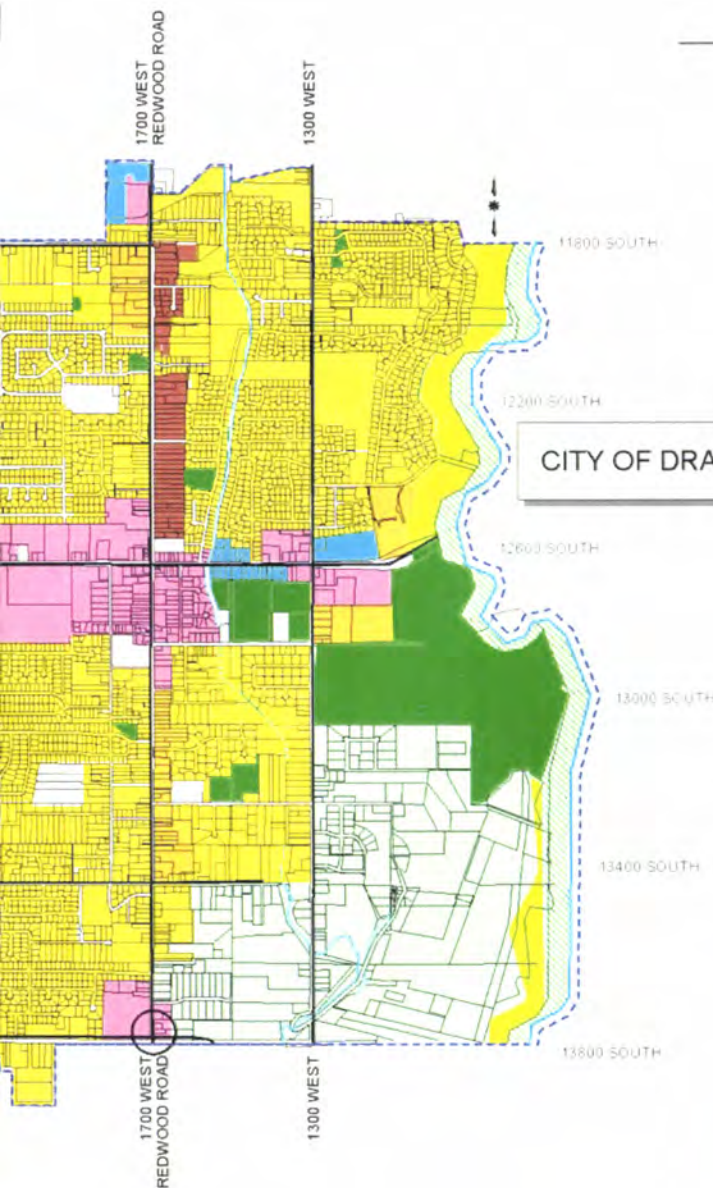


APRIL 3, 2001



Monarch Meadows

Riverton, Utah



ESTATE DENSITY RESIDENTIAL

(0.0-2.0 UNITS/ACRE)
(1.0 UNITS/ACRE TARGET DENSITY)

LOW DENSITY RESIDENTIAL

(2.1-5.0 UNITS/ACRE)
(3.5 UNITS/ACRE TARGET DENSITY)

MEDIUM DENSITY RESIDENTIAL

(5.1-8.0 UNITS/ACRE)
(6.55 UNITS/ACRE TARGET DENSITY)

MEDIUM HIGH DENSITY RESIDENTIAL

(8.1-12.0 UNITS/ACRE)
(10.05 UNITS/ACRE TARGET DENSITY)

HIGH DENSITY RESIDENTIAL

(12.1-24.0 UNITS/ACRE)
(18.05 UNITS/ACRE TARGET DENSITY)

NEIGHBORHOOD COMMERCIAL

COMMUNITY COMMERCIAL

REGIONAL COMMERCIAL

PROFESSIONAL OFFICE

REGIONAL COMMERCIAL/OFFICE

BUSINESS PARK/INDUSTRIAL

BUSINESS PARK/RESEARCH

PARKS/OPEN SPACE

PUBLIC/INSTITUTIONAL

AGRICULTURAL

PRESERVATION AREAS

FREEWAY INTERCHANGE

FUTURE PARK/OPEN SPACE

FUTURE SCHOOL

INCORPORATED BOUNDARY

RIVER

WATERWAYS

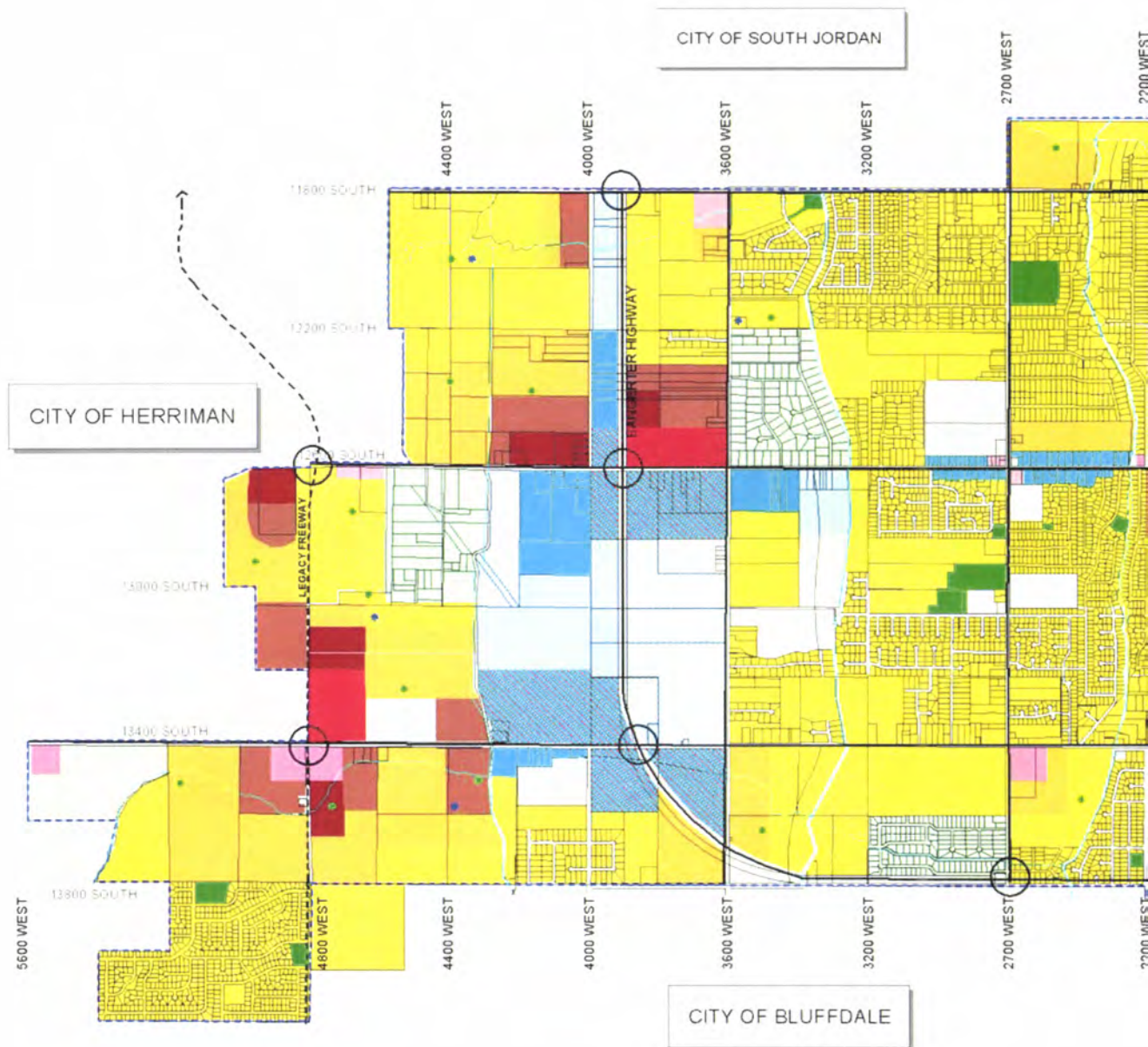
Monarch Development
Salt Lake City, Utah



Riverton City

Land Use Plan

Figure 4-2



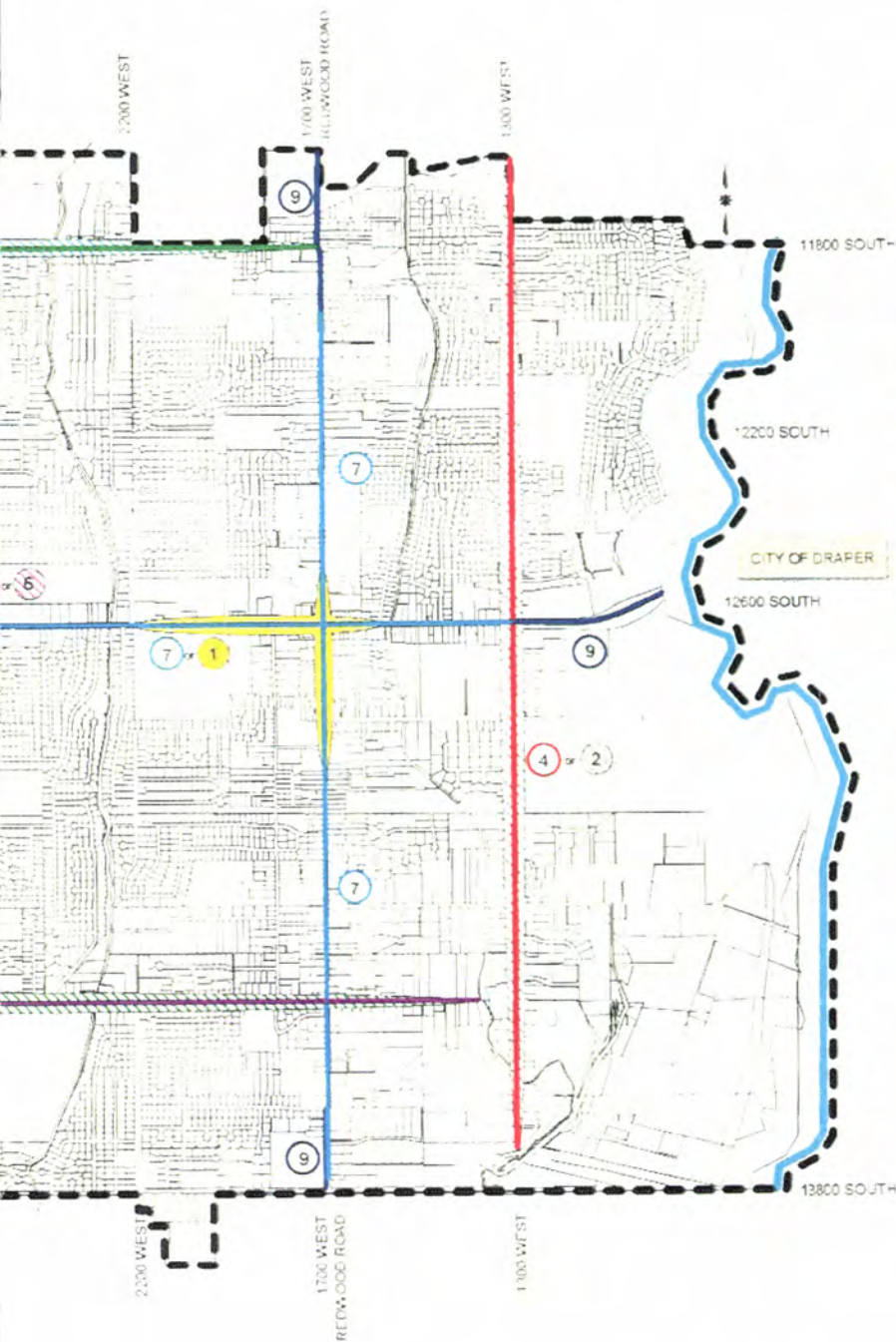
SOURCE: CITY OF RIVERTON, JULY 2000
BRW, INC. JANUARY 2001





Monarch Meadows

Riverton, Utah

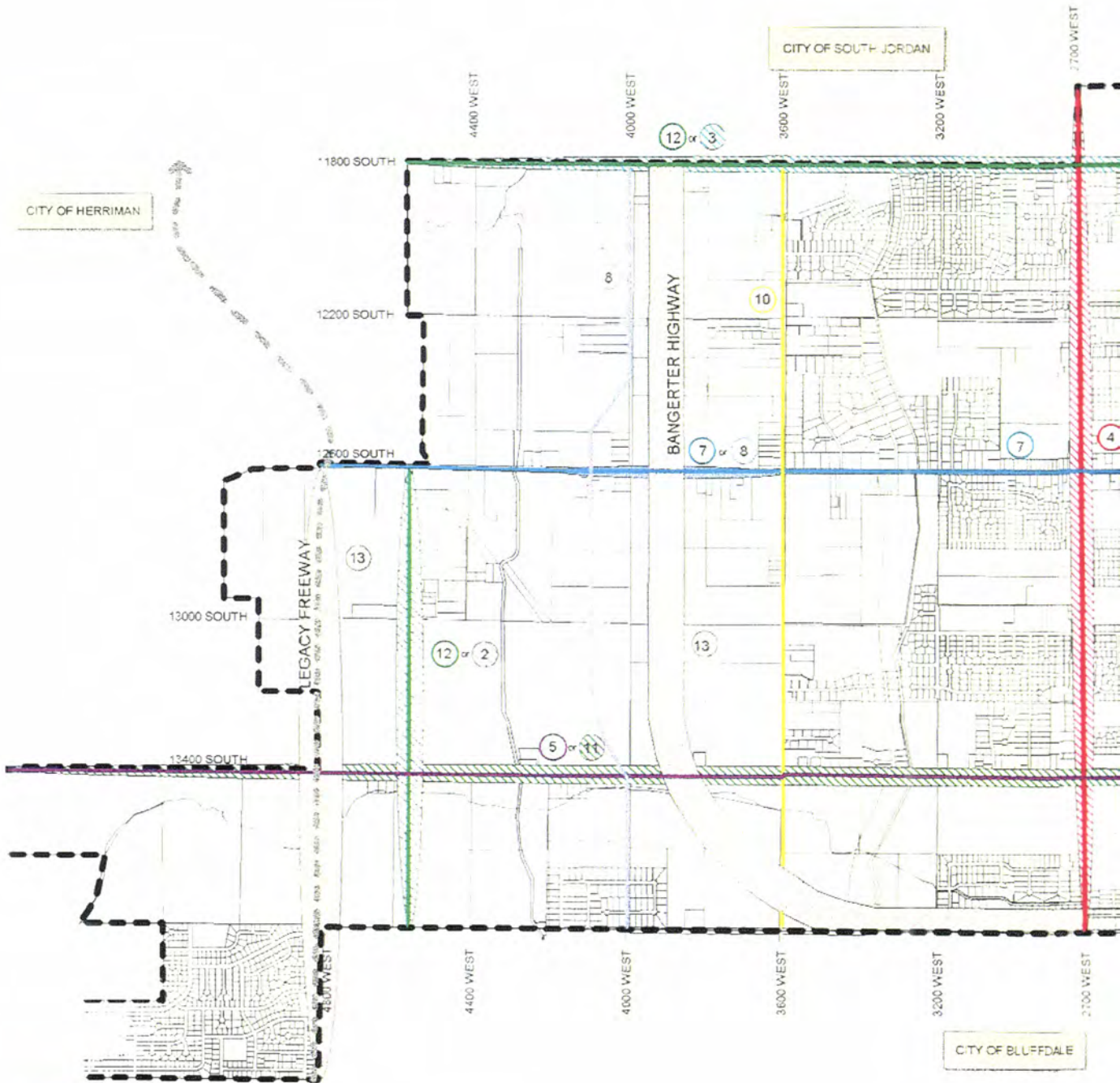


- 1 AUTUMN PURPLE ASH
(FRAXINUS AMERICANA 'AUTUMN PURPLE'
OR JAPANESE PAGODATREE
(SOPHORA JAPONICA 'REGENT')
- 2 EMERALD QUEEN MAPLE
(ACER PLATANOIDES)
- 3 BUR OAK
(QUERCUS MACROCARPA)
- 4 COMMON HACKBERRY
(CELTIS OCCIDENTALIS)
- 5 ENGLISH OAK
(QUERCUS ROBUR)
- 6 HOMESTEAD HYBRID ELM
(ULMUS X 'HOMESTEAD')
- 7 JAPANESE ZELKOVA
(ZELKOVA SERRATA 'VILLAGE GREEN')
- 8 LITTLELEAF LINDEN
(TILIA CORDATA 'GREENSPIRE') OR
SILVER LINDEN
(TILIA TOMENTOSA)
- 9 LONDON PLANETREE
(PLATANUS X ACERIFOLIA 'BLOODGOOD')
- 10 RED OAK
(ACER RUBRA)
- 11 SILVER LINDEN
(TILIA TOMENTOSA)
- 12 SYCAMORE MAPLE
(ACER PSEUDOPLATANUS)
- 13 HIGHWAY CORRIDOR
LEGACY:
COMMON HACKBERRY OR
LONDON PLANETREE
BANGERTER:
PLANTING STRIPS 6' OR WIDER-
COMMON HACKBERRY OR
LONDON PLANETREE
PLANTING STRIPS 4'-6' -
AUTUMN PURPLE ASH OR
JAPANESE PAGODATREE

Monarch Development
Salt Lake City, Utah



Riverton City Street Tree Master Plan Figure 4-4



SOURCE: CITY OF RIVERTON, JULY 2000.
BRW, INC., APRIL 2001



Section 5

Conceptual Master Plan Alternatives

A. PLAN ELEMENTS

The Monarch Meadows Specific Plan is comprised of a series of plan elements that, when combined, constitute a comprehensive plan for the site. The Specific Plan process incorporates "conceptual" plans for various plan elements. The plan elements include single-family housing, multi-family housing, commercial, and recreation and open space, general road layout, as well as the interaction between the development and the 13400 South and 4800 West corridors and surrounding neighborhoods.

Three alternative conceptual site plans were generated for consideration for the Monarch Meadows development. For ease of reference the three alternative plans were named Plan A, Plan B and Plan C respectively. Each of the three alternatives is described below.

1. ALTERNATIVE CONCEPTUAL SITE PLAN A

Alternative Conceptual Site Plan A (Figure 5-1) was initially the Developer's preferred alternative. However, after extensive market research – the Developer met with twenty homebuilders to research the marketability of the project –. The Developer determined that a higher number of smaller lots would result in a much less desirable project. The disadvantages to the smaller lots are as follows: (1) They are less compatible with neighboring properties; (2) Homes built on minimum 5,000 square foot lots are much more restricted in design possibilities than are homes built on minimum 6,000 square foot lots; (3) The absorption period for the minimum 5,000 and 7,000 square foot will be significantly longer than the absorption period for the larger lots. The improved absorption period will increase the economic benefit for the City, the Developer and the homebuilders. There is a desire to have a more balanced land use plan that includes a wider variety of residential property types. The Alternative A plan includes a large mass of similarly sized lots and is thus weighed too heavily toward intense, urban land uses and densities.

2. ALTERNATIVE CONCEPTUAL SITE PLAN B

Alternative B (Figure 5-2) is suggested as a method of reducing the number of townhome units. Again, after extensive market research, the Developer determined that an even higher number of smaller lots would result in an even less desirable project. The disadvantages to the smaller lots are as follows: (1) They are less compatible with neighboring properties; (2) Homes built on minimum 4,000 and 5,000 square foot lots are much more restricted in design possibilities than homes built on minimum 6,000 and 8,000 square foot lots; (3) The absorption period for the minimum 4,000 and 5,000-square foot will be significantly longer than the absorption period for the larger lots. In fact, it was unanimous among the home builders interviewed that no one builder was interested in buying lots under 5,000 square feet. The improved absorption period will increase the economic benefit for the City, the Developer and the homebuilders. There is a desire to have a more balanced land use plan that includes a wider variety of residential property types. The Alternative B plan includes a large mass of similarly sized lots and is thus weighed too heavily toward intense, urban land uses and densities.

3. ALTERNATIVE CONCEPTUAL SITE PLAN C

Alternative Conceptual Site Plan C (Figure 5-3) provides a more uniform distribution of lot sizes and improves the traffic flow through a road layout with gentle curves. Public open space is achieved through the dedication of over 35-acres of community, neighborhood and corridor trail systems. The plan includes approximately 33-acres of multi-family housing and 10.35-acres of commercial development at the intersection of 13400 South and the realignment of 4800 West. Approximately 422 single-family units and approximately 514 multi-family units are included. The Rose Creek corridor provides a natural buffer between multi-family development and the single-family homes. All multi-family housing is located as far away as possible from existing neighborhoods.

B. MASTER SITE PLAN

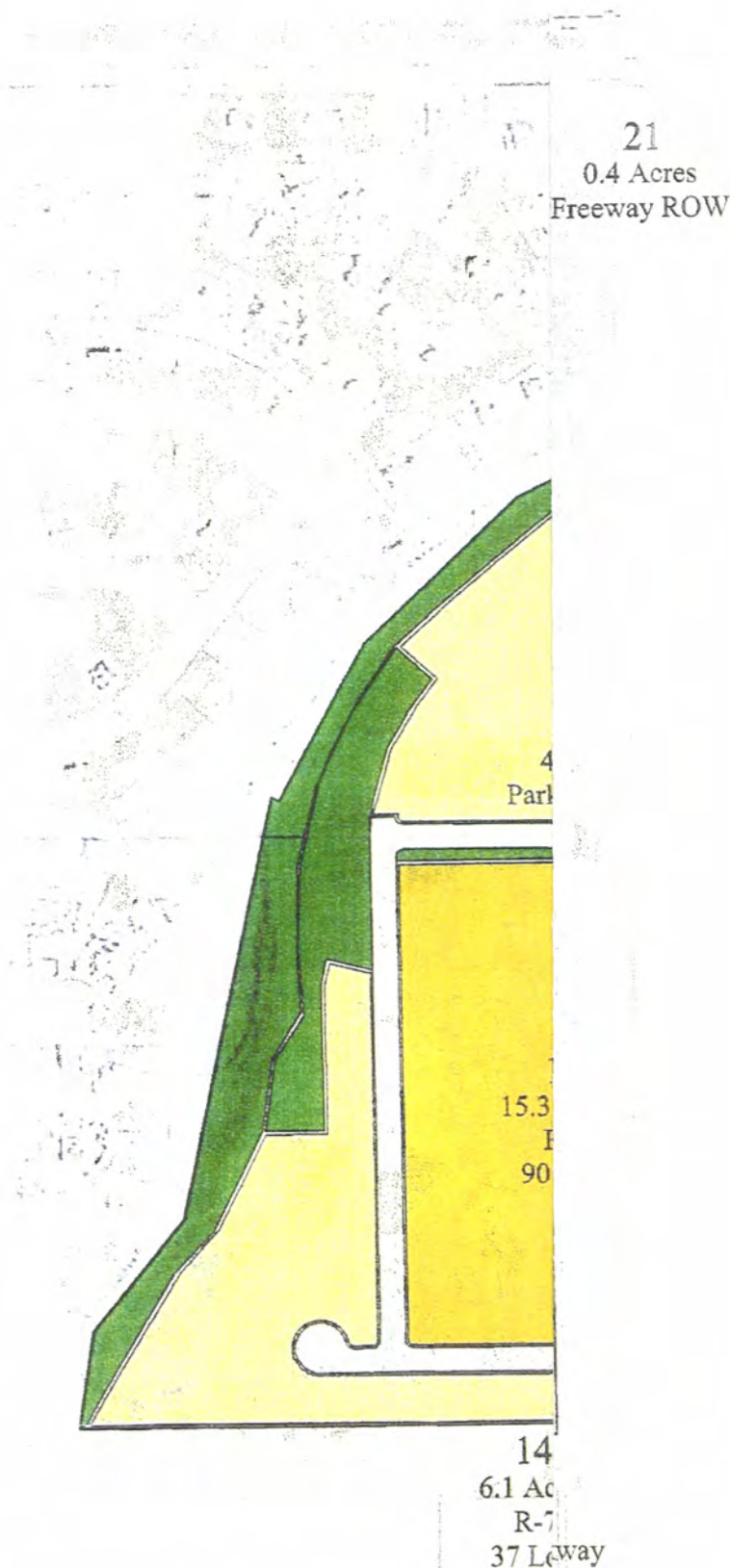
After reviewing the three Alternative Conceptual Site Plans, The Developer and the Riverton City Planning Department chose Alternative Conceptual Site Plan C for the development of Monarch Meadows. The Master Site Plan is found on Figure 5-4. It includes the following elements: single-family housing, multi-family housing, recreation and open space, commercial, general road layout, a landscaped pedestrian corridors along the major roadways and additional corridors through the residential areas, a parkway/trail system along the Rose Creek channel, and the interaction of Monarch Meadows with the 13400 South and 4800 West corridors and the surrounding neighborhoods. Also, the single-family portion of the project has been subdivided into lots. There are 421 single-family lots which meet or exceed the R-5 and R-7 zones described in Section 6C. Furthermore, the 540 multi-family units will meet or exceed the requirements of the RM-12 and RM-18 zones found in Section 6C. Approximately 41 acres of dedicated public open space is identified in Figure 5-5.

The Master Site Plan was presented to the Riverton Planning Commission at a public hearing on December 12, 2002. The suggestions and conditions made by the planning commission are reflected in the Master Site Development Plan (Fig. 5-4) and this Specific Plan text.



Monarch Meadows

Riverton, Utah



Conceptual Site Plan A

Figure 5-1 *

Monarch Development
Salt Lake City, Utah

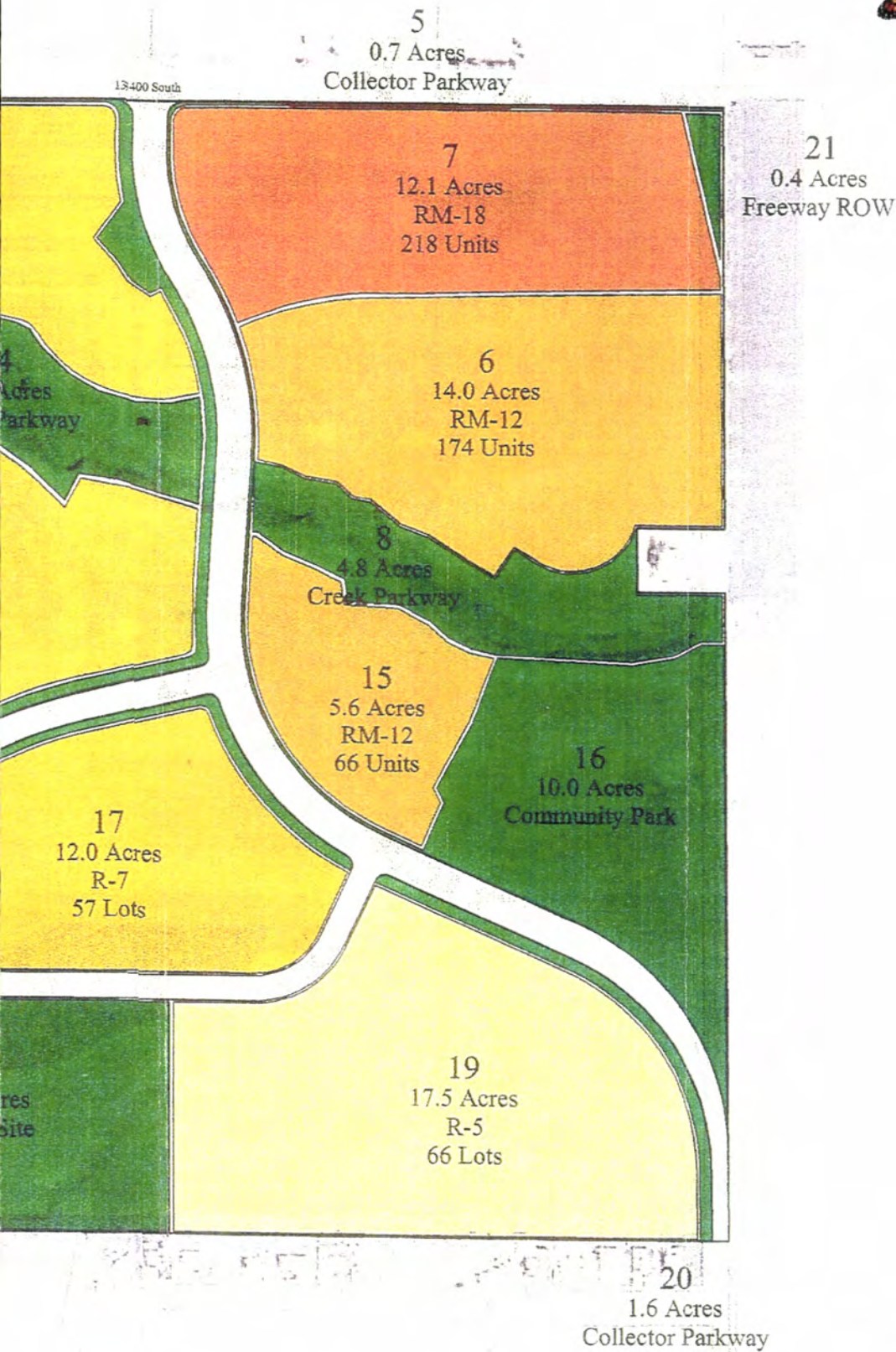
* Prepared by Blake McCutchan Design, Inc.





Monarch Meadows

Riverton, Utah

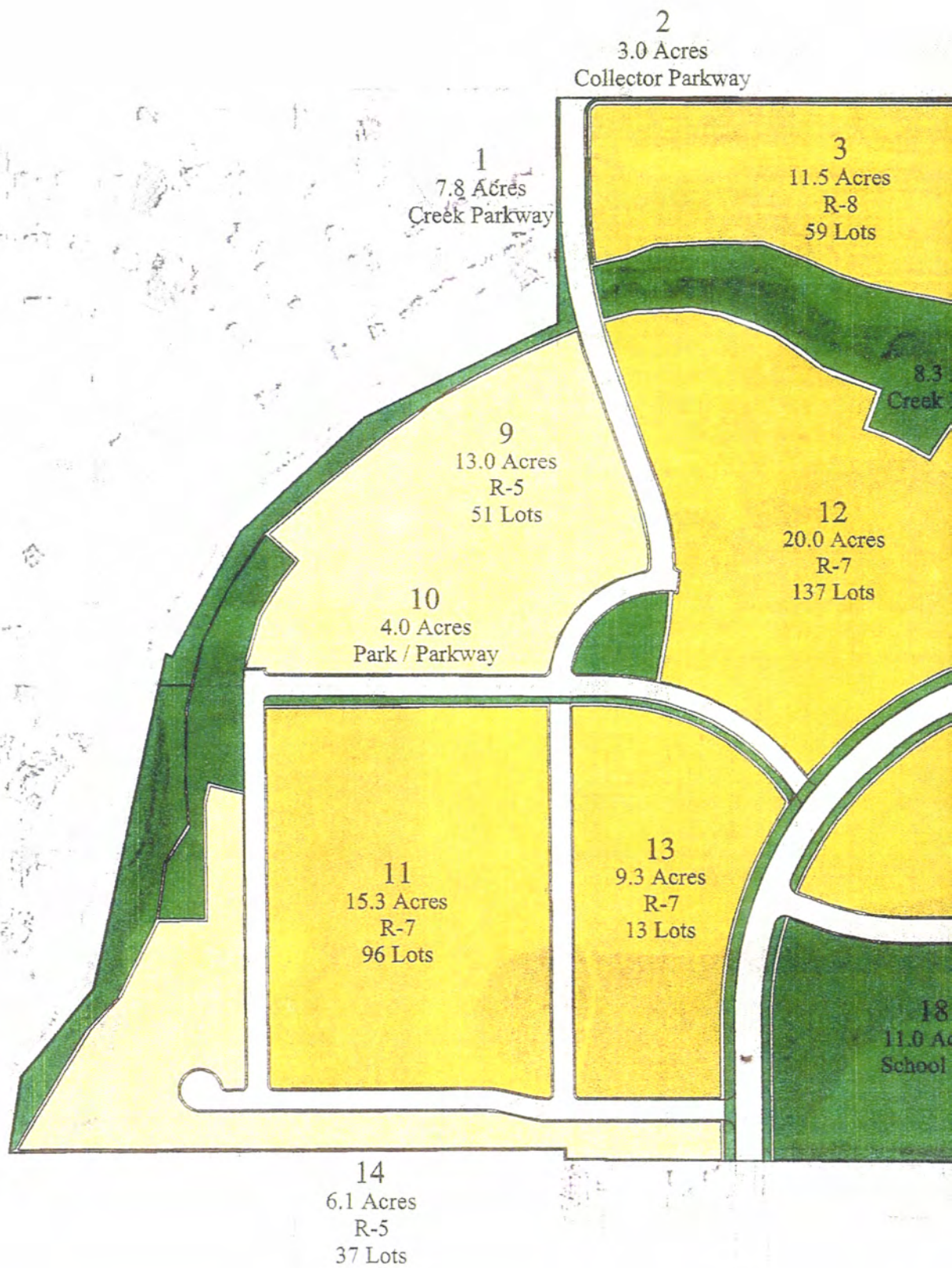


Conceptual Site Plan B

Figure 5-2 *

Monarch Development
Salt Lake City, Utah





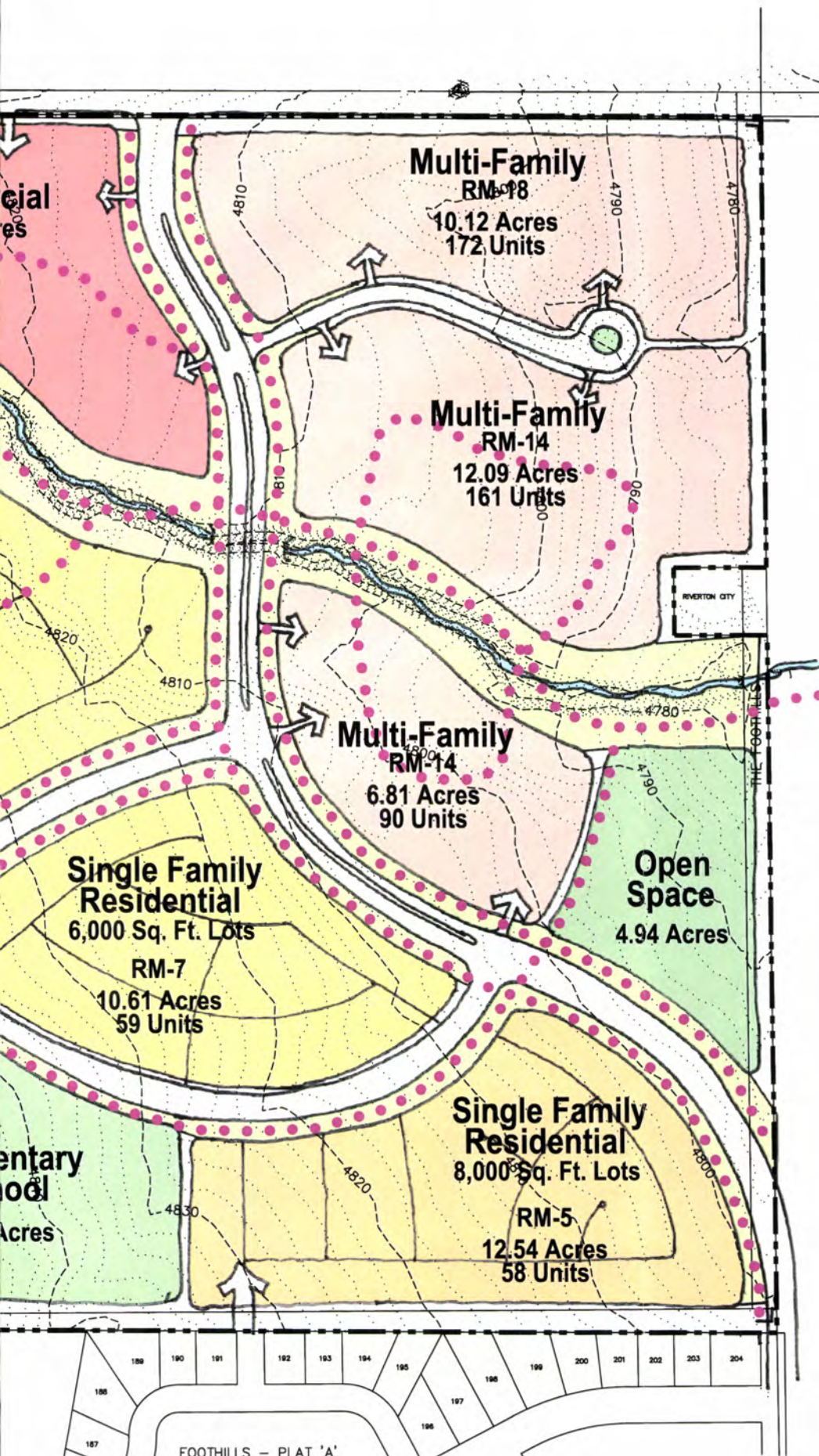


Monarch Meadows

Riverton, Utah

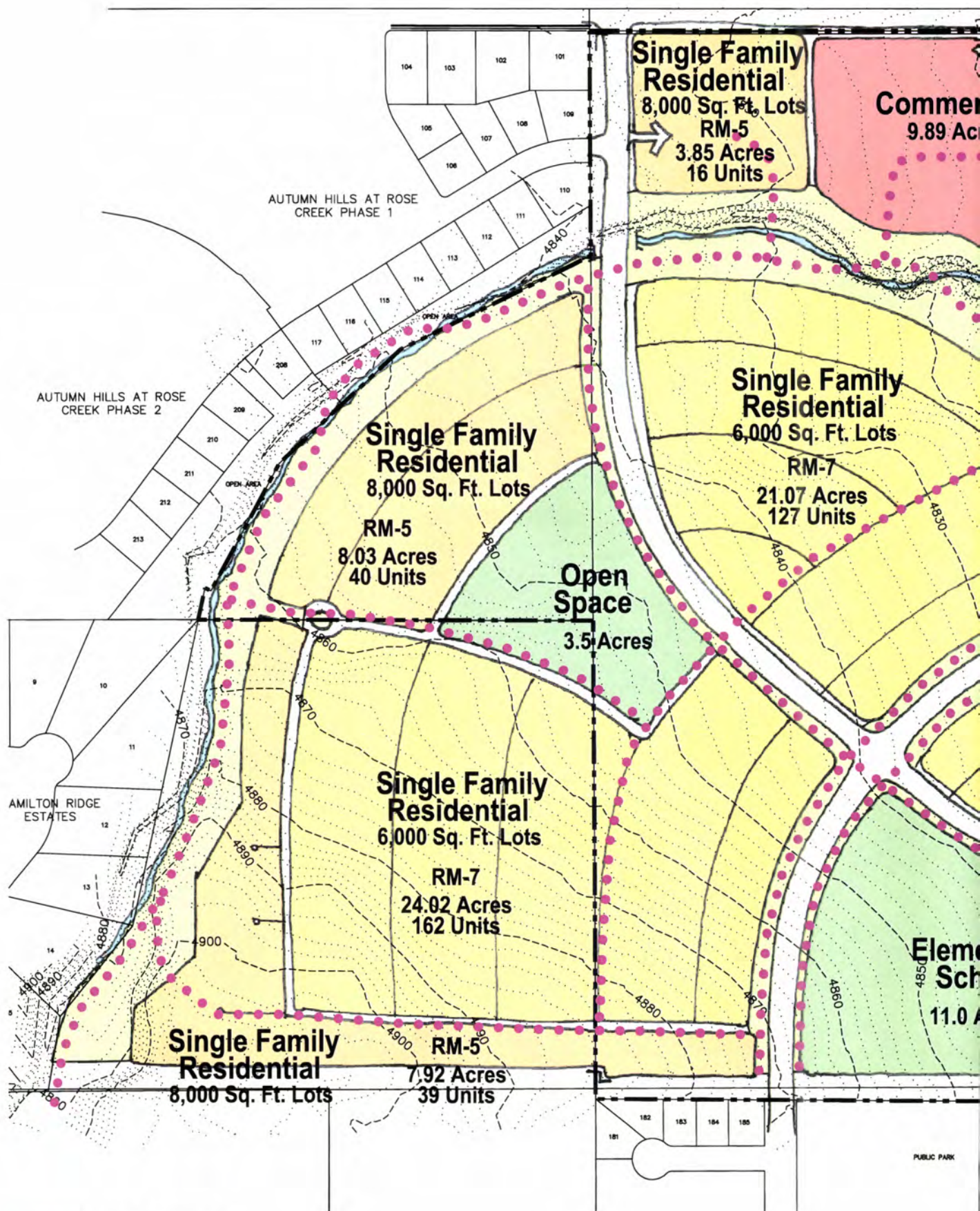
Conceptual Site Plan C

Figure 5-3



Monarch Development
Salt Lake City, Utah





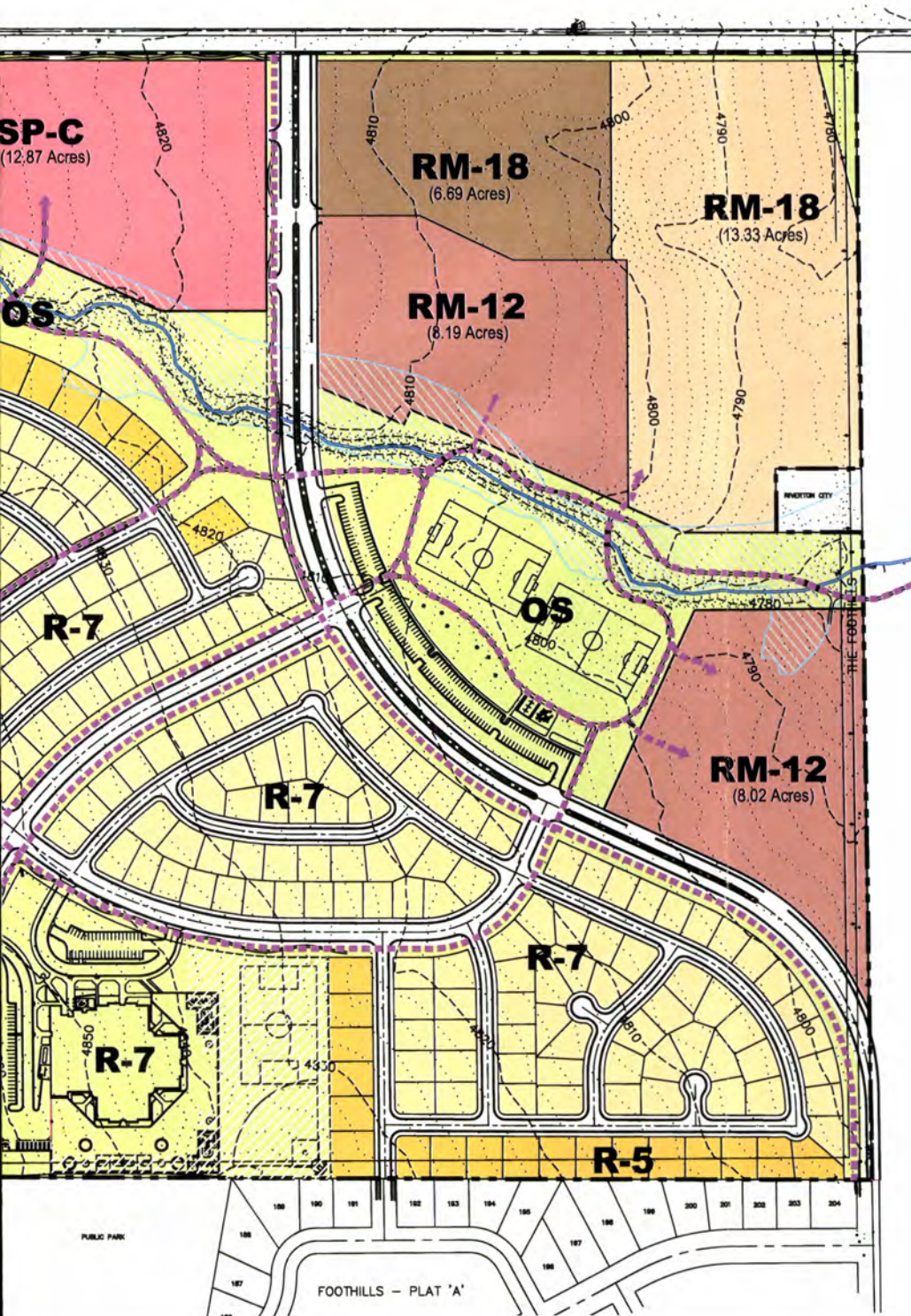
acres



**Monarch
Meadows**
Riverton, Utah

Master Site Development Plan

Figure 5-4



December 2002

Monarch Development
Salt Lake City, Utah



Single Family Residential

R-7	6,000-7,999 Sq Ft Lots	340 Lots
R-5	8,000+ Square Foot Lots	81 Lots
		421 Total

Multi-Family Residential

				Density
RM-12	Townhouses	16.21 Acres	180 Units	11.10 DU
RM-18	Stacked Flats	6.69 Acres	120 Units	17.93 DU
RM-18	Apartments	13.33 Acres	240 Units	18.00 DU
			540 Total	

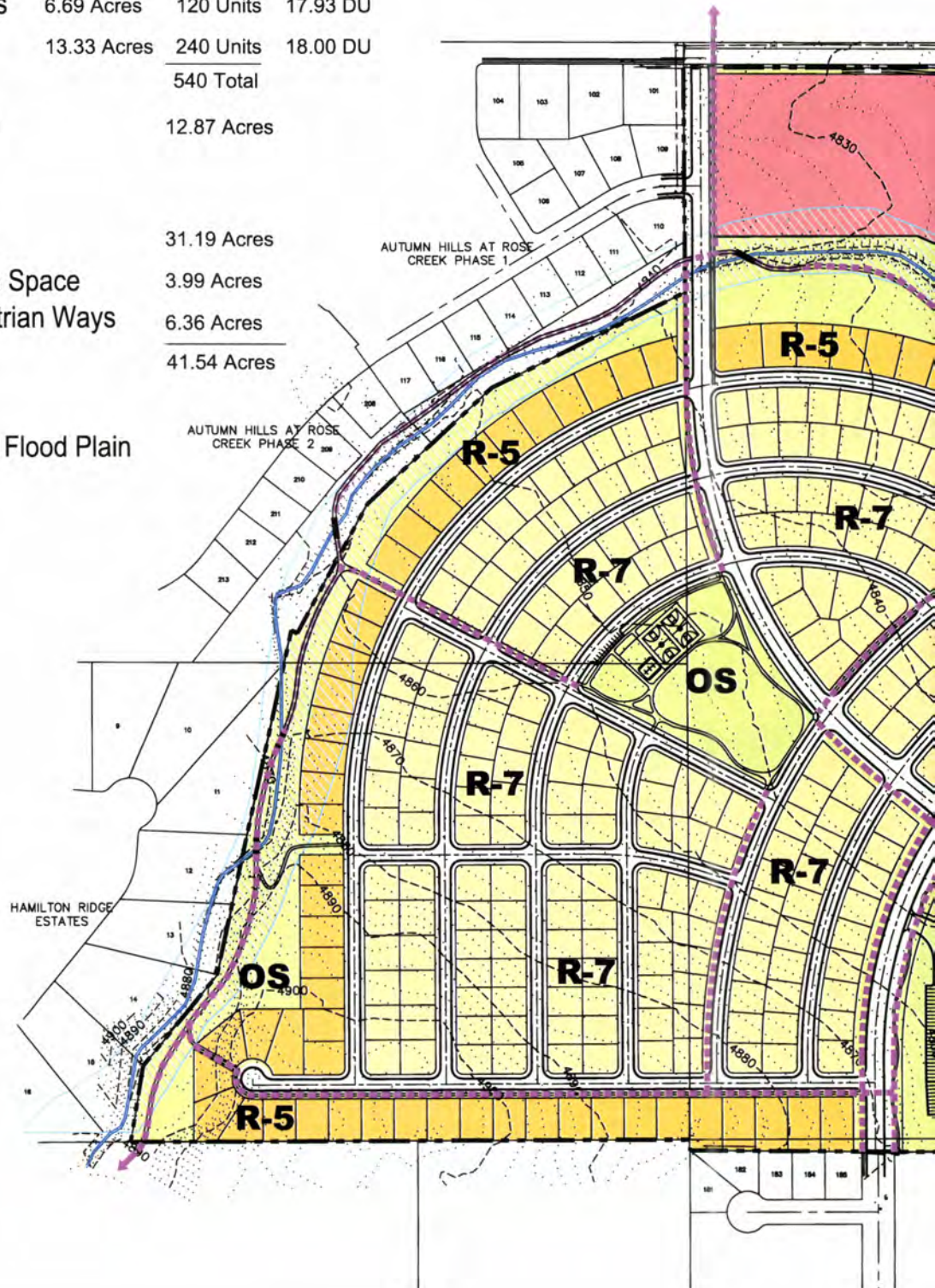
SP-C	Commercial	12.87 Acres
-------------	------------	-------------

Open Space

OS	Park Space	31.19 Acres
	School Open Space	3.99 Acres
	Major Pedestrian Ways	6.36 Acres
		41.54 Acres

 Approximate Flood Plain
100-Year, Source: FEMA

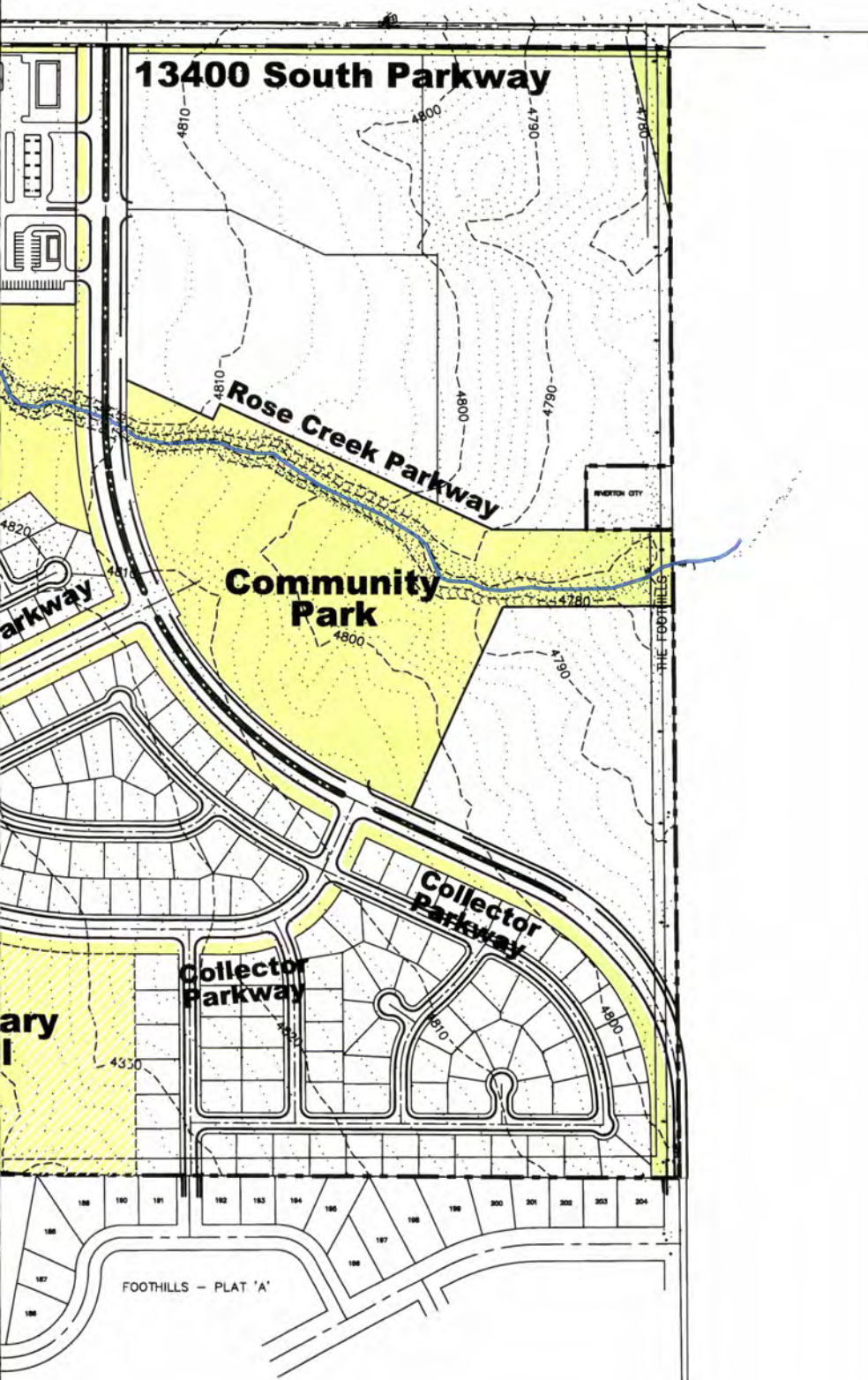
Total Site Area: 206.09 A
Total Dwelling Units: 961





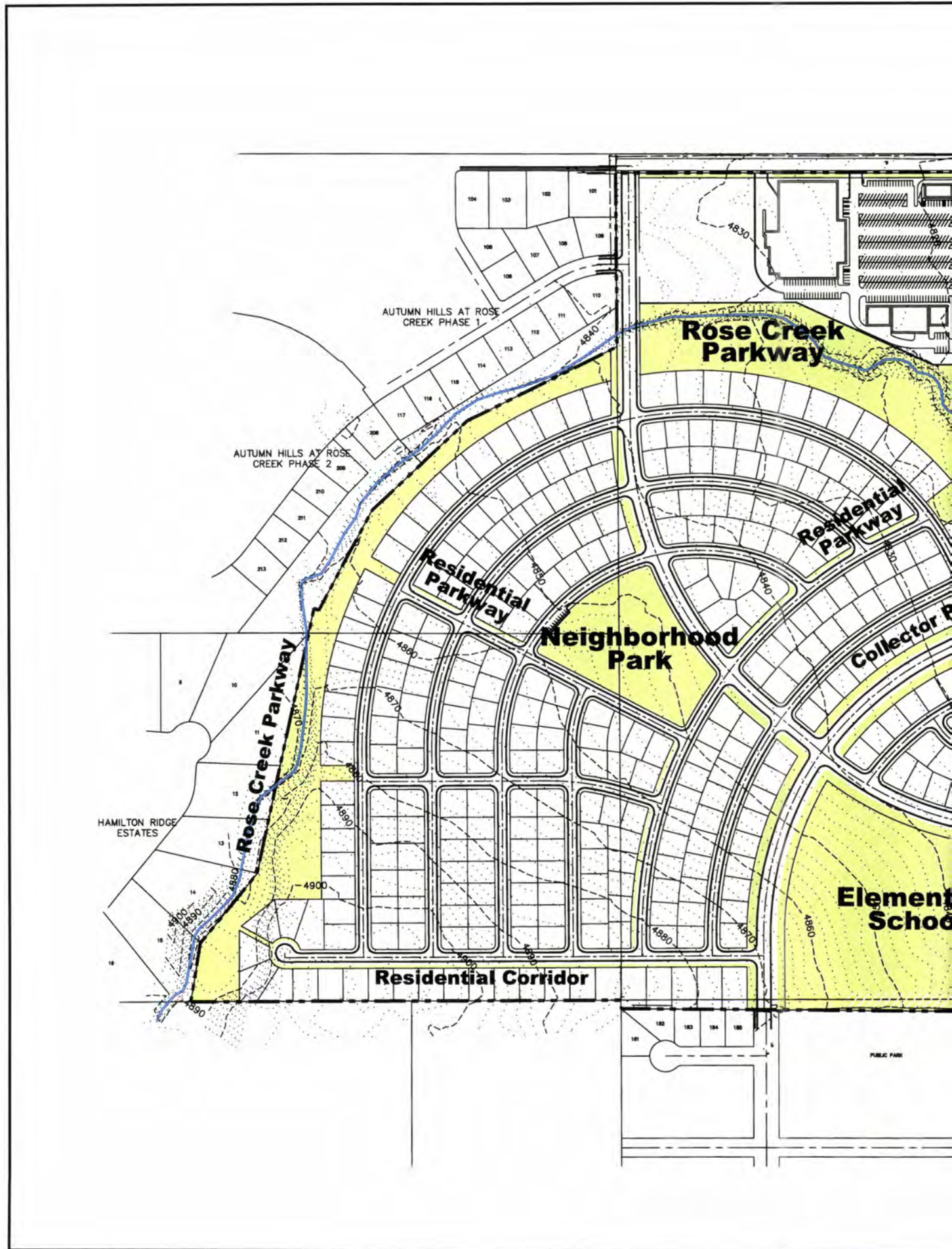
**Monarch
Meadows**
Riverton, Utah

**Conceptual
Parks and
Open Space
Plan**
Figure 5-5



Monarch Development
Salt Lake City, Utah







Section 6

Design Elements Master Plan

A. ARCHITECTURE

An architectural style will be created for Monarch Meadows through building massing, details and color. The project will broaden market appeal and increase visual diversity by creating different massing, garage placement, street setbacks, and one-story and two-story elements within each product line. The architectural style will draw on use of traditional "Federal" architecture in utilizing brick, columns, arches and other design features to provide a unifying theme.

With respect to elevations, porches, entry doors, windows, living areas, and courtyards will relate to the adjacent street(s) to create a welcoming appearance and promote individuality. Building forms will have integrity and will respect the architectural style. Building forms will vary from house to house to create an attractive street appearance and to be sensitive to adjacent lots and streets. Single-story elements, plane breaks, balconies, arcades, and three-sided courtyards will occur on elevations visible to a street.

The structures at Monarch Meadows will have plans that are well thought-out, well composed for economical construction and to be consistent with the quality of neighboring homes. Roof forms will be consistent on all sides of the house and will vary from house to house to avoid the repetition of identical gables or hipped roofs along a street. The roof design, materials, shapes, and colors will be appropriate to the architectural style.

B. SITE AMENITIES

One of the most important features of living within a master planned community is the common design element that creates a sense of place and community. These common design elements, when combined together in a comprehensive manner, create both a visual as well as social cohesiveness between the community residents. Several common design elements comprise what becomes a community design theme. The consistent use and design of certain building materials will create design themes that can be carried from the larger scale – such as entry monuments –, to the smaller scale – community park features.

These common design elements are the various features that comprise the appearance of a master planned community. When these elements are comprehensively planned, designed and constructed using consistent building materials a design theme results. In Monarch Meadows, the consistent building material is a natural material such as brick. When used together, a design theme that can be best described as "Federal" or "Traditional" emerges.

The common design elements within Monarch Meadows include the following:

1. Entry Monumentation

There are two types of entry monuments within Monarch Meadows – Community Entries and Neighborhood Entries. The height of the monuments will comply with the City's requirement that no obstruction over 3 feet in height be located within the 30' sight triangle at street intersections.

a. Community Entry

Monarch Meadows has a single community entry located on the south side of the intersection of 13400 South and the realigned 4800 West. The community entry will establish the theme for the common design elements used throughout the master planned community. The community entry proposed for Monarch Meadows, shown in Figures 6-2 and 6-3, uses red brick pillars and white columns to frame the entry and provide a location for a sign where community name is cast in a granite panel. Extending from the red brick columns is picket fencing between smaller red brick columns. Framing the community entry sign are trees such as oaks or maples that, over time, will provide a canopy element to the entry. Groundcovers are planted in front of the entry monument.

b. Neighborhood Entries

At various locations throughout Monarch Meadows, neighborhood entries will be constructed to highlight the principal entries into the community's single-family detached neighborhoods. The entry monuments, illustrated in Figure 6-2, carry the red brick column theme from the community entry monument to a smaller scale. The brick column provides the opportunity for neighborhood entry signage and the fencing opens up the entry to the neighborhood from the collector arterial streets.

2. Fencing

There are four types of walls and fencing proposed as part of the master plan development of the property. The wall and fencing types are illustrated on Figure 6-4 and described in the following. Figure 6-4 also delineates the proposed location of the four wall and fencing types.

a. 13400 South Brick Column / Tubular-steel Fence with Red Brick Columns

Along 13400 South, a tubular-steel fence will be constructed between pedestrian scale brick columns. The wall will have red brick-covered columns located roughly every 30 feet on center. The pickets should be a white color to reflect the more classical feeling. They provide a more varied and interesting appearance, the location of the wall facade should vary based upon lot depths varying within the single family detached neighborhood located to the south of 13400 South.

b. Precast Concrete Wall Panels with Red Brick Columns

The wall panels with brick columns are used along collector roads where single-family residential parcels back up to the roads. The fencing provides a solid barrier to block noise and provide a greater sense of privacy. The panel will be imprinted with a texture to simulate block and its coloring will be a neutral color of Cream, Tan or Beige.

c. Solid Vinyl Fence

The solid vinyl fence is used in locations where residential properties abut the Legacy Highway Corridor and between the single-family residential parcels and the Elementary School and the Commercial site. Color of the vinyl fence will be white. Where the fencing abuts the Rose Creek Parkway, the fencing will be 4' in height with two feet of lattice as an additional optional feature.

d. Chain Link Fence

Chain link fence is used at the Elementary School between the school and the park parcel because of steep grade changes. The chain link fence shall be black vinyl-clad.

3. Signs

Figure 6-1 also displays the sign type that will be used throughout Monarch Meadows. The figure contains two drawings depicting two different sign types, the main entry feature and sign and the secondary entry monument and sign. Also located in Figure 6-4 are the approximate locations of each sign type. The main entry feature and sign will be located at the main entrance on 4800 West. The secondary entry monument and sign will be found at the secondary entrances to the project located at the entrances to Monarch Meadows from the various adjacent collector roads. The monument signs will be located inside the multi-family portion of the project and at various locations in the open space area.

4. Street Lighting

Figure 6-1 displays the conceptual design for street lighting within Monarch Meadows. The figure shows lighting for 13400 South, collector roads and interior roads. Lights will be ultimately located on the Utility Plan during the design phase of Monarch Meadows.

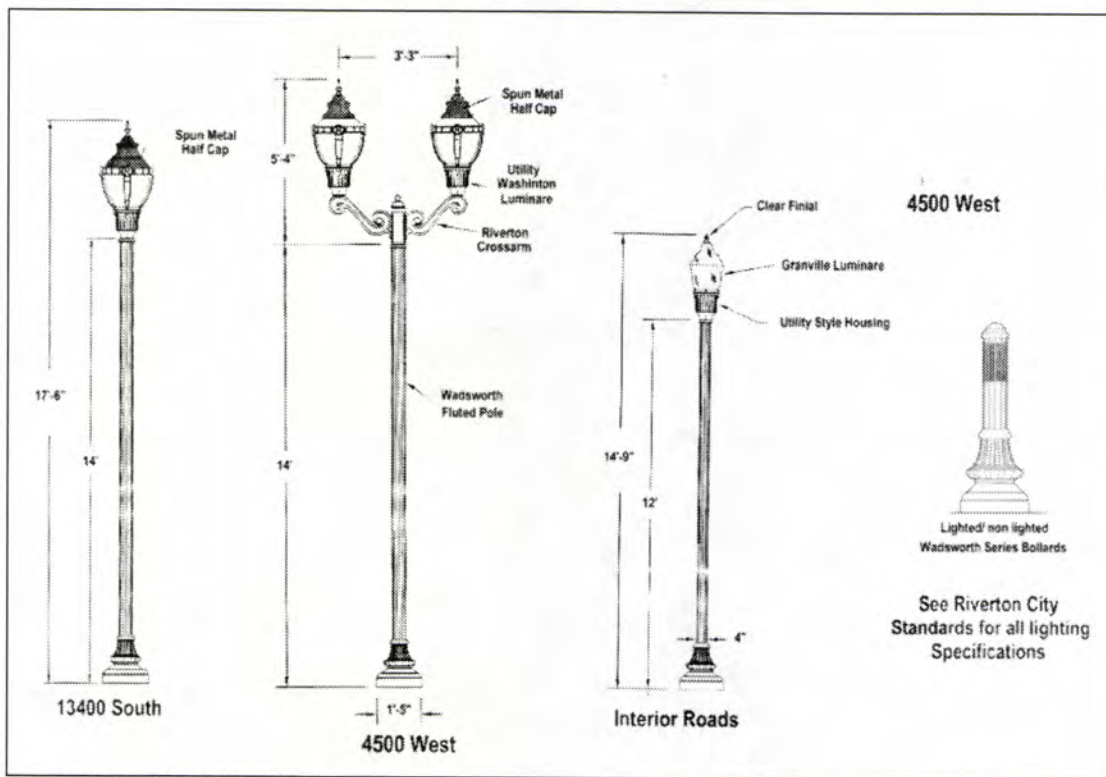


Figure 6-1. Street Lighting.

5. Waterways

Rose Creek is the primary waterway passing through the site. As part of the work for this project, the developer has obtained permits and will perform the work to lay back the side slopes from the creek bed at a 3:1 slope. This work will allow easier access to the streambed and ultimately contribute to a safer parkway. (See Figure 7-3 for cross sections through the creek.)

6. Bridges

Two types of bridges are proposed for Monarch Meadows and are detailed in Figure 6-5. The first bridge is an automobile bridge and culvert at the major roads crossing Rose Creek. A box culvert will be used and a brick façade will be constructed along the sides. Two red brick columns will be located at each end of the bridge with a white steel guardrail between. The second bridge is a pedestrian footbridge located at trail crossings within the Rose Creek Parkway. The bridge will be constructed of wood or steel and the spans will be determined during the construction phase.

C. LANDSCAPING

1. Street Side Treatments

a. Type A – 13400 South

The Type A side treatment (see Figure 6-6) is proposed for the 13400 South corridor. The developer will contribute 15' on the south side of the road to allow the city to develop a 150' right-of-way with a 25' landscaped area on each side of the road.

b. Type B – 4800 West (Realigned)

The Type B side treatment (see Figure 6-7) is proposed for the realigned 4800 West street. The divided roadway features a 30' travel way in both the north and south directions and a 14' landscape median between the two. A 33-foot pedestrian corridor is located on the western side of the roadway and will feature a 6' meandering walkway. The Riverton Street Tree Master Plan designates the corridor to be lined with Common Hackberry and London Planetree and will be planted in a grouped pattern along the length of the corridor.

c. Type C – Primary Collector Parkway

The Type C side treatment (see Figure 6-8) is proposed for the major collector roads within the development. This treatment includes a 37' landscaped area with meandering 6' sidewalk on each side of the roadway. Honeylocust and White Firs will be planted in a staggered pattern in this section.

d. Type D – Secondary Collector Parkway

The Type D side treatment (see Figure 6-9) is proposed for the minor collector roads within the development. This treatment is similar to Type B, but a 37' landscaped area is included only on the western and southern sides. Honeylocust and White Fire will be planted in a staggered pattern in this section on the pedestrian corridor side and Honeylocust will be planted at 25' spacing on the opposite side.

e. Type E – Neighborhood Pedestrian Corridor

The Type E side treatment (see Figure 6-10) is proposed on minor connector walkways through the single-family residential areas to connect with the major open spaces. This treatment includes a 10' wide landscaped area on one side of the street. Patmore Ash will be planted in a staggered pattern on the pedestrian corridor side and in a straight line at 25 feet on center on the opposite side through this section.

f. Type F – Typical Residential Street

The last type of the side treatment (see Figure 6-11) is that found on minor interior roads and cul-de-sacs. This right-of-way section is 50 feet in width. A 10' planting/pedestrian zone will extend from the back of curb and includes five feet of park strip and a 5-foot paved sidewalk. The section terminates at the back of sidewalk. Callery Pear will be planted in a straight line at 25 feet on center through this section.

2. Individual Lot Landscape

Each single-family lot must be properly and completely landscaped according to Riverton City Standards (to be coordinated with owner), while at the same time allowing flexibility for individual preferences. Each new home will plant a minimum of three trees in the park strip fronting the lot (to be coordinated with owner). The trees are to be selected by the new home owners from the Riverton City Plant List found in Appendix F. An automatic sprinkler system is required on each lot.

D. LAND USE ZONING DESIGNATIONS

1. Zoning Summary

The Monarch Meadows project has been designed with six different zones. These are listed below:

- R-5 (Single Family Detached Residential - 5 Dwelling Units per Acre)
- R-7 (Single Family Detached Residential - 7 Dwelling Units per Acre)
- RM-12 (Multi-Family Residential - 12 Dwelling Units per Acre)
- RM-18 (Multi-Family Residential - 18 Dwelling Units per Acre)
- SP-C (Specific Plan-Commercial)
- OS (Open Space & Parks)

Table 6-1 lists each of these zones accompanied by their respective zoning restrictions in summary form. Following the table, each zone is described in further detail.

Residential Zoning Designations Summary

Table 6-1

Zoning Designations	R-5	R-7	RM-12	RM-18
Minimum Lot Area	8,000 SF	6,000 SF	No Minimum	No Minimum
Minimum Lot Width	70'	60'	No Minimum	No Minimum
Minimum Lot Depth	85'	80'	No Minimum	No Minimum
Minimum Front Yard Setbacks	23'	20'	20'	20'
Minimum Side Yard Setbacks	Main Bldg: 5' / Accessory Bldg: 5'	Main Bldg: 5' / Accessory Bldg: 5'	20' Accessory Bldg: 0'	20' Accessory Bldg: 0'
Minimum Corner Lot Side Yard Setbacks	13'	13'	15'	20'
Minimum Rear Yard Setbacks	Main Bldg: 20' Accessory Bldg: 5'	Main Bldg: 20' Accessory Bldg: 5'	15' Accessory Bldg: 0'	20' Accessory Bldg: 5'
Minimum Living Area	1 story: 1,200 SF 2 story/ Split Level: 1,200 SF	1 story: 1,100 SF 2 story/ Split Level: 1,100 SF	1 Bedroom Unit: 700 SF 2 or More Bedrooms Unit: 1,000 SF	1 Bedroom Unit: 600 SF 2 or More Bedrooms Unit: 700 SF
Maximum Building Height	35'	35'	35'	48'
Minimum Distance Between Buildings	N/A	N/A	15'	15'
Maximum Fencing Heights	Rear Yard: 6' Front Yard Setback: 3'	Rear Yard: 6' Front Yard Setback: 3'	Interior Side / Rear Yard: 6'	Interior Side / Rear Yard: 6'

NOTE: City of Riverton measures setback to the closest point of the structure.

2. **R-5 Zone (Single Family Detached Residential - 5 Dwelling Units Per Acre)**

The R-5 (Single Family Detached Residential - 5 Dwelling Units Per Acre) designation is designed to permit the development of typical single-family detached neighborhoods on lots with at least 8,000 square feet in area. The following zoning regulations and Architectural Review (Paragraph E of this section) shall apply to areas designated on the Master Site Development Plan (Figure 5-4) as R-5.

a. Permitted uses

- *Single family dwelling*
- *Accessory uses and buildings customarily incidental to a permitted use*

b. Conditional Uses

- *Home Occupations*
- *Public Schools*
- *Churches*

c. Lot area

The minimum lot area shall be 8,000 square feet.

d. Lot width.

The minimum lot width shall be 70 feet measured at the front yard setback line, except at cul-de-sacs or road elbows where width shall be measured at a point 30 feet back from front lot line.

e. Lot Depth

The minimum lot depth shall be 85 feet.

f. Front yard

- i. The minimum front yard setback shall be 23 feet.*

g. Side yards

The minimum side yard setback shall be five (5) feet.

On corner lots, the street side yard setback shall be thirteen (13) feet from the right-of-way.

Accessory Buildings: The minimum side yard shall be five (5) feet. All other standard City Zoning Ordinance requirements shall apply.

h. Rear yard

Main Building: The minimum rear yard setback shall be 20 feet.

Accessory Building: The minimum rear yard setback shall be five (5) feet, except at parcels abutting the Rose Creek Parcel where minimum yard setback shall be ten (10) feet with additional vegetative screen. All other standard City Zoning Ordinance requirements shall apply.

i. Minimum Living Area Square Footage

The minimum finished living area square footage shall be 1,200 square feet for a single story dwelling unit and 1,200 square feet for a two story or split level dwelling unit.

j. Maximum building height

Main Buildings: 35 feet. No dwelling shall contain less than one story. No dwelling units may contain more than two stories.

Accessory buildings: 25 feet.

k. Fencing

Fencing for all residential lots shall be based upon the following criteria:

- i. Rear yard fencing shall be a maximum of six (6) feet in height.*
- ii. Fencing constructed within the front yard setback shall be a maximum of three (3) feet in height.*
- iii. Fencing materials shall consist of stone, brick, stucco, textured concrete, vinyl and/or similar materials. Wood and chain link are prohibited.*
- iv. Fencing along collector and/or arterial streets shall be constructed to Riverton City standards.*

3. R-7 Zone (Single Family Detached Residential - 7 Dwelling Units Per Acre)

The R-7 (Single Family Detached Residential - 7 Dwelling Units Per Acre) is designed to permit the development of typical single-family detached neighborhoods on lots ranging from 6,000 to 8,000 square feet in area. The following zoning regulations and Architectural Review (Paragraph E of this section) shall apply to areas designated on the Master Site Development Plan (Figure 5-4) as R-7.

- a. Permitted uses
- *Single family dwelling*
 - *Accessory uses and buildings customarily incidental to a permitted use*

- b. Conditional Uses
- *Home Occupations*
 - *Public Schools*
 - *Churches*

- c. Lot area

The minimum lot area shall be 6,000 square feet.

- d. Lot width.

The minimum lot width shall be 60 feet measured at the front yard setback line, except at cul-de-sacs or road elbows where width shall be measured at a point 30 feet back from front lot line.

- e. Lot Depth

The minimum lot depth shall be 80 feet.

- f. Front yard

The minimum front yard setback shall be 20 feet.

- g. Side yards

The minimum side yard setback shall be five (5) feet.

On corner lots, the street side yard setback shall be thirteen (13) feet from the right-of-way.

Accessory Buildings: The minimum side yard shall be five (5) feet. All other standard City Zoning Ordinance requirements shall apply.

h. Rear Yards

Main Building: The minimum rear yard setback shall be twenty (20) feet.

Accessory Building: The minimum rear yard setback shall be five (5) feet, except at parcels abutting the Rose Creek Parcel where minimum yard setback shall be ten (10) feet with additional vegetative screen. All other standard City Zoning Ordinance requirements shall apply.

i. Minimum Living Area Square Footage

The minimum finished living area square footage shall be 1,100 square feet for a single story dwelling unit and 1,100 square feet for a two story or split level dwelling unit.

j. Maximum Building Height

Main Buildings: 35 feet. No dwelling shall contain less than one story. No dwelling units may contain more than two stories.

Accessory buildings: 25 feet.

k. Fencing

Fencing for all residential lots shall be based upon the following criteria:

- i. Rear yard fencing shall be a maximum of six (6) feet in height.*
- ii. Fencing constructed within the front yard setback shall a maximum of three (3) feet in height.*
- iii. Fencing materials shall consist of stone, brick, stucco, textured concrete, vinyl and/or similar materials. Wood and chain link are prohibited.*
- iv. Fencing along collector and/or arterial streets shall be constructed to Riverton City standards.*

4. RM-12 Zone (Multi-Family Residential - 12 Dwelling Units per Acre)

The RM-12 (Multi-Family Residential - 12 Dwelling Units per Acre) Zone is designed to permit the development of rental and owner occupied multiple family dwelling developments in a park-like atmosphere. The following zoning regulations and Architectural Review (Paragraph E of this section) shall apply to areas designated on the Master Site Development Plan (Figure 5-4) as RM-12.

a. Permitted uses

- *Attached or Multiple Family dwellings.*
- *Accessory uses and buildings customarily incidental to a permitted use including garages, carports, service buildings and private recreational facilities designed for the residents of the planned unit development.*

b. Conditional Uses

- *Home Occupations*
- *Public Schools*
- *Churches*

c. Lot area, width and depth

There are no minimum lot area, width or depth requirements

d. Perimeter project setbacks

Perimeter project yard setbacks are required open areas within the exterior boundary of a Multi-Family Residential neighborhood.

i. Front Yard

The perimeter project front yard setback shall be twenty (20) feet. Excepting for streets and driveways, the entire setback area shall be landscaped.

ii. Street Side Yards

The perimeter project street side yard setback shall be fifteen (15) feet. Excepting for streets and driveways, the entire setback area shall be landscaped.

iii. Interior Side Yards

Interior side yard setbacks along the perimeter project shall be ten (10) feet. A minimum of three feet shall be landscaped.

Accessory Buildings: Enclosed garage units may be placed upon the property line providing all provisions of the Uniform Building Code are met, except at property line abutting the Rose Creek Parkway where setback shall be ten (10) feet.

iv. Rear Yards

Rear yard setbacks along the perimeter project shall be twenty (20) feet. A minimum of five (5) feet shall be landscaped.

Accessory Buildings: Enclosed garage units may be placed upon the property line providing all provisions of the Uniform Building Code are met, except at property lines abutting the Rose Creek Parkway where setback shall be ten (10) feet.

e. Distance between buildings

The minimum distance between main buildings shall be fifteen (15) feet. The distance between a main building and accessory building shall be ten (10) feet.

f. Minimum Living Area Square Footage

The minimum finished living area square footage shall be 700 square feet for a single bedroom dwelling unit and 1,000 square feet for dwelling units with two or more bedrooms.

g. Building height

Main Buildings. 35 feet based upon UBC measurement method.

h. Fencing

Fencing for all residential lots shall be based upon the following criteria:

- i. Interior side yard or rear yard project fencing where next to a non-residential or lesser density residential project shall be a maximum of six (6) feet in height.*
- ii. Fencing materials shall consist of stone, brick, stucco, textured concrete, vinyl and/or similar materials.*
- iii. Fencing along collector and I or arterial streets shall be constructed to Riverton City standards.*
- iv. Fencing along rear property abutting the Rose Creek Parkway shall be two-rail vinyl fence as shown in Figure 6-4.*

5. RM-18 Zone (Multi-Family Residential - 18 Dwelling Units per Acre)

The RM-18 (Multi-Family Residential - 18 Dwelling Units per Acre) Zone is designed to permit the development of rental and owner occupied multiple family dwelling developments in a park like atmosphere. The following zoning regulations and Architectural Review (Paragraph E of this section) shall apply to areas designated on the Master Site Development Plan (Figure 5-4) as RM-18.

a. Permitted uses

- *Attached or Multiple Family dwellings.*
- *Accessory uses and buildings customarily incidental to a permitted use including garages, carports, service buildings and private recreational facilities designed for the residents of the planned unit development.*

b. Conditional Uses

- *Public Schools*
- *Churches*

c. Lot area, width and depth

There are no minimum lot area, width or depth requirements

d. Perimeter project setbacks

Perimeter project yard setbacks are required open areas within the exterior boundary of a Multi-Family Residential neighborhood.

i. Front Yard

The perimeter project front yard setback shall be twenty (20) feet. Excepting for streets and driveways, the entire setback area shall be landscaped.

ii. Street Side Yards

The perimeter project street side yard setback shall be twenty (20) feet. Excepting for streets and driveways, the entire setback area shall be landscaped.

iii. Interior Side Yards

Interior side yard setbacks along the perimeter project shall be twenty (20) feet. A minimum of three feet shall be landscaped.

Accessory Buildings: Enclosed garage units may be placed upon the property line providing all provisions of the Uniform Building Code are met, except at property line abutting the Rose Creek Parkway where setback shall be ten (10) feet.

iv. Rear Yards

Rear yard setbacks along the perimeter project shall be twenty (20) feet. A minimum of five (5) feet shall be landscaped.

Accessory Buildings: Enclosed garage units may be placed upon the property lines providing all provisions of the Uniform Building Code are met, except at property line abutting the Rose Creek Parkway where setback shall be ten (10) feet.

e. Distance between buildings

The minimum distance between main buildings shall be fifteen (15) feet. The distance between a main building and accessory building shall be ten (10) feet.

f. Minimum Living Area Square Footage

The minimum finished living area square footage shall be 600 square feet for a single bedroom dwelling unit and 700 square feet for a dwelling unit with two or more bedrooms.

g. Building height

Main Buildings. 45 feet based upon UBC measurement method.

h. Fencing

Fencing for all residential lots shall be based upon the following criteria:

- i. Interior side yard or rear yard project fencing where next to a non-residential or lesser density residential project shall be a maximum of six (6) feet in height.*
- ii. Fencing materials shall consist of stone, brick, stucco, textured concrete, vinyl and/or similar materials.*
- iii. Fencing along collector and I or arterial streets shall be constructed to Riverton City standards.*
- iv. Fencing along rear property abutting the Rose Creek Parkway shall be two-rail vinyl fence as shown in Figure 6-4.*

6. **SP-C Zone (Commercial)**

The Monarch Meadows Specific Plan Commercial Zone (SP-C) is established to provide an area in which the primary use of the land is for commercial and service uses that will accommodate the daily convenience needs of the surrounding residential neighborhoods. The zone is intended to be located within, and integrated into, the residential neighborhoods in a manner that will create a minimum of detriment, hazard, or inconvenience to surrounding residential areas. Each commercial neighborhood use shall be within convenient walking distance from the surrounding residential area and shall encourage and accommodate for pedestrian access.

The SP-C Zone is intended to encourage compatible neighborhood market uses to be incorporated within a neighborhood so as to discourage residents from having to drive into the commercial centers for day to day necessities. The following zoning regulations shall apply to areas designated on the Master Site Development Plan (Figure 5-4) as SP-C.

a. Prohibited uses

The following uses are prohibited in the SP-C zone:

- Construction Services
- Drinking Places (Bars, Taverns, Night Clubs)
- Funeral Parlors
- Motels
- Motor Vehicle Sales
- Pawn Shop
- Behavioral Treatment Centers
- Correctional Institutions

b. Permitted uses

The following uses are permitted and allowed in the SP-C zone provided that the regulations and intent of this specific plan zone are met:

- Grocery Store with gasoline
- General Retail
- Bank or Financial Lending Institution.
- Beauty Salon or Barber Shop.
- Bakery.
- Drug Store or Pharmacy.
- Recreation or Fitness Center, Health Club.
- Professional Office
- Restaurant, drive-in or Fast Food
- Restaurant, sit down
- Car Wash
- Storage Units
- Department Store, General Merchandise
- Convenience Store with gasoline
(except when two or more like uses exist within 1,000 feet)
- Day Care Center

c. Conditional uses

All other uses not identified in items a & b of this section are conditional in the SP-C Zone with a public hearing.

d. Setback Requirements

i. Front Yard Setbacks

The setback from the front property line shall be no less than thirty (30) feet.

ii. Side Yard Setbacks

1. Compatible Land Uses

Setbacks between buildings of compatible land use may have a zero setback if both buildings are constructed with a one (1) hour fire wall. Otherwise, the setbacks shall be a minimum of fifteen (15) feet for adequate access. Also building spans shall have separations for rear access every three hundred (300) linear feet unless it can be shown that safety vehicles can adequately service the buildings.

2. Non-compatible Land Uses

When located adjacent to a residential district (excepting recognizable holding zones for future commercial development), side yard setbacks shall be a minimum of twenty (20) feet.

iii. Rear Yard Setbacks

Where adjacent to residential zones, the minimum rear yard setback shall be one (1) foot for every one (1) foot in building height. However, there shall be a minimum setback of fifteen (15) feet, unless an access lane is planned, in which case, a minimum of twenty two (22) feet is required.

e. Lot Coverage

i. Building Pad Coverage

Commercial lots in the SP-C zone shall have a maximum building pad coverage of thirty-five (35) percent.

ii. Open Space

Each commercial site in the SP-C zone shall contain a minimum of twenty (20) percent landscaped open space within the property boundaries.

f. Architectural Standards

i. Architectural Design

All building and landscaping shall be compatible with and reflect the residential character of the surrounding residential districts.

ii. Architectural Character & Features

The project theme can be described as "Federal" or "Traditional". A commercial building in the SP-C Zone shall incorporate a minimum of five (5) characteristics from the list of encouraged architectural features in item 1 below. However, as many characteristics as possible of the project theme should be used to create a distinct feel to the area. These design standards and guidelines are as directed and administrated by the Planning Commission and City Council.

1. Encouraged Architectural Features

The following are encouraged features for all commercial buildings. Large developments should be able to use all of these features. Smaller scale developments are encouraged to use as many of these features as possible.

- High pitched roofs.
- Arched doorways and windows.
- Decorative block or brick quoins.
- Columns, either brick, rounded wood or colonial.
- Clock towers and other decorative vertical features.
- Keystones over doorways or windows.
- Decorative wood window shutters.
- Brick accent walls.
- Other features as approved by the City Council after recommendation by the Planning Commission

iii. Building Height

Buildings shall not exceed two (2) stories or forty (40) feet in height, whichever is less.

iv. Bulk

Commercial buildings shall be designed with architectural wall variations at least every twenty (20) feet in linear width. Variations could imply an undulation in wall surface or additional architectural elements that breaks up the large surface into smaller sections.

v. Roof

1. Roof Line.

- a. Parapet Walls. No parapet walls or flat roofs shall be constructed in the SP-C Zone.
- b. Pitch. The roof pitch shall be a minimum of 6:12 and a maximum of 12:12.

2. Roof Materials. Appropriate roofing materials shall be evaluated by the Planning Department. However, wood shingles are not permitted.

vi. Exterior Surfaces

1. Protected Lower Wall

The lower wall shall be at least one-third the height of the first story. This lower portion of the wall may consist of brick, tile, or decorative concrete.

2. Upper Wall Materials

The remaining portions of the exterior building may consist of glass, brick, stucco, and treated wood. However, not more than forty (40) percent of the buildings exterior wall surface may be glass.

g. Development Standards

i. Minimum Lot Size

Development with the SP-C Zone shall not be less than one-half (1/2) acre in size and shall be of sufficient size to assure compliance with the City's off-street parking, landscaping, and site plan requirements.

ii. Streetscape

The public right-of-way, which includes the back of curb, park strip, and sidewalk, shall be constructed in accordance with the description of the pedestrian open space corridors found in Section 12 of this Specific Plan.

iii. Buffering Between Non-compatible Land Uses

Between non-compatible land uses, a minimum of six (6) foot solid masonry wall and seven (7) feet of landscaping shall be installed. Businesses with a rear loading dock and adjacent to an incompatible land use shall have an eight (8) foot masonry wall plus ten (10) feet of landscaping. Special considerations may be made when the rear yard is adjacent to compatible or future commercial holding zones. The landscaped strip shall include a combination of trees and shrubs that, along with the fence, shall maintain proper screening from adjacent residential uses.

h. Parking Areas

i. Arrangement

Parking shall be arranged for convenient access, secured visibility, but also contained by buildings and landscaping. The site plan shall be designed to encourage parking locations to be on the side and/or rear of the buildings, but parking located in the front is permitted. Parking and building arrangements shall avoid a strip mall design. The site plan may be required to group parking lots into courts in order to break up the expanse of parking.

ii. Shade

Parking lots shall have a minimum shade canopy of twenty (20) percent at point of mature tree growth. Planters for trees shall be a minimum of five (5) by five (5) feet. Planter areas may be counted toward the required open space.

iii. Landscaping

Landscape medians and borders shall be used to direct circulation flow.

iv. Building Protection

A storefront and store access shall not be blocked by parked cars. A minimum of ten (10) feet shall be required to separate any exterior building wall from parking spaces.

7. **OS Zone** (Open Space & Parks)

A large percentage, 20%, of the Monarch Meadows development will remain in permanent open space in the form of parks, pedestrian corridors and schools. The Open Space zoning area will also include recreational facilities that will be privately owned and maintained. Zoning regulations within the public areas should allow the development of recreational elements and features that contribute to not only the lifestyle of community residents, but the residents of Riverton City as well.

a. Permitted uses

- *Public schools*
- *Churches.*
- *Parks and accessory buildings associated with park improvements.*

b. Lot area, width and depth

There are no minimum lot area, width or depth requirements.

c. Other

The remainder of the zoning requirements for the open space zone shall follow the regulations set forth under the Riverton City zoning ordinance Parks & Open Space zone.

E. Architectural Review and Control

1. Architectural Review Committee

Developer may, at any time, establish an Architectural Review and Control Committee consisting of one or more property owners within the Subdivision, in which case, said persons as an Architectural Committee shall have all of the rights and authorities pertaining to the architectural specifications and control as provided herein to the Developer. Said Architectural Review and Control Committee (hereinafter "Architectural Committee" or "Committee") shall be established in writing and the same may (but is not required to) be recorded. The members of the Committee may be changed at any time by majority vote of the property owners within the Subdivision. It is anticipated that over time, the Developer shall phase itself out of majority control of the Subdivision. Continuing governance of the Subdivision as it relates to the interpretation and enforcement of these restrictions shall be assumed by the Lot Owners in the Subdivision, acting by a majority vote.

2. Requirements

- a. No building, fence, wall, hedge or structure or permanent improvement of any type, shall be constructed on any Lot until the plans and specifications, including design, location, description of materials, color scheme and a grading plan showing the location of the proposed structure or improvement, with all necessary supporting details associated therewith, have been approved in writing by the Developer, or such Architectural Committee as Developer may establish as provided hereunder. No later changes or additions after initial approval thereof or remodeling or reconstruction shall commence until such has also been approved in writing by the Developer or its assignee or the Architectural Committee, as the case may be. Before commencement of any such construction, the Owners of Lots shall present their plans and specifications to the Developer. Plans and specifications must be acted on by the Developer within thirty (30) days after submission. If the Developer fails to act on said plans and specifications within said thirty (30) day period after submission, the plans and specifications shall automatically be approved.
- b. The Developer shall have the right to refuse to approve any plans and/or specifications which are not suitable or desirable, in its opinion, for aesthetic or other reasons, and in so passing upon such plans and/or specifications, it shall have the right to take into consideration the suitability of the proposed building or other structure or improvements, the materials of which it is built, the site upon which it shall be erected, the harmony thereof with the surroundings and the effect of the building or other structure on the roadways as planned and the view from the adjacent or neighboring properties. In the event of the failure of the purchaser or purchases of lots in the development to obtain or to comply with the required prior written approval of plans under this paragraph, said purchaser hereby agree to reimburse the Developer or its assigns for all costs and expenses to which it may be put as a result of said failure, including but not limited to, court costs and any improvements required to correct the situation including costs of demolition and reconstruction, if necessary. To whatever extent consent, approval or authorization from Developer or the Architectural Committee may be required hereunder, such consent, approvals and authorizations shall not be unreasonably withheld, nor shall these Covenants and Restrictions be arbitrarily or capriciously interpreted or applied.

3. Exterior Materials

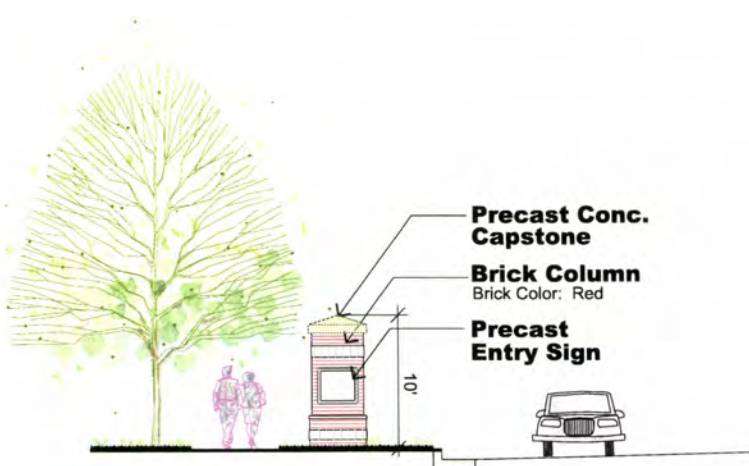
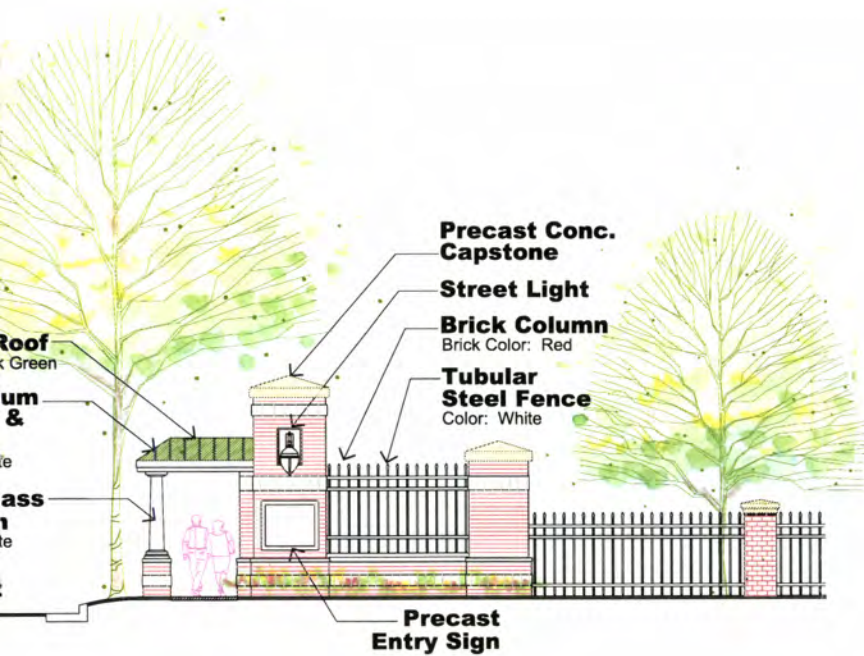
- a. All exterior materials utilized on Dwelling and other structures shall consist of natural materials including stone, brick, stucco, Hardi Plank, etc. Aluminum, steel and vinyl are to be used only as soffit and fascia unless otherwise approved by the Architectural Committee in writing. (If approved by Developer or the Architectural Committee, steel framing and vinyl windows are an exception thereto and may be permitted.) The roofing material on all homes or other structures built on any Lot shall be either cedar, tile or high grade architectural asphalt shingles, all as approved by Developer or the Architectural Committee as to material, style and color.
- b. Unless otherwise approved by the Developer or the Architectural Committee, the exterior materials utilized on the front and sides of the Dwellings and structures shall generally consist (combined) of at least twenty-five percent (25%) brick and the balance may be stone, stucco or high quality siding if and to such extent as the same are approved by Developer and/or the Architectural Committee. Aluminum and vinyl siding are not permitted unless approved by Developer and provided such are not visible from the street or objectionable to neighboring property owners who may be adversely affected thereby.
- c. In addition to the 25% brick requirement in item b, each lot shall incorporate a minimum of four (4) of the following characteristics of "traditional" architecture. However, as many traditional characteristics as possible should be used to create a distinct feel to the development.
 - High pitched roofs
 - Arched doorways and windows
 - Double-hung, multi-paned windows
 - Decorative block or brick quoins
 - Columns, either brick, rounded wood or colonial
 - Keystones over doorways or windows
 - Portico
 - Fan light or side light windows
 - Decorative wood window shutters
 - Brick accent walls
 - Other features as approved by the Developer or Architectural Committee



**Monarch
Meadows**
Riverton, Utah

Entrance Monuments

Figure 6-2



Secondary Monument Sign

Monarch Development
Salt Lake City, Utah





Metal
Color: Dar

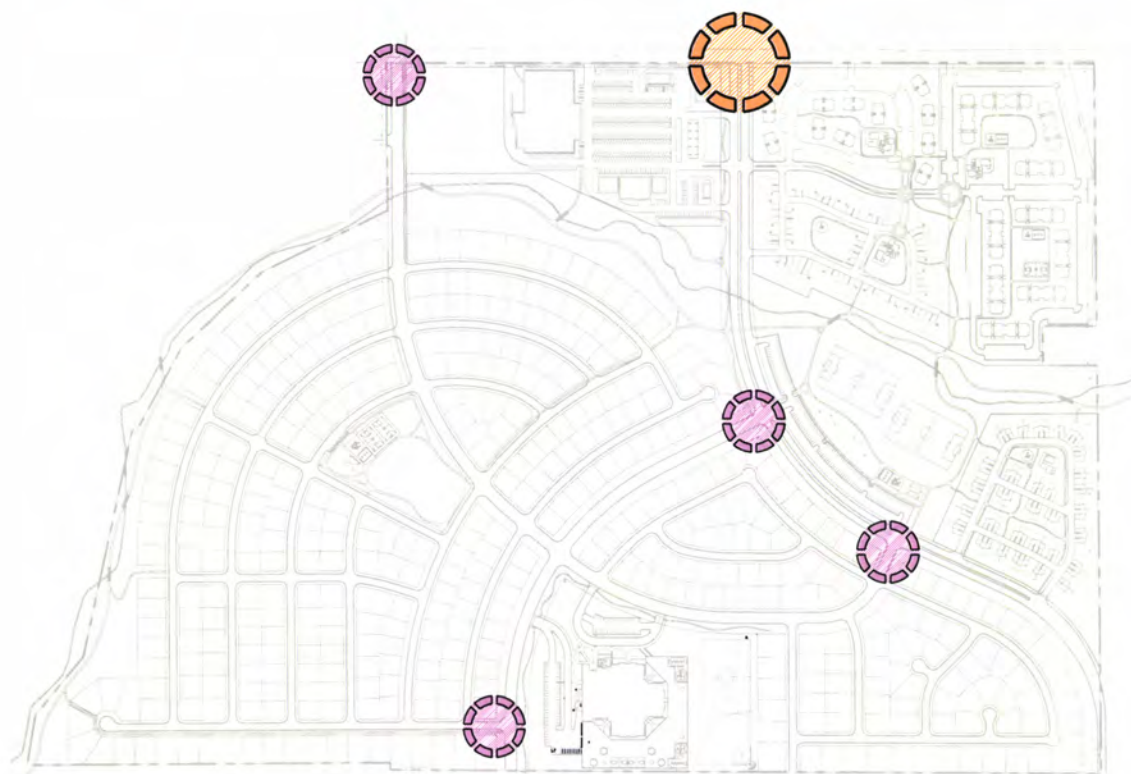
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Column
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Street



Main Entry Feature & Sign

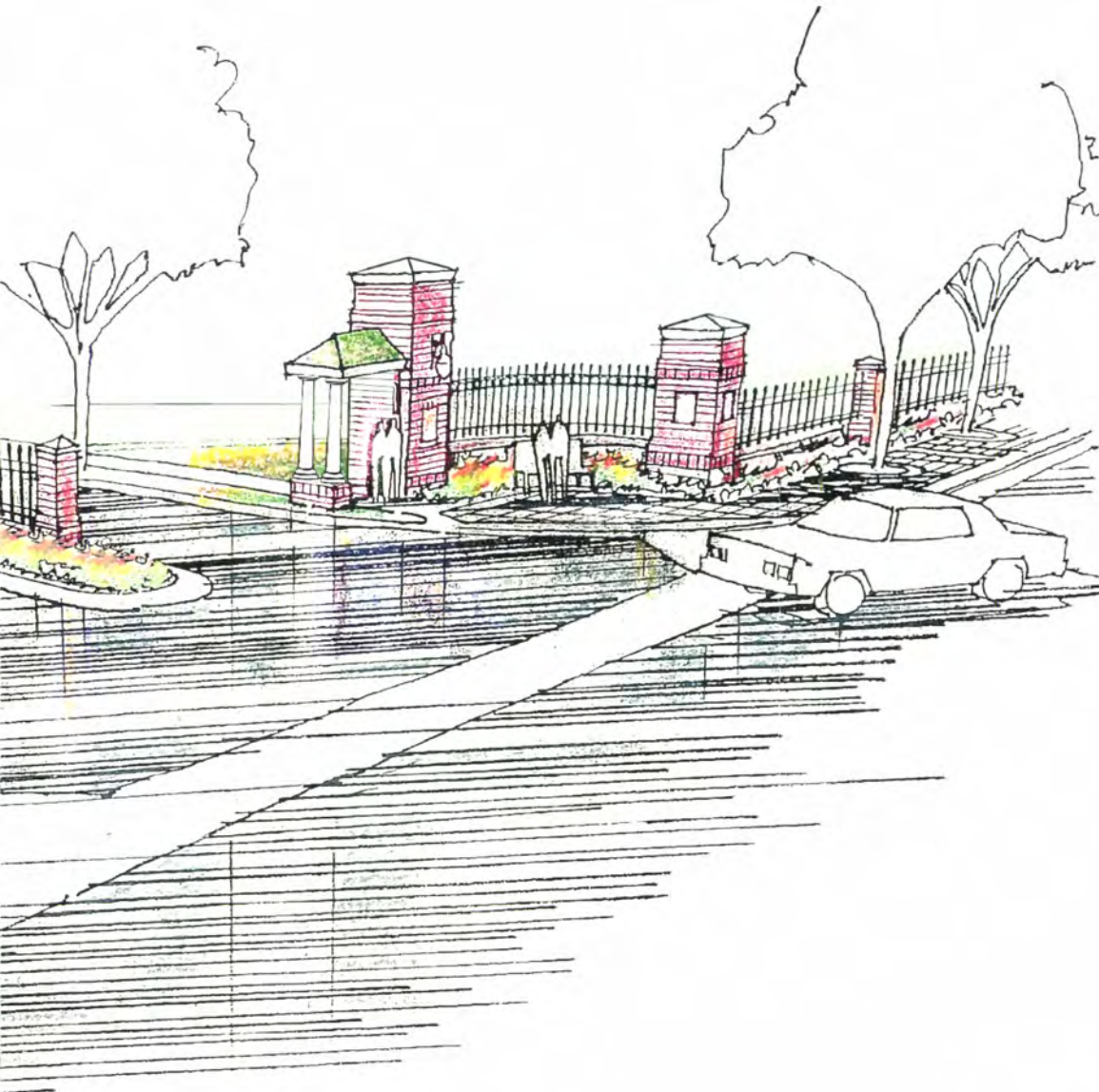




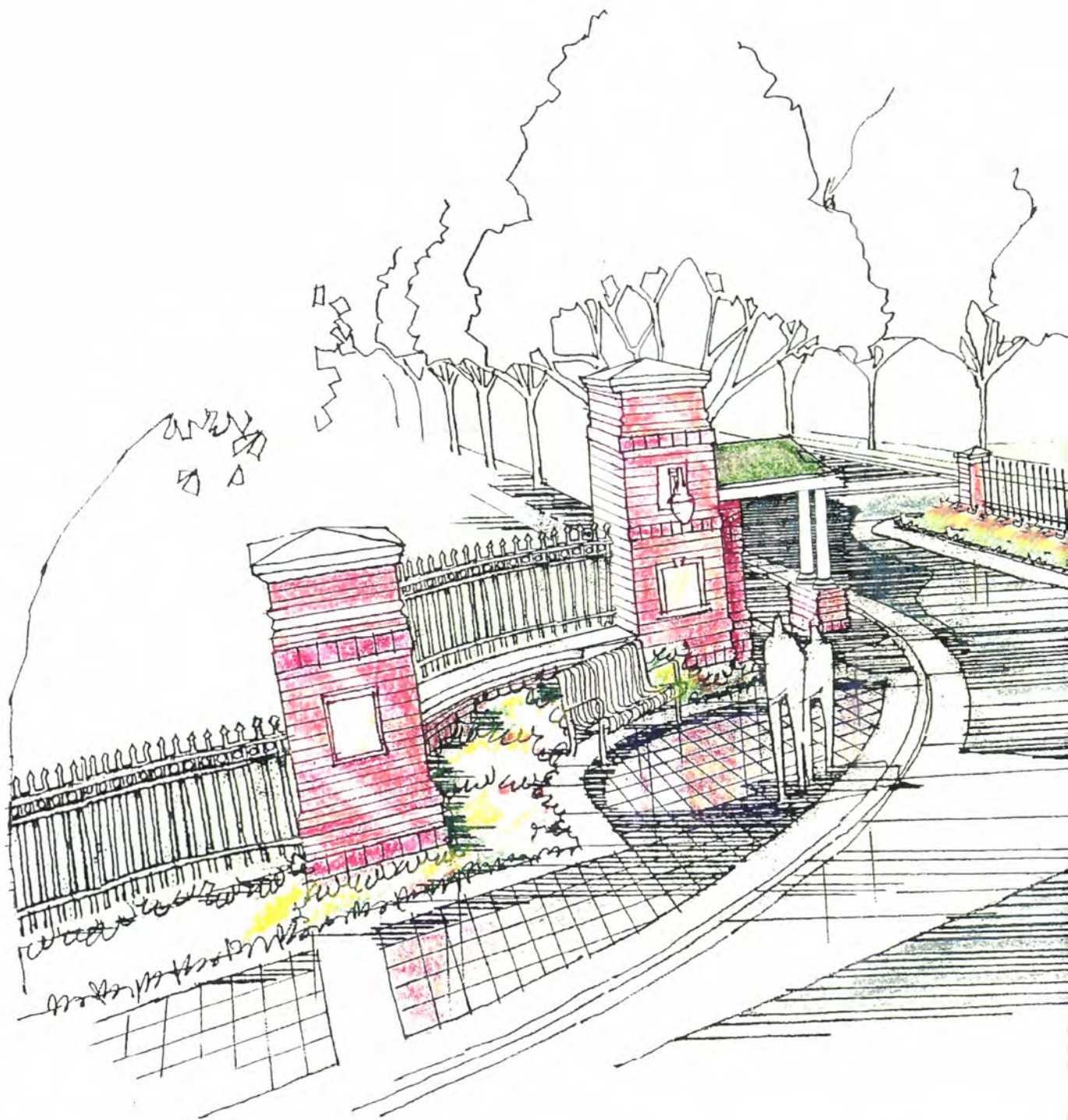
**Monarch
Meadows**
Riverton, Utah

**Main Entry
Feature
& Sign**

Figure 6-3



Monarch Development
Salt Lake City, Utah

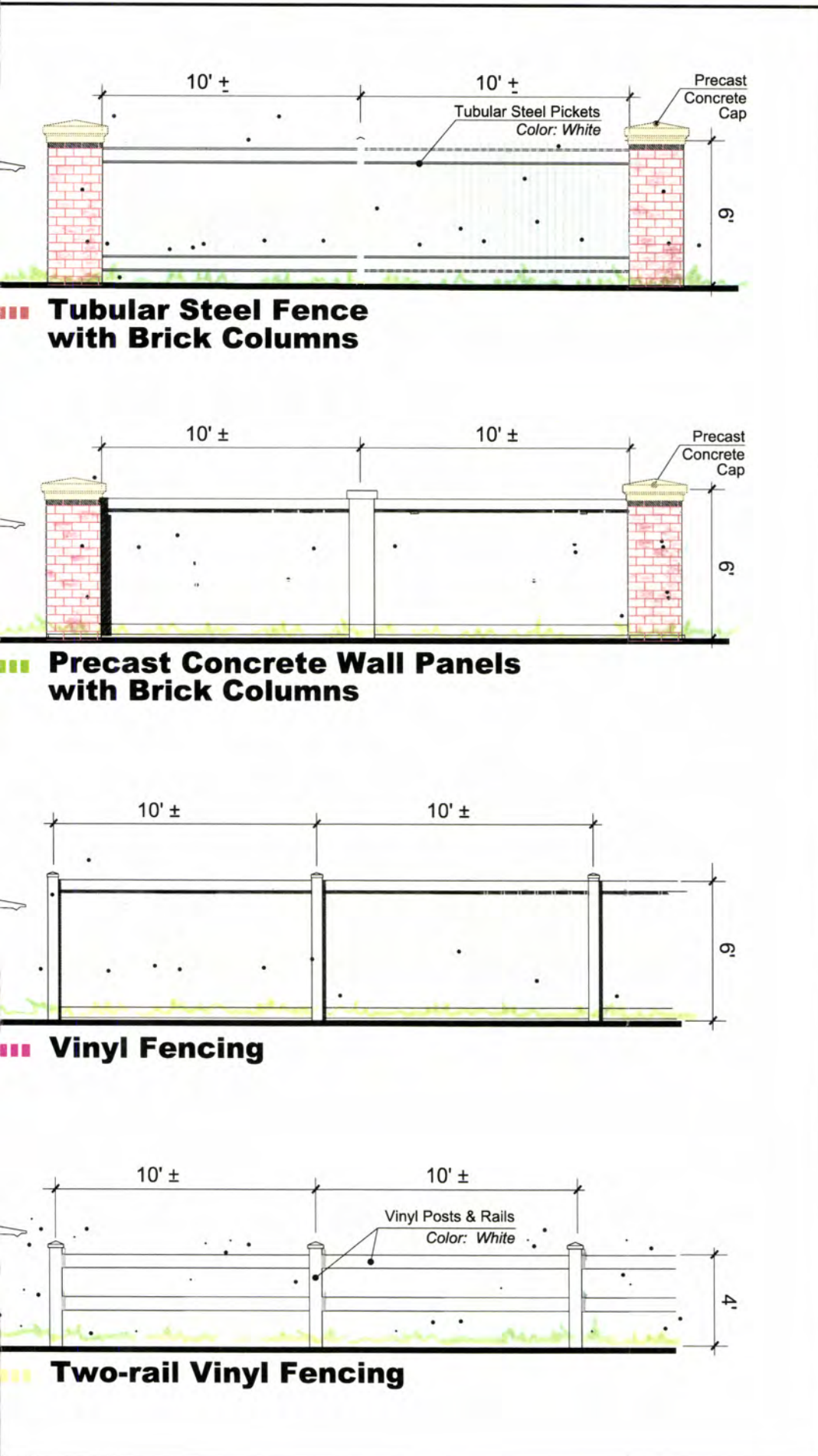




**Monarch
Meadows**
Riverton, Utah

Perimeter Wall and Fencing Types

Figure 6-4

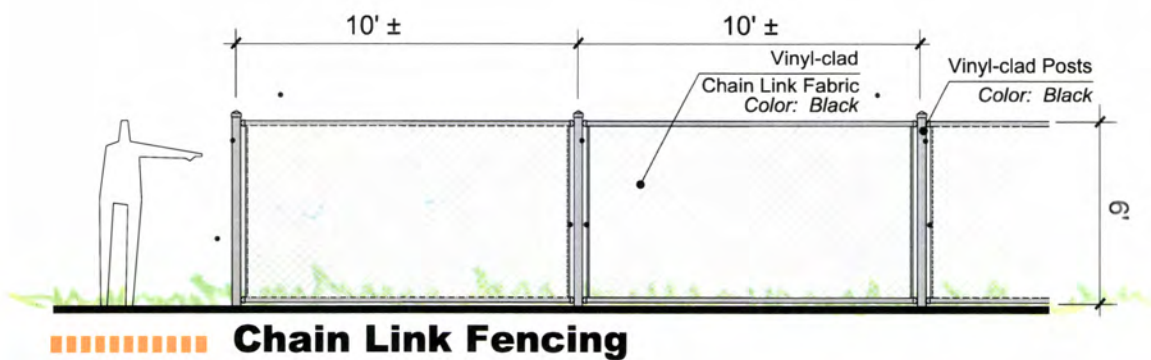


Monarch Development
Salt Lake City, Utah





Fencing Locations

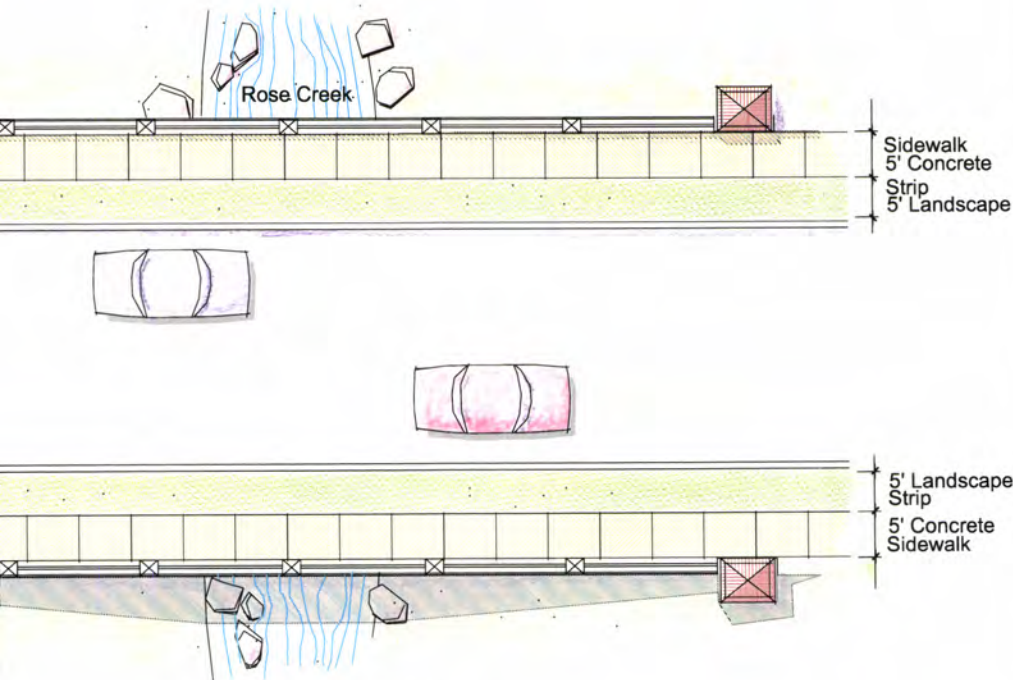




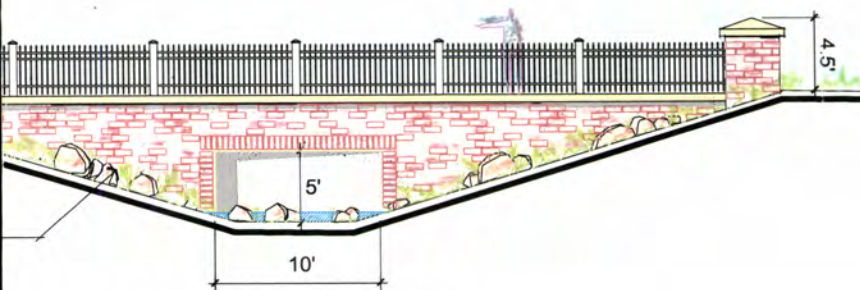
**Monarch
Meadows**
Riverton, Utah

Bridge Development

Figure 6-5



Typical Plan View

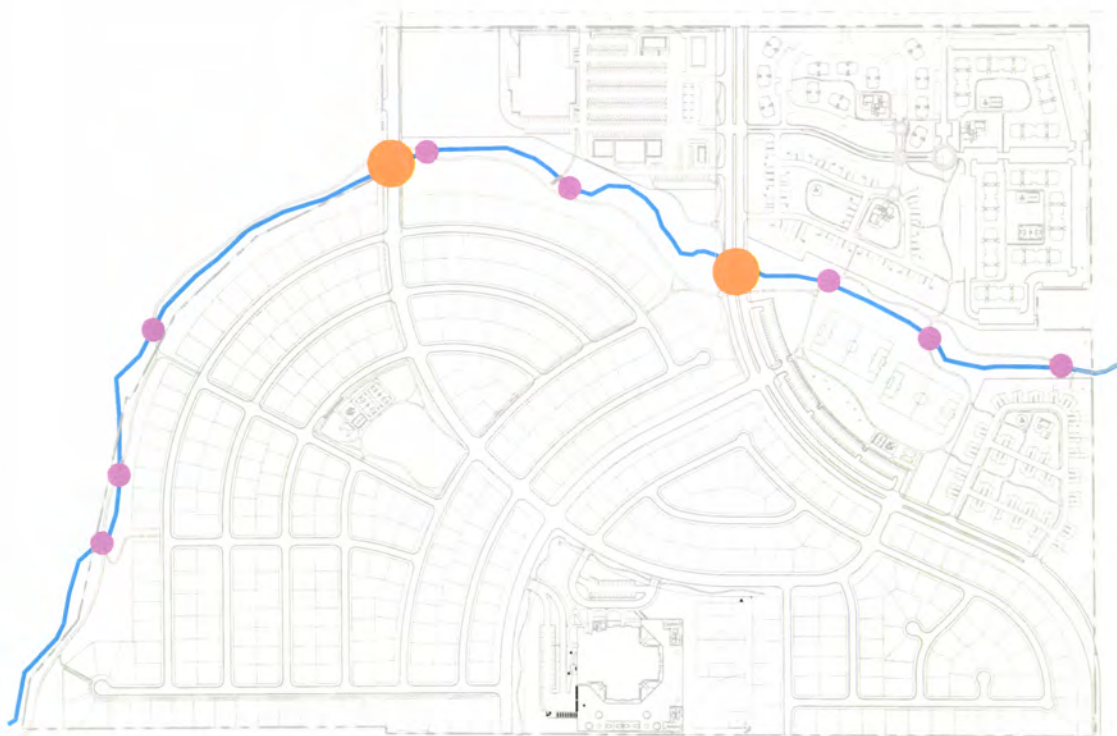


Typical Elevation View

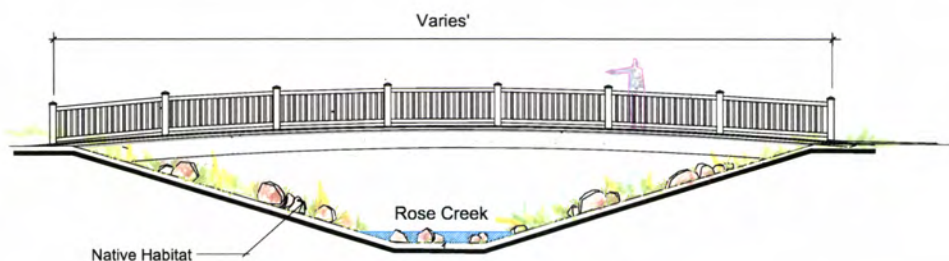
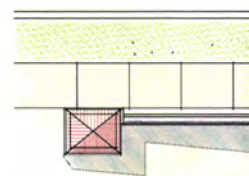
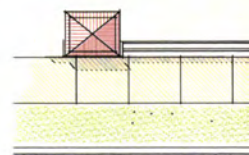
Automobile Bridge Development

Monarch Development
Salt Lake City, Utah





Bridge Locations



Typical Elevation View



Native Habitat

● Pedestrian Bridge Development

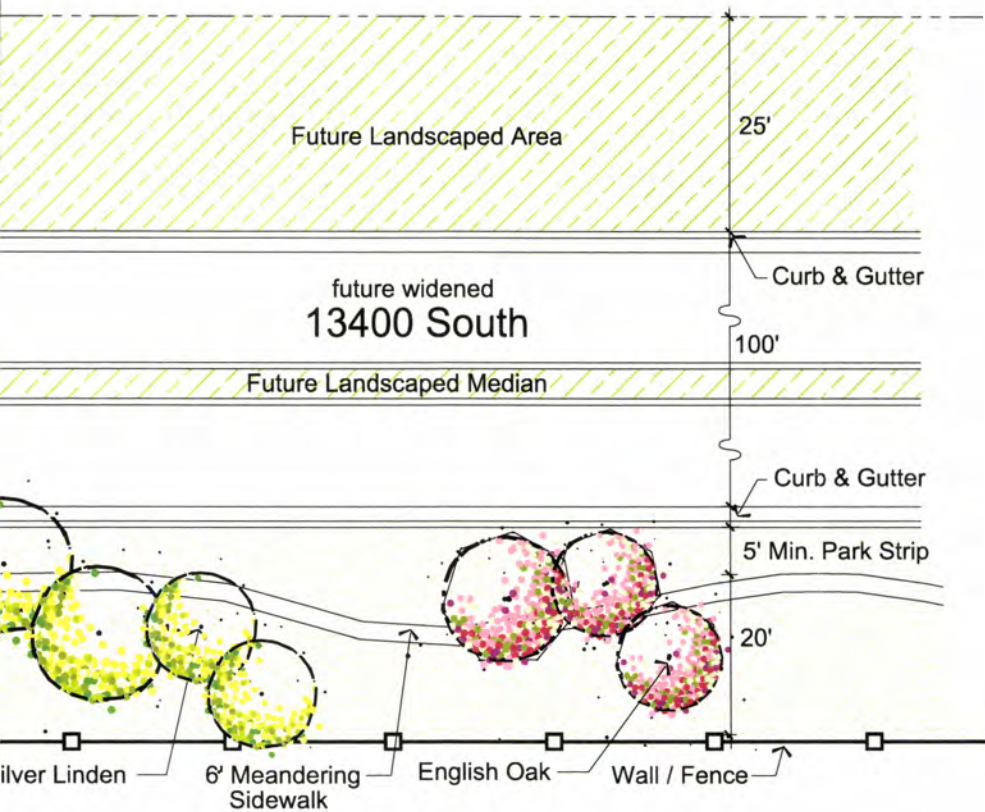
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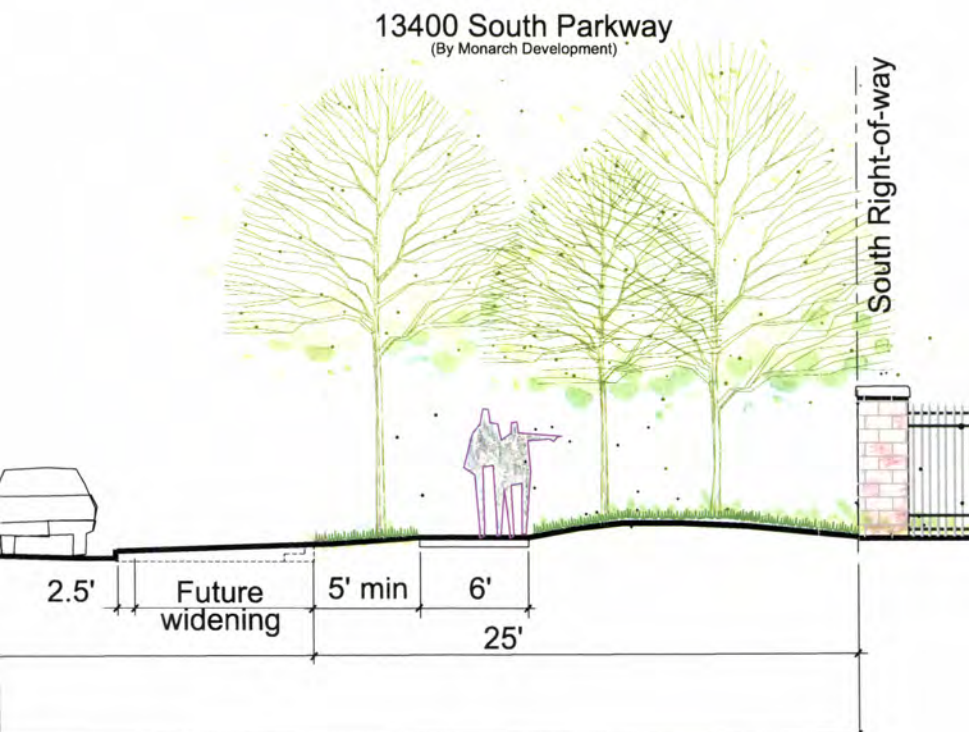
**Monarch
Meadows**
Riverton, Utah

13400 South Parkway Planting

Figure 6-6



View

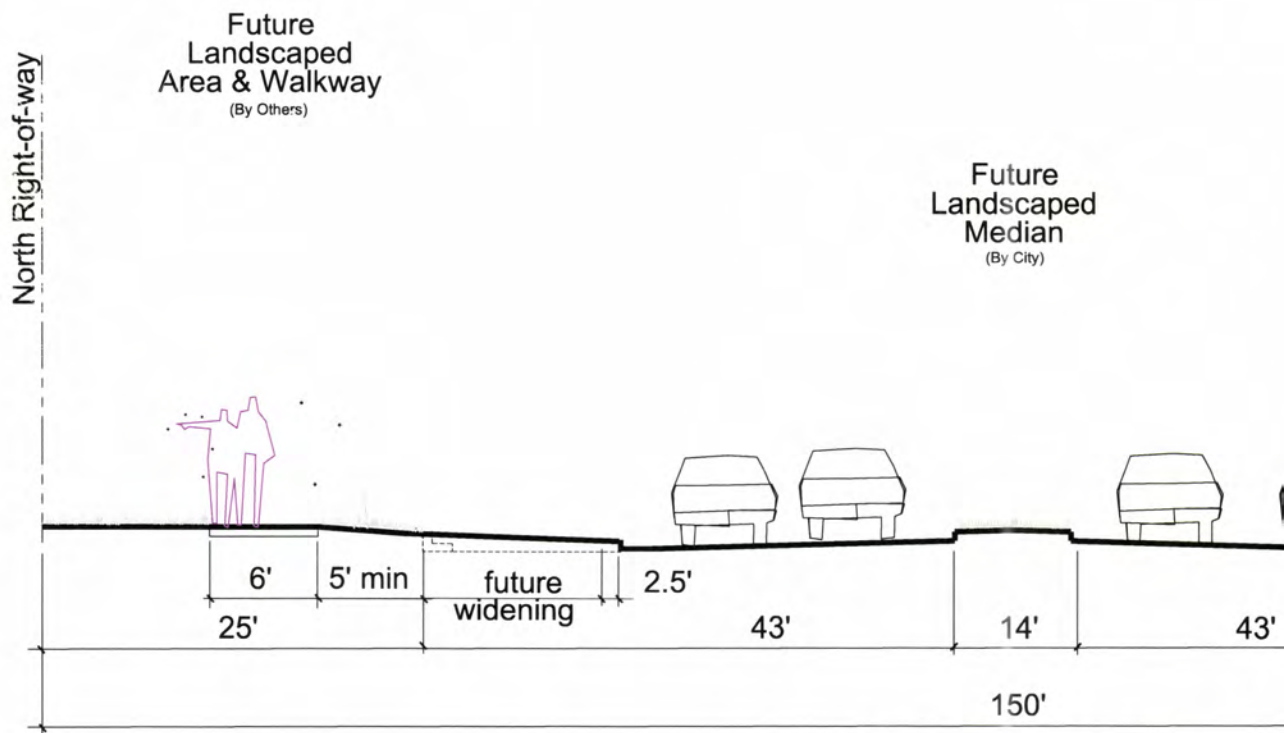


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Salt Lake City, Utah





Planting Area



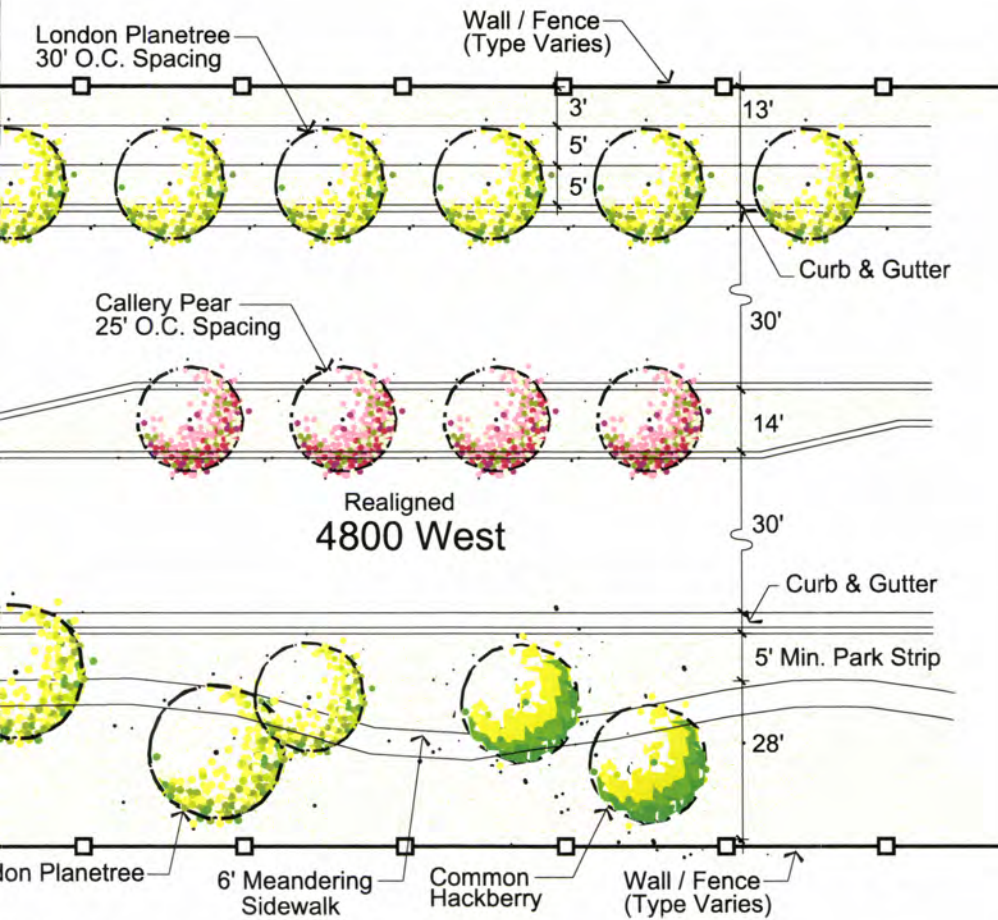
Typical Section



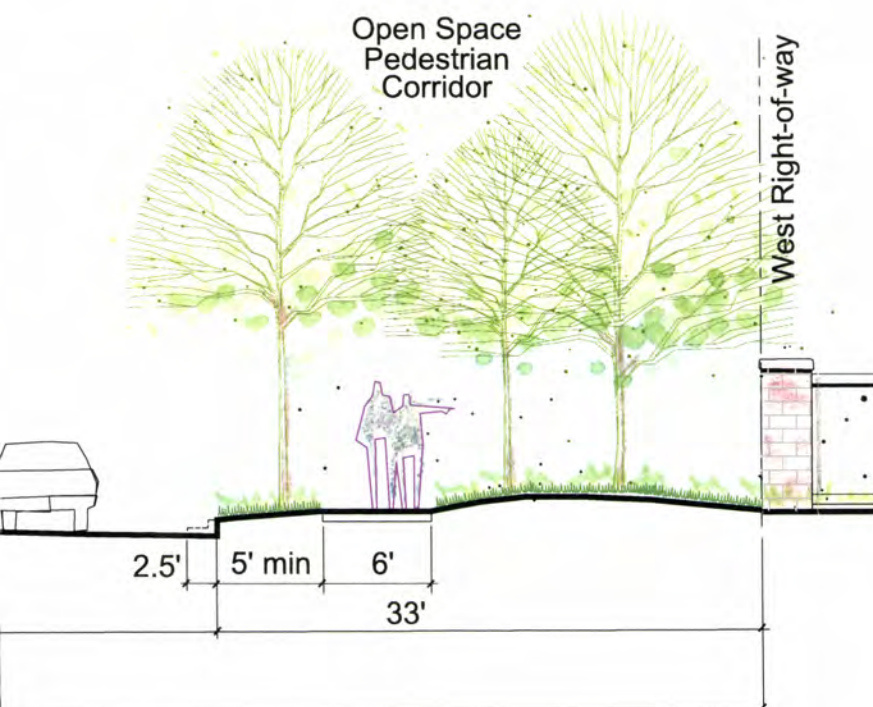
**Monarch
Meadows**
Riverton, Utah

4800 West Realignment Planting

Figure 6-7



View

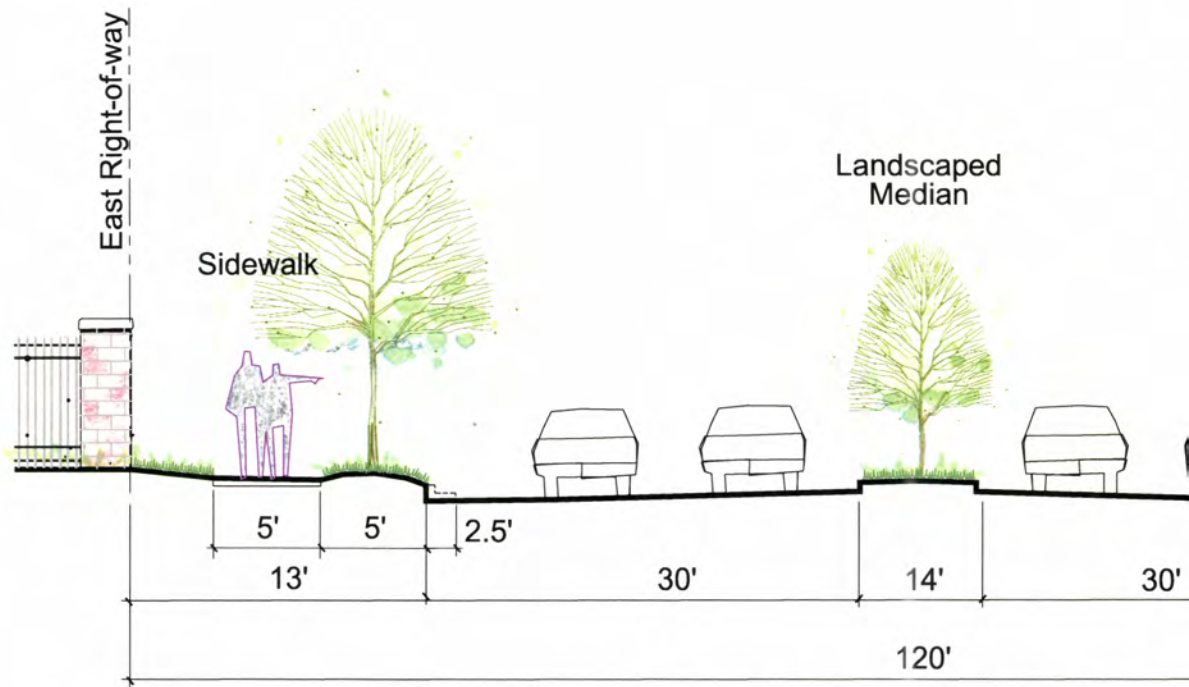


Monarch Development
Salt Lake City, Utah





Planting Area



Typical Section

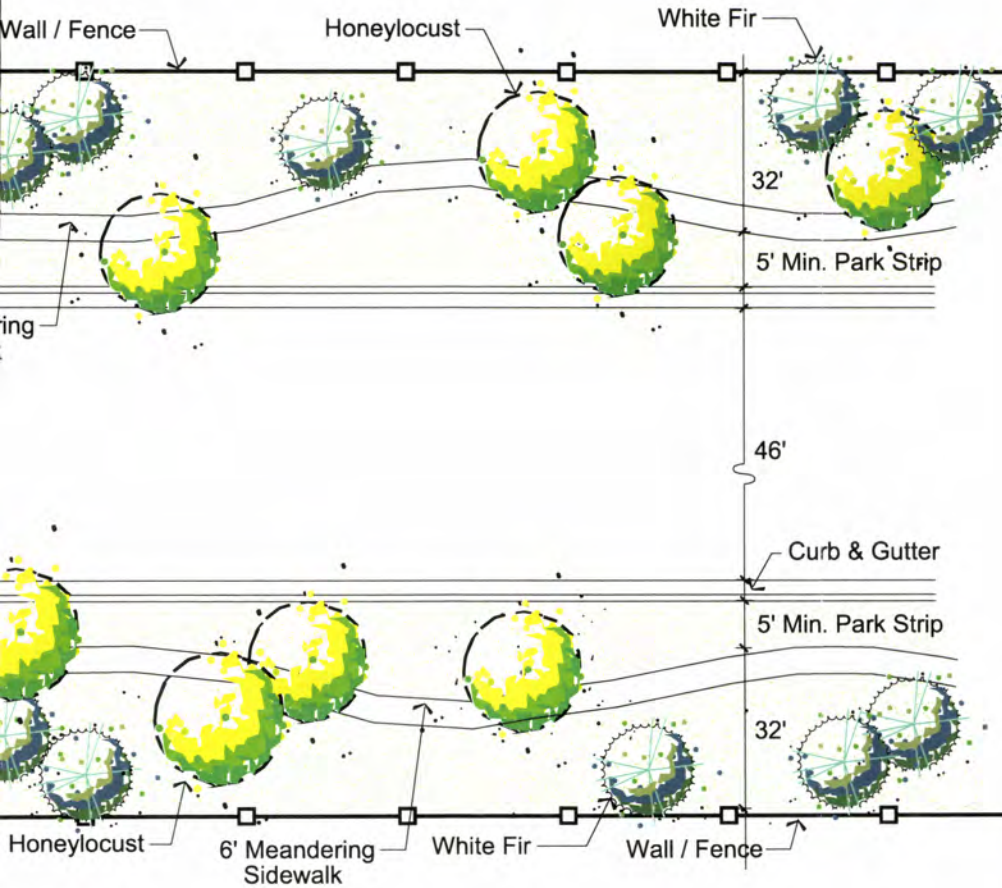


Monarch Meadows

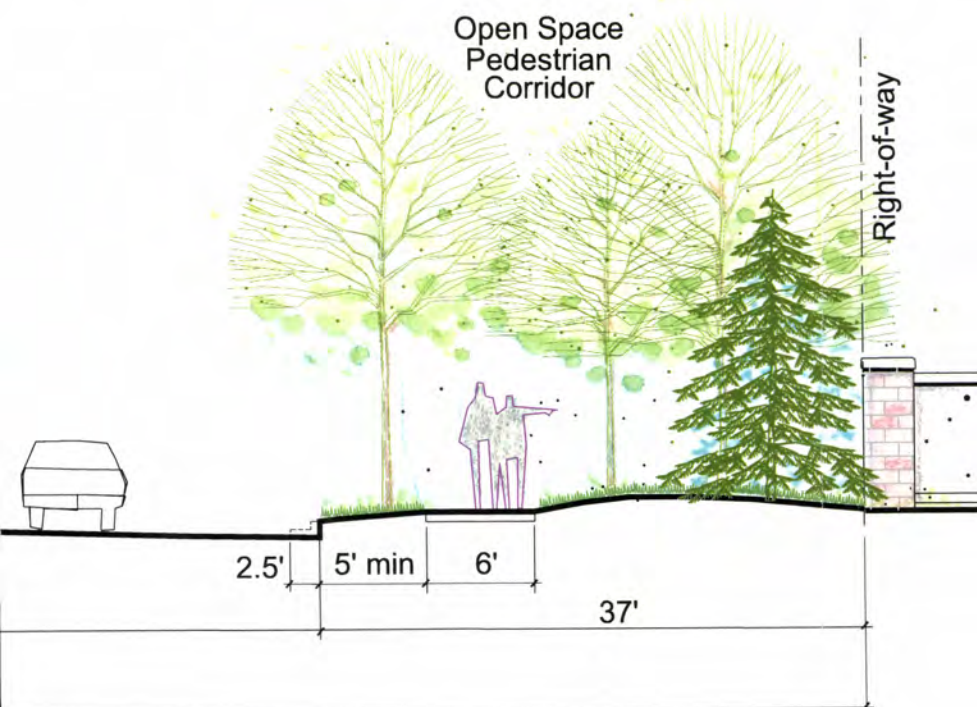
Riverton, Utah

Primary Collector Parkway Planting

Figure 6-8



View



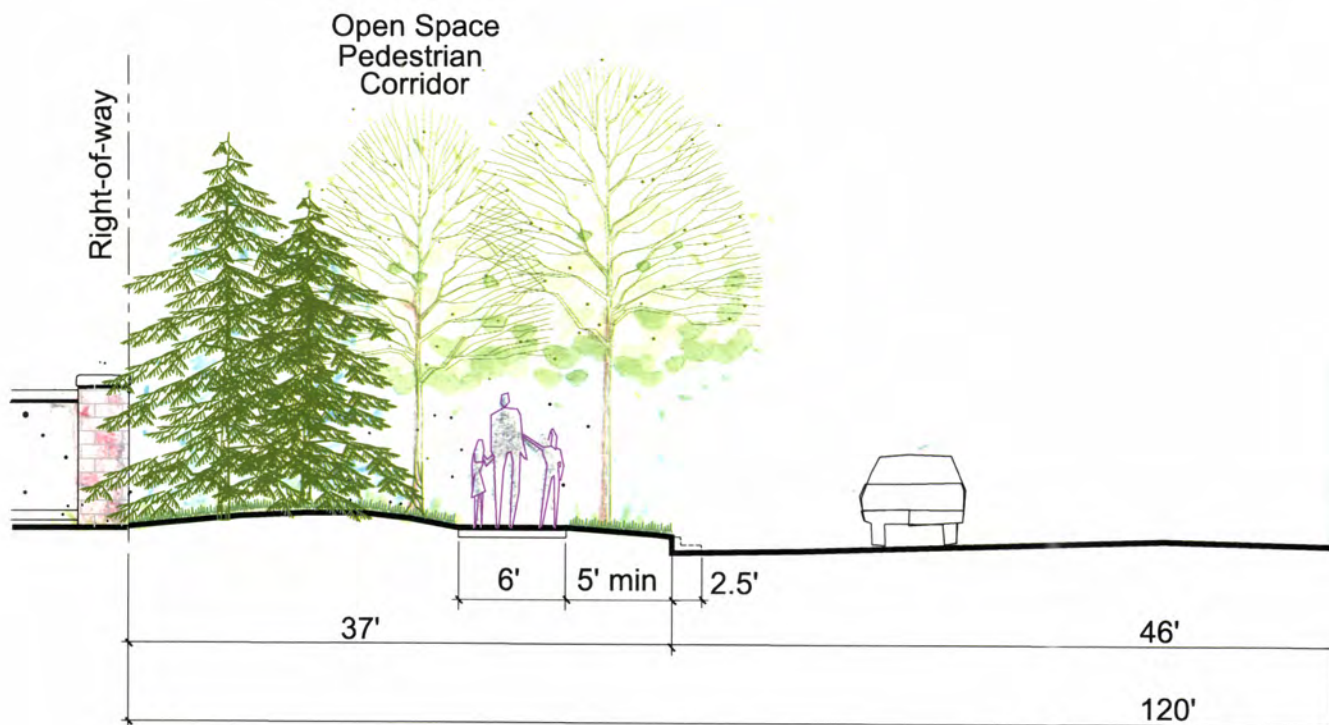
Monarch Development
Salt Lake City, Utah





Planting Area

6' Meander
Sidewalk



Typical Section

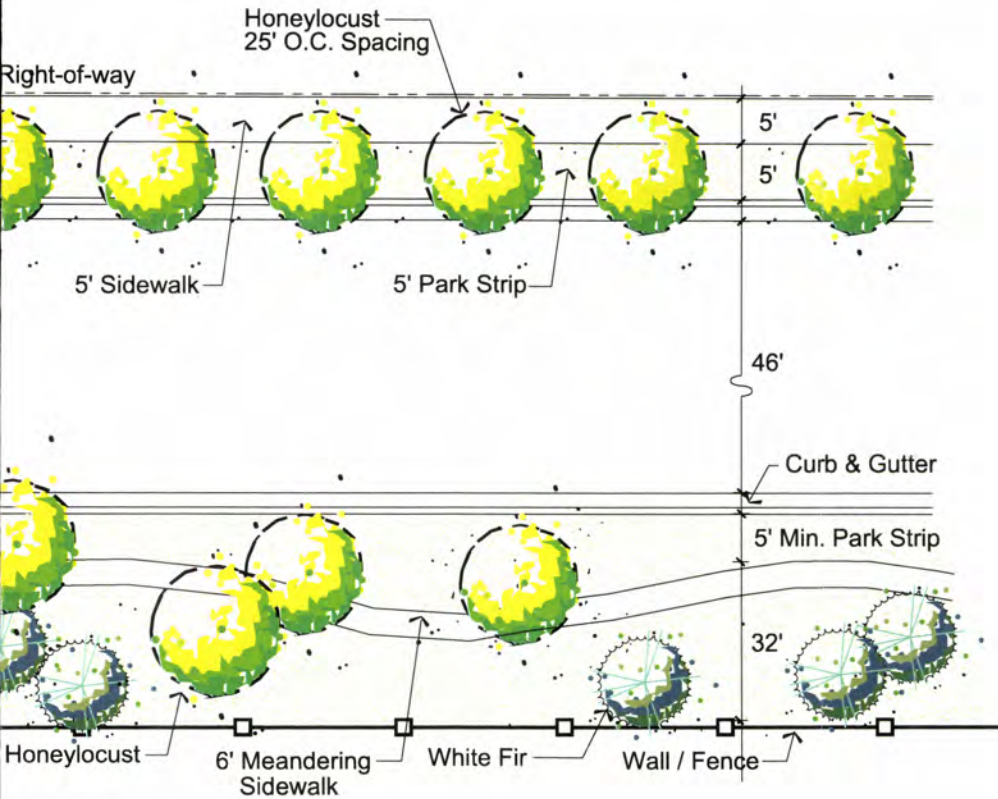


Monarch Meadows

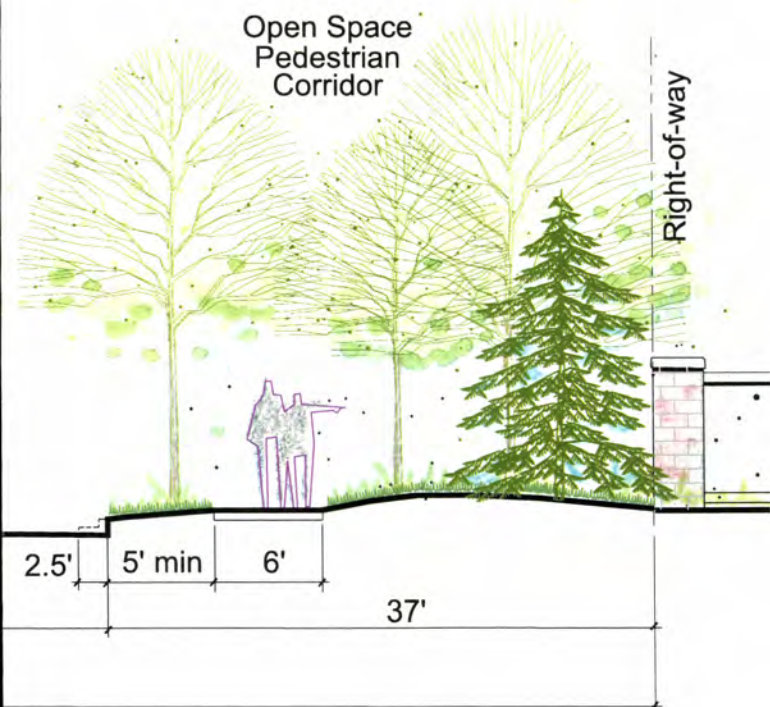
Riverton, Utah

Secondary Collector Parkway Planting

Figure 6-9



View

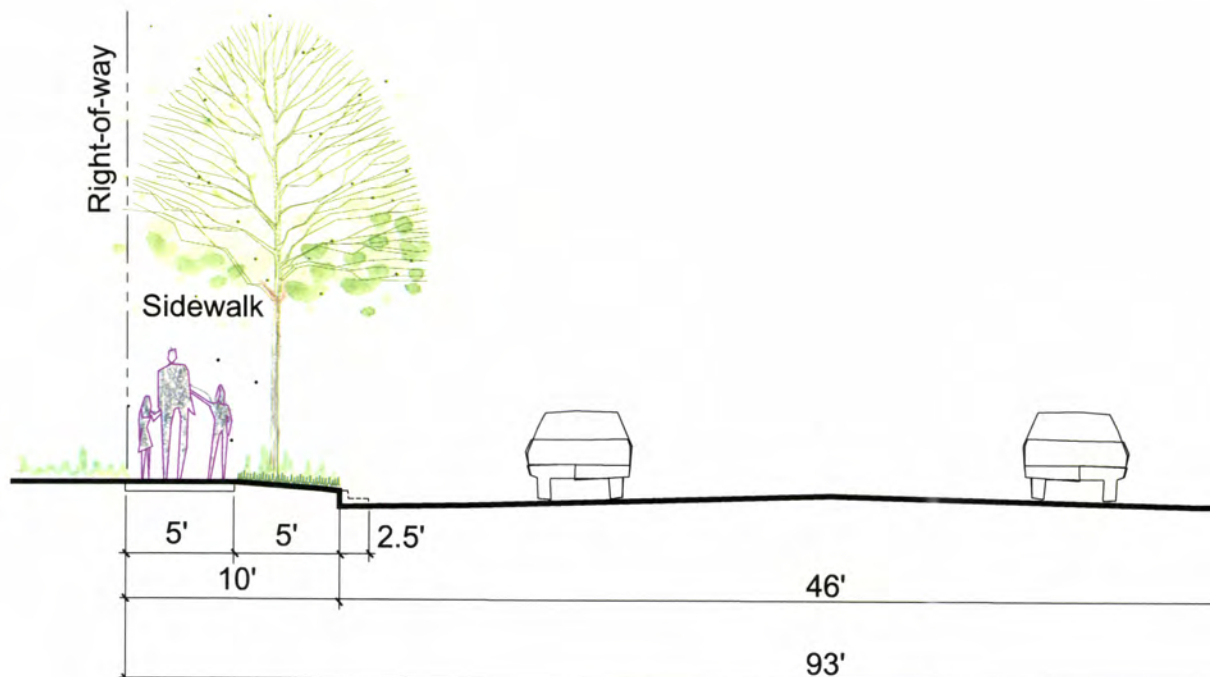


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Planting Area



Typical Section

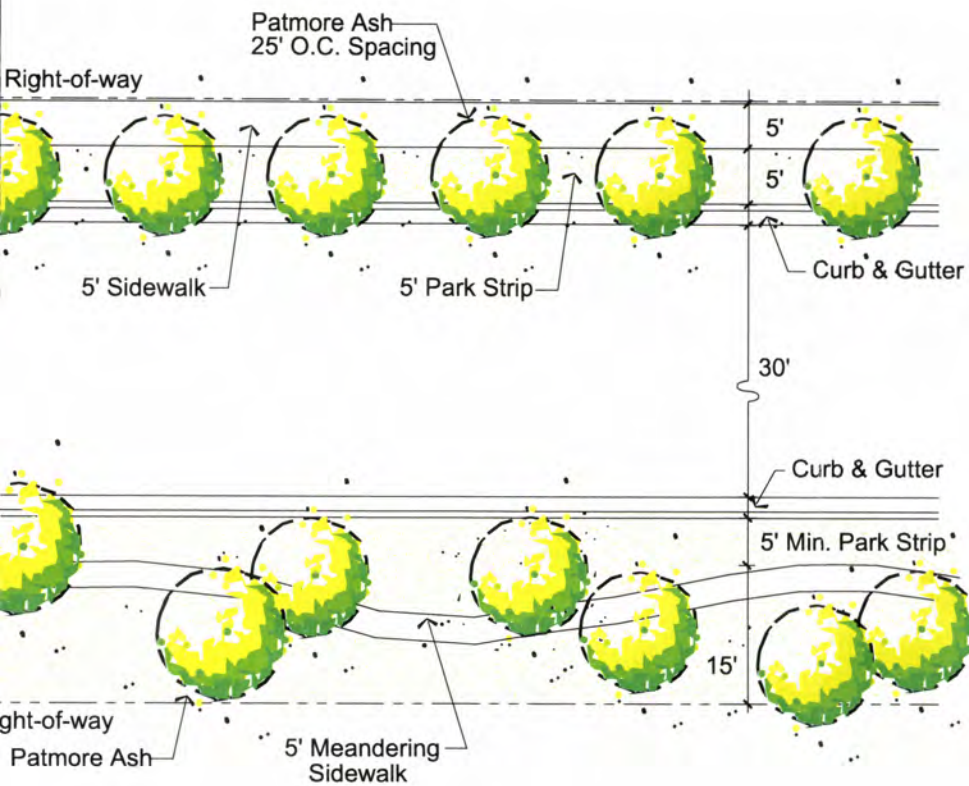


Monarch Meadows

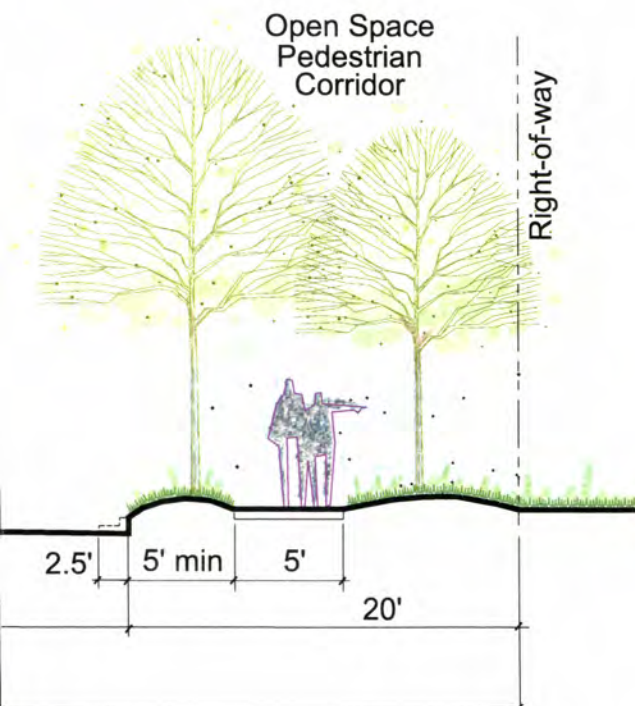
Riverton, Utah

Residential Corridor Planting

Figure 6-10



Plan View

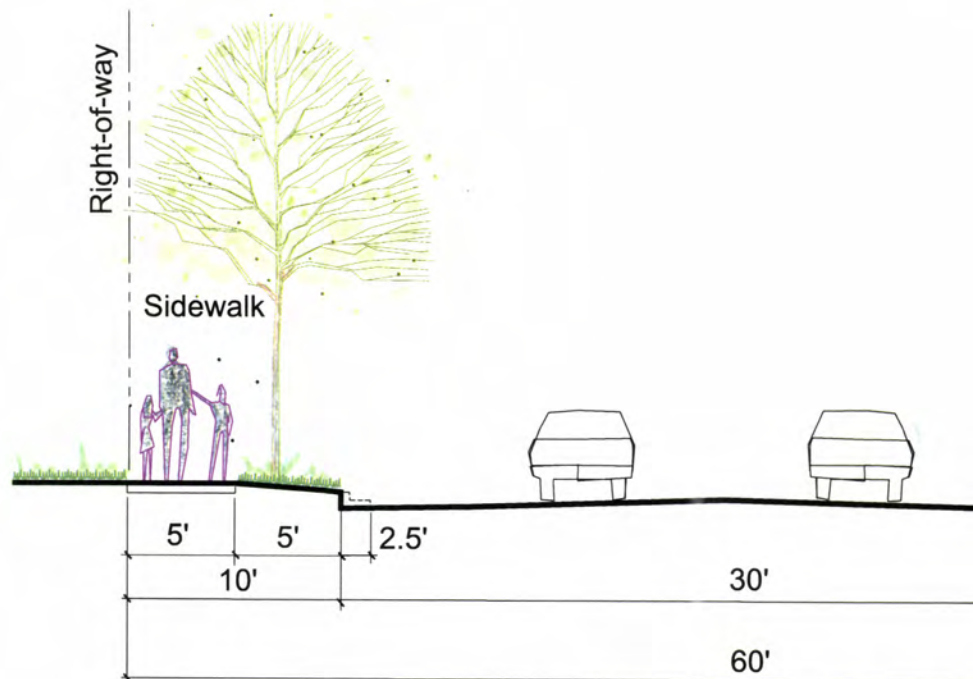


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Planting Area



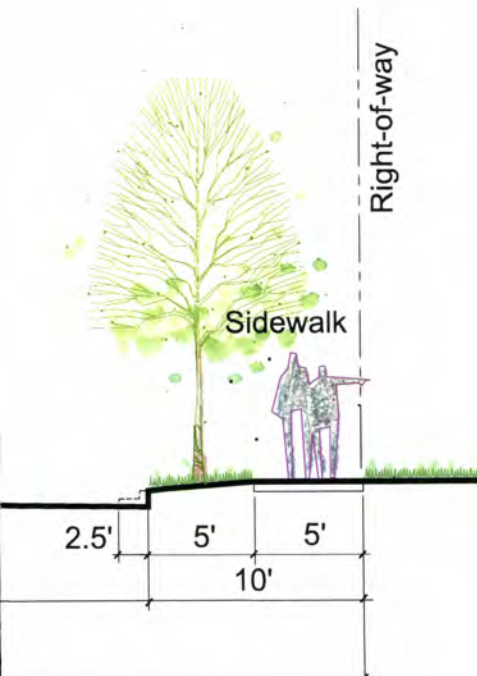
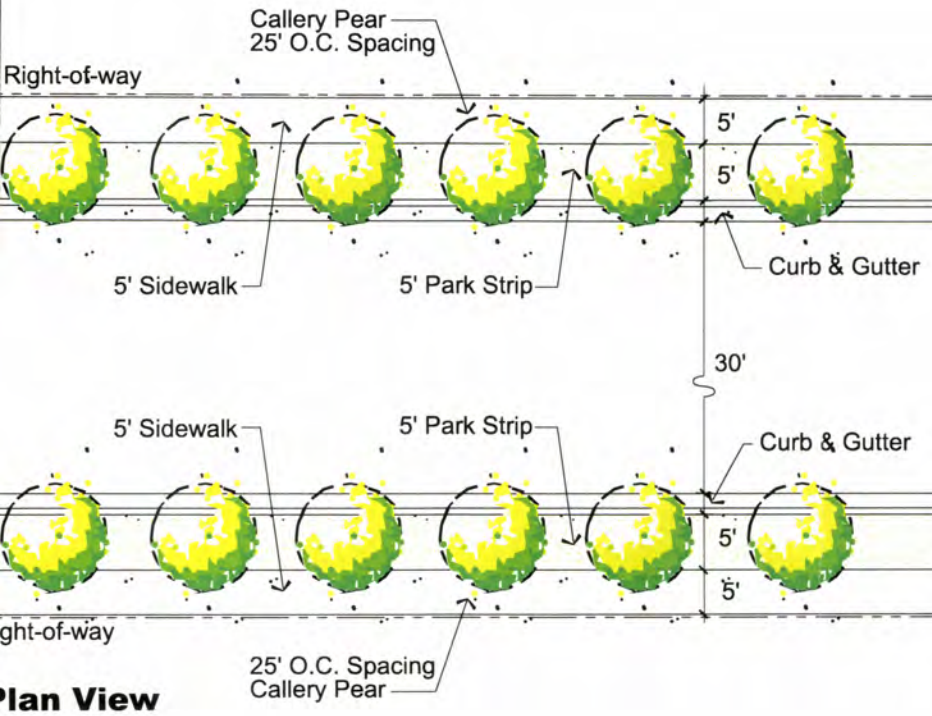
Typical Section



**Monarch
Meadows**
Riverton, Utah

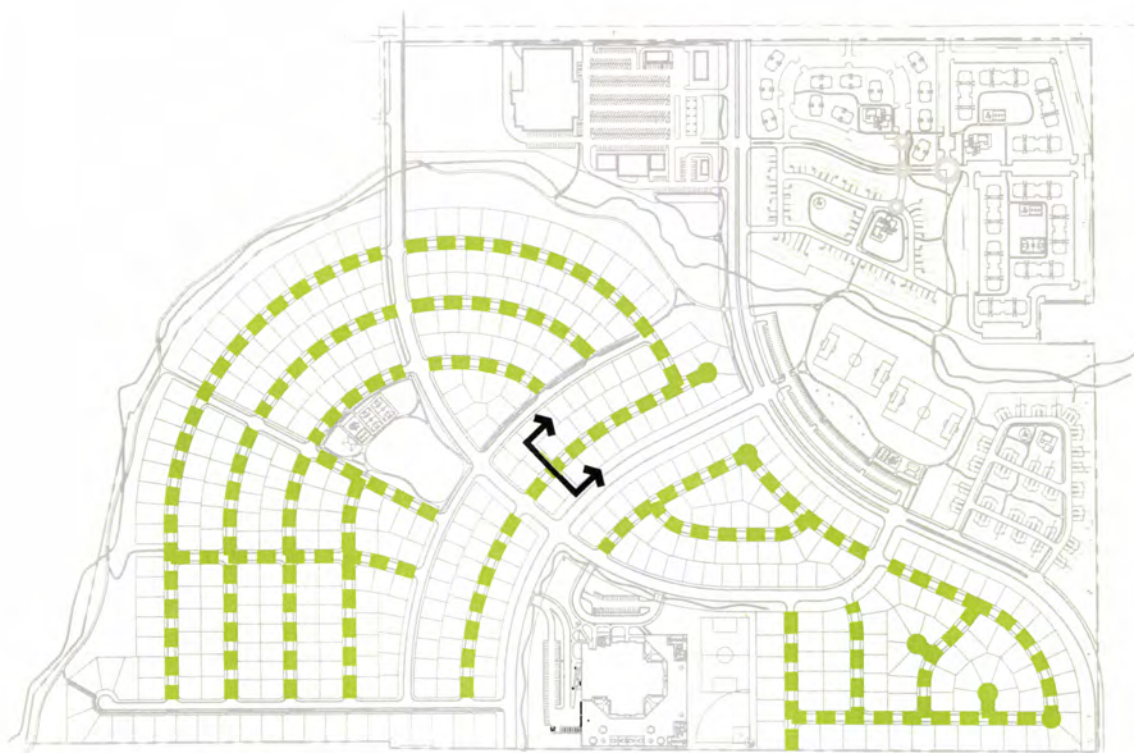
Typical Residential Street Planting

Figure 6-11

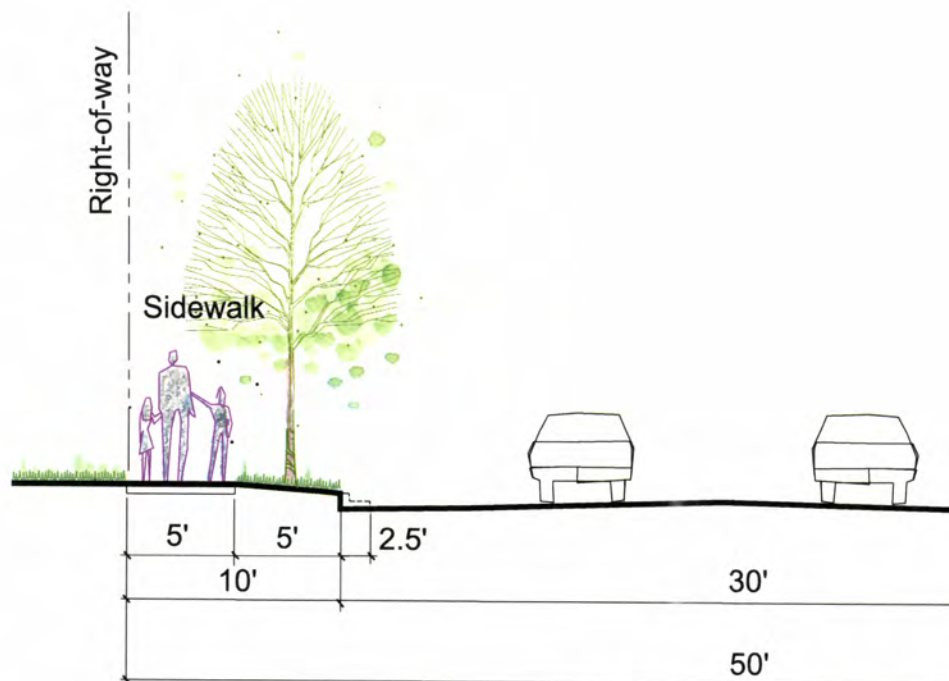


Monarch Development
Salt Lake City, Utah





Planting Area



Typical Section



Section 7

Engineering Elements Master Plan

A. ROAD DESIGN PLAN

The major access to Monarch Meadows is from the existing 13400 South Street. This road runs East and West with a connection to Bangerter Highway to the East. A North - South access road is provided by 4800 West Street, which will be relocated as part of the proposed project. There are 2 existing stubbed roads connecting The Foothills Plat A to the property. On the Northwest corner of the property, there is an existing stub road from the Autumn Hills subdivision. At this current time, there are no other dedicated roads serving the property.

Monarch Development will realign 4800 West further to the west. This realignment will accommodate the proposed construction of the Legacy Highway and will locate the intersection with 13400 South approximately 1,300 feet west of the highway interchange.

The parcel will have three additional minor entrances within Riverton City limits. One of these will be located at the interface with the Autumn Hills subdivision to the west and two will connect with existing Foothills subdivision roads to the south as required by the Riverton City General Plan.

The right-of-way for 13400 South will be 150 feet wide including a 15-foot landscaped area on each side. Monarch Development will improve the half-width for this roadway section where Monarch Meadows fronts the road. Collector roads within the parcel will maintain a 60-foot right-of-way. Cul-de-sacs will be constructed with a 50-foot right-of-way and shall not exceed 450 feet in length measured from monument to monument. The Riverton City policy, as stated in the city's General Plan, is somewhat averse to an overabundance of cul-de-sacs. The proposed plan seeks to limit the number of cul-de-sacs.

The proposed street cross sections follow previously approved Riverton City developed typical sections. These sections are to be used for typical neighborhood streets, collector and arterial roadways. Figure 7-1 shows the typical road cross-sections to be used for the project.

The Traffic Calming Plan for Monarch Meadows (see Figures 7-2 and 7-2a) primarily utilizes raised sidewalks at the major pedestrian corridors. Minor residential roads will be calmed through the use of stop signs at intersections with collector roads.

B. GRADING AND DRAINAGE PLAN

On the south side of the existing Rose Creek channel, the property generally drains from the southwest corner to the east near Rose Creek and the existing water tank. This portion of the property also drains from the south to the north towards the Creek. The elevation of the property at the southwest corner is approximately 4900 and 4780 near Rose Creek and the existing water tank. The property has a gentle slope from 3-6% to the northeast. Detention will be required for this area. Salt Lake County Flood Control will require the site runoff to be restricted to a rate similar to that of existing conditions. This rate works out to be somewhere between 0.1 cfs/ac and 0.2 cfs/ac generally. There may be a series of detention locations with the major detention pond being located on the east boundary of the property.

On the north side of Rose Creek, the property generally drains directly east. The elevation of the property on the west boundary line is 4826 and 4780 on the east line. The property gently slopes to the east at 2.0-2.5 %. The runoff will need to be collected and detained similar as mentioned above. The proposed detention pond location will be on the east near the existing water tank.

There is one drainage channel that runs through the Monarch Meadows parcel. This drainage is Rose Creek. All drainage from the site needs to be collected into pipe networks, swales, and detention ponds, and conveyed into Rose Creek. The existing channel will be modified in areas that have experienced deep erosion of the banks and channel. The existing banks will be tapered to vary from 2:1 to 4:1 side slopes. (See Figure 7-3) These slopes will then be re-vegetated to prevent further erosion of the channel.

Grading of the site will follow the existing slope as far as is possible. Figure 7-4 contains the grading plan for Monarch Meadows. The figure includes existing and proposed contours as well as estimated earthwork volumes.

Monarch Development will provide routing for a 10-year storm through the minor system (piping) and a 100-year storm through the major system (roads, local grading, etc.). Figure 7-5 contains the storm drainage plan for Monarch Meadows. The figure includes storm drain line location, sizes and proposed flow through each line.

C. UTILITY PLAN

1. Culinary Water Service

In the past, the water system in the area west of 4800 West Street has been owned, controlled and maintained by Jordan Valley Water Conservancy District. In recent conversations, this scenario may change and the Foothills, Autumn Hills, and the proposed Monarch Meadows parcel may change to be under the maintenance of Riverton City.

Currently there exists a 12" ductile iron water line stubbed to the property line on the northwest corner of the project on 13400 South Street just inside the pavement. This line will need to be extended to the east line of the project along 13400 South to the proposed right of way for Legacy Highway. This 12" line is a Riverton City line but is supplied by Jordan Valley Water. There are two 8" water stubs in the streets south of the project in the Foothills subdivision. A 12" water line will need to be run to connect these stub lines with the 12" water line in 13400 South. There is also an existing 18" water line running in the asphalt on the west edge of 4800 West Street. This 18" line is owned by Riverton City but is currently on a different zone than the one owned by Jordan Valley Water. This line may be connected into the existing zone for emergency storage capacity.

This project will be complex enough that a water model will be prepared by the City to plan pipe sizes within the project.

2. Secondary Water Service

On the East boundary line of the property, there is an existing Riverton City secondary water tank. This tank is fed by a 20" secondary water line that extends from the Welby-Jacobs canal. The

elevation of the tank is not high enough to service this property. There is an existing 16" ductile iron irrigation stub at the northwest corner of the property that has been installed with the Autumn Hills subdivision. This line is currently dry, but it will need to be extended to the west property line. The City currently has the pump stations in place near the Welby-Jacobs Canal on 4200 West to service this zone once a location is located for a reservoir. Until the reservoir is built, the lines inside the subdivision will be installed, but they will remain dry. The pipe sizes will be determined for the project by creating a water model for the project. The City will conduct this water model.

3. Sanitary Sewer Service

The sanitary sewer provider for this area of Riverton City is South Valley Sewer District. The district will own and maintain all of the sanitary sewer lines that are 8" and above. Figure 3-5 displays the existing sanitary sewer locations that service the property. There is a 12-inch sewer line in 13400 South Street that will service the property north of Rose Creek. This sewer varies in depth, but generally is running more than 10 feet deep. An 18" concrete sewer pipe extends from the Foothills Subdivision to the southeast corner of the property on 4800 West. It then runs east through the field towards the Welby-Jacobs Canal. This sewer line is approximately 40 feet deep at the southeast corner of the property. This location will be used to collect the majority of the sewer south of Rose Creek. There are also 8" stubs to the south property line in the stubbed streets from the Foothills subdivision. These lines may also be used depending on the final grades of the streets within the Monarch Meadows subdivision.

D. GEOTECHNICAL ANALYSIS

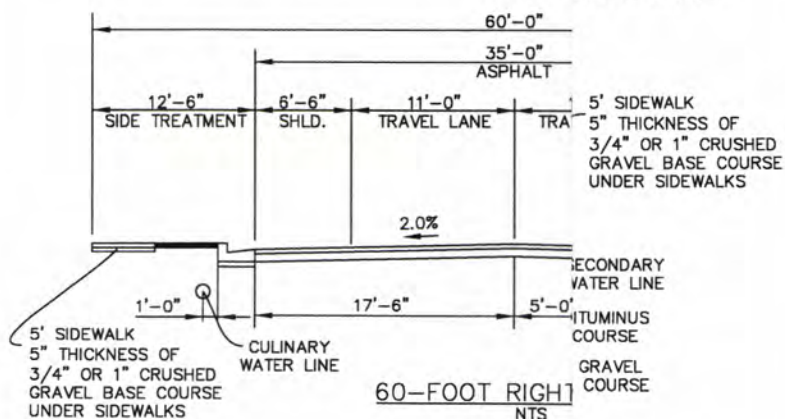
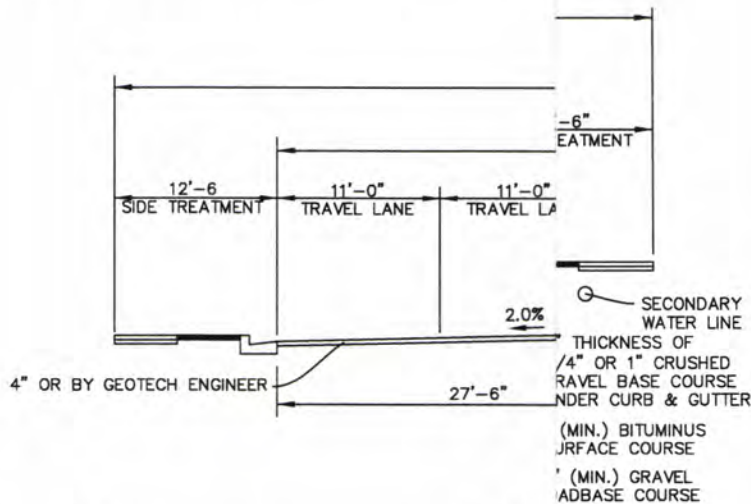
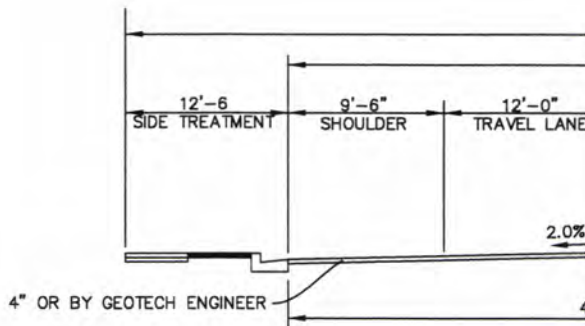
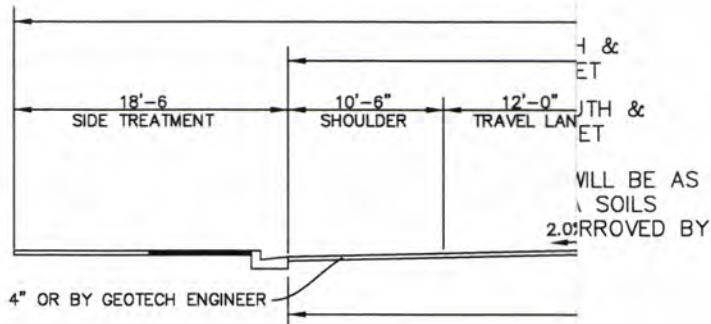
A Geotechnical report was prepared by Professional Services Industries and is included in Appendix B of this Specific Plan.



**Monarch
Meadows**
Riverton, Utah

Typical Proposed Road Sections

Figure 7-1



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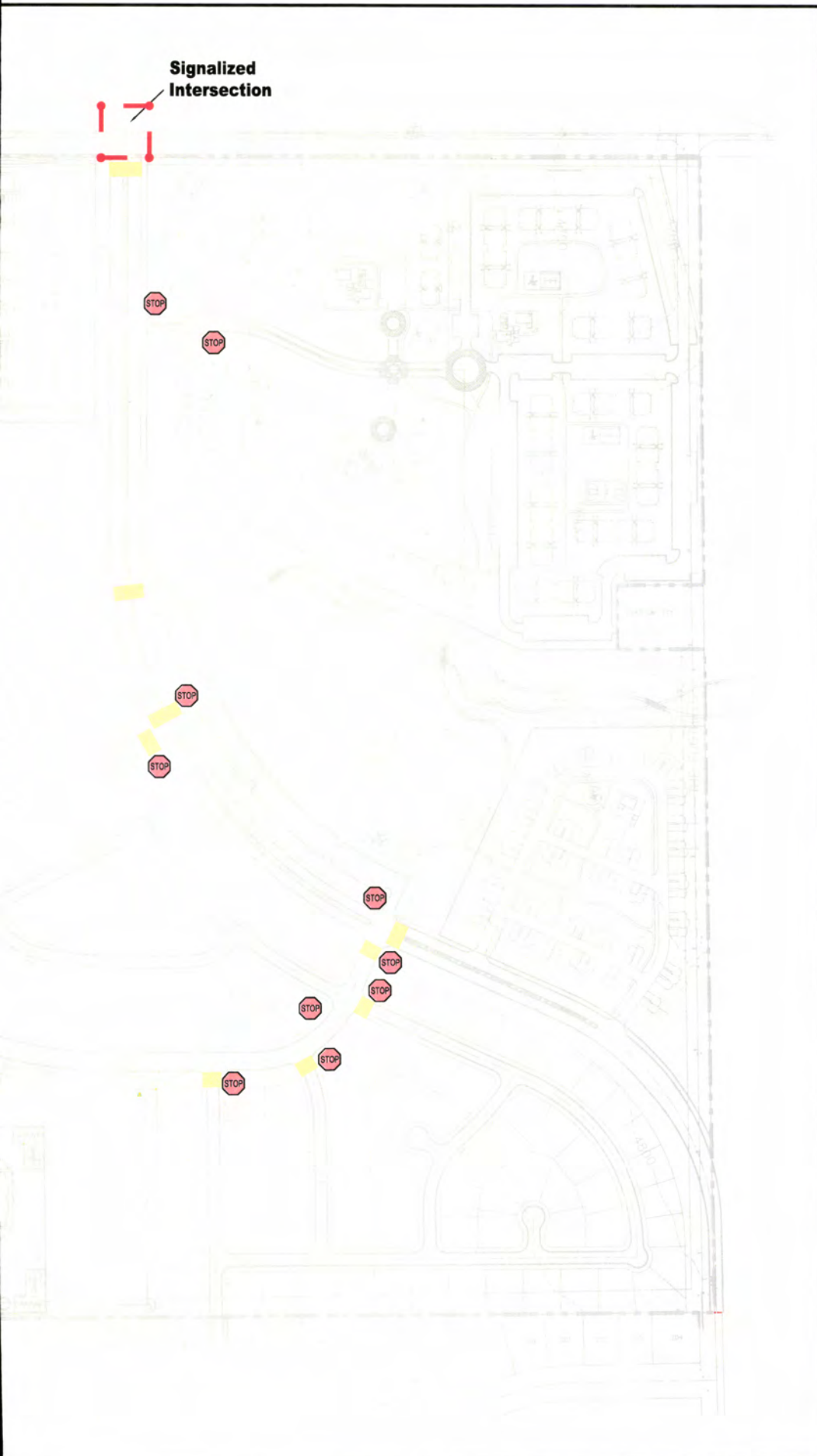




**Monarch
Meadows**
Riverton, Utah

Traffic Calming Plan

Figure 7-2



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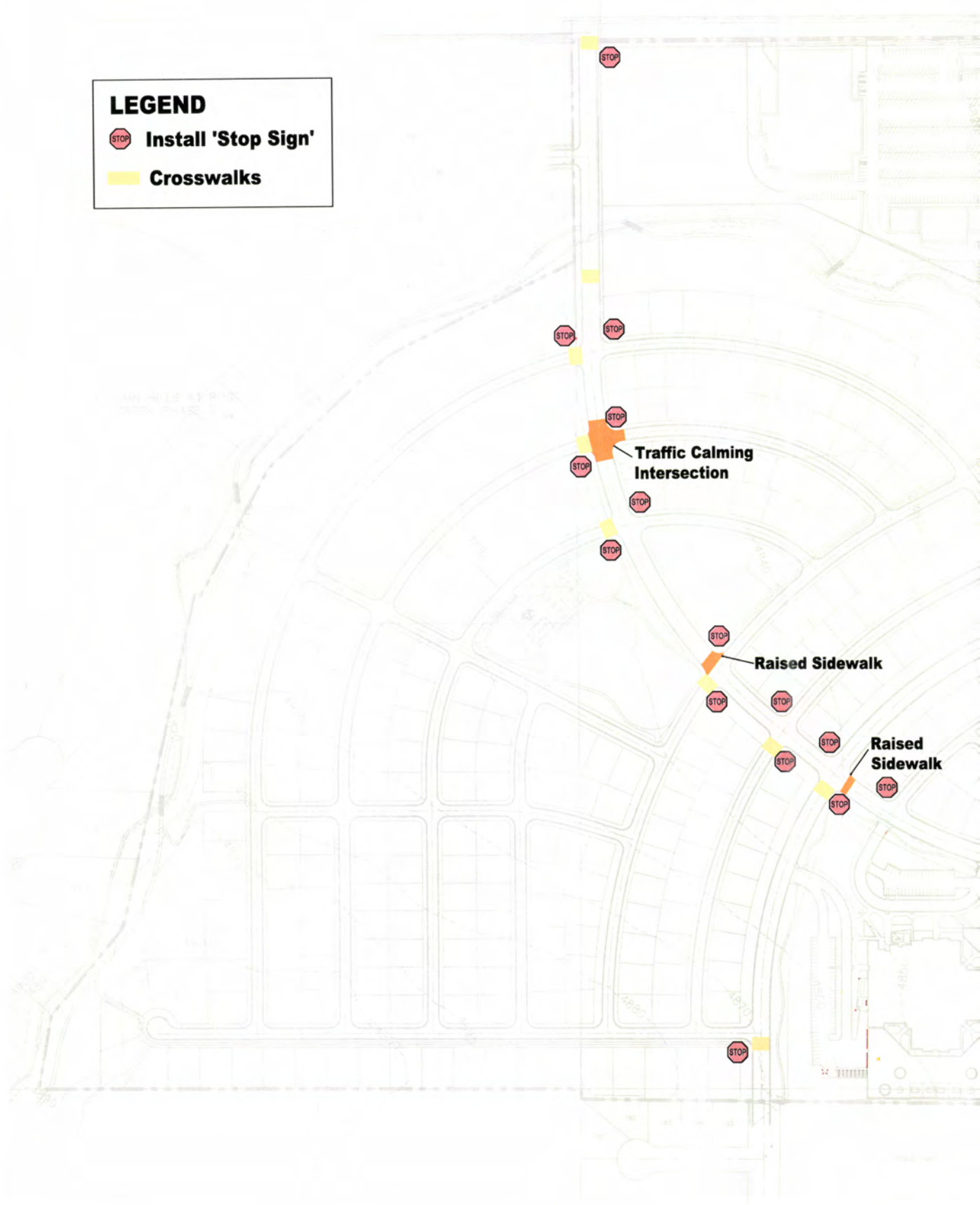
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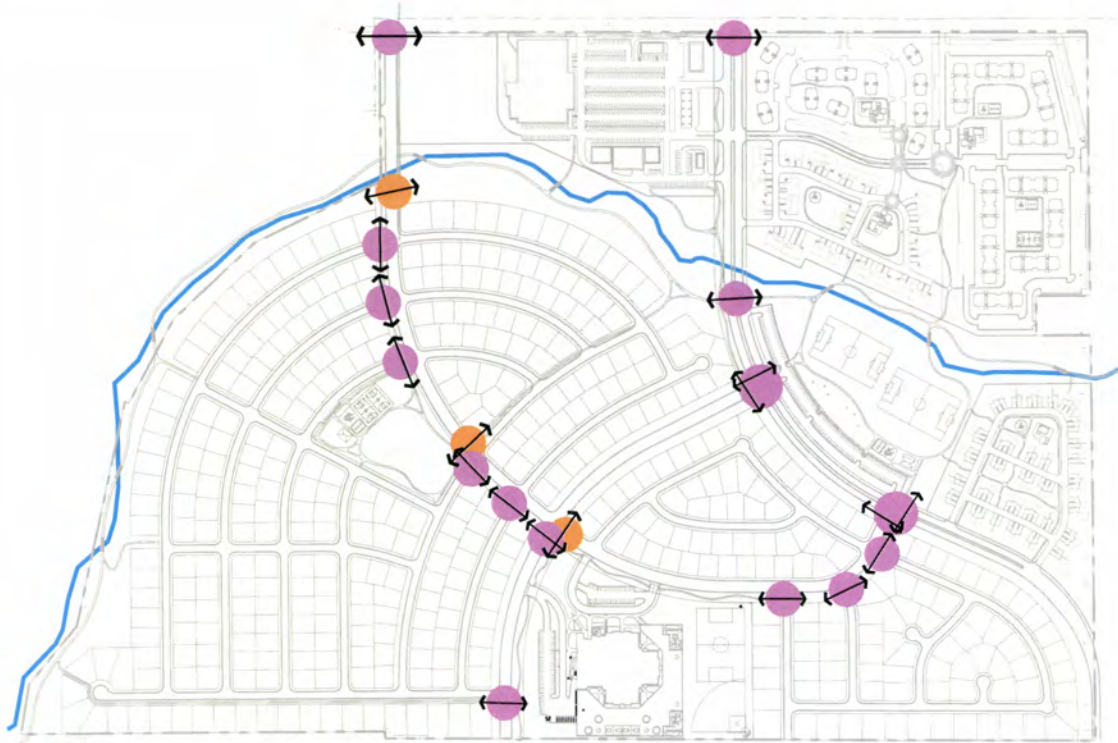
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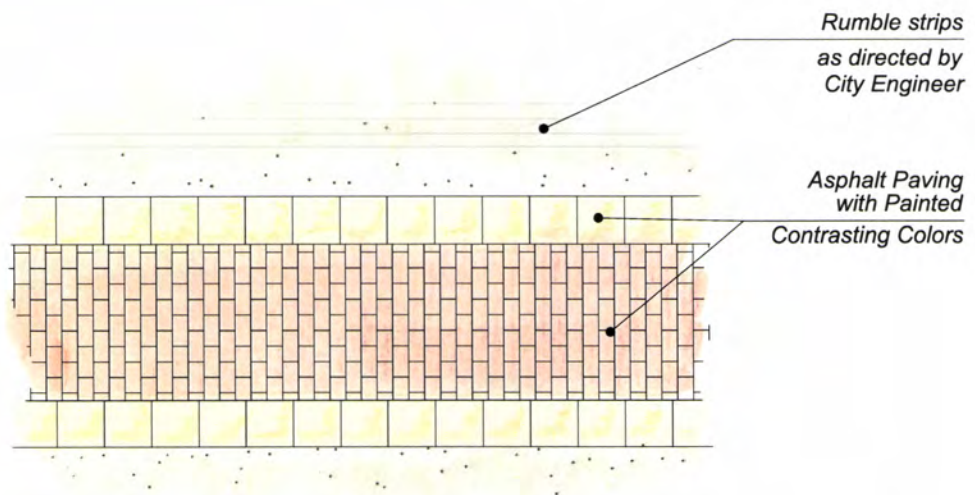
LEGEND

-  Install 'Stop Sign'
-  Crosswalks





Crosswalk Locations



- **Imprinted Crosswalk (Raised)**
- **Imprinted Crosswalk (Flush)**



Monarch Meadows

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Salt Lake City, Utah



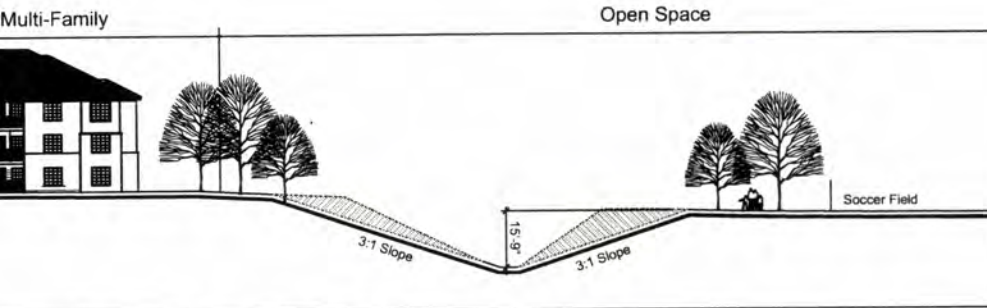
Crosswalks
Figure 7-2a



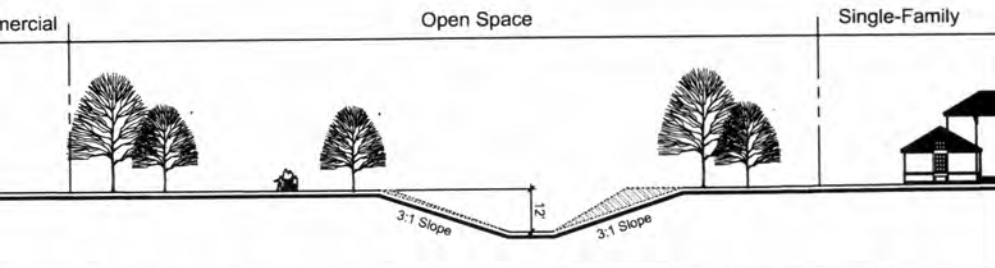
**Monarch
Meadows**
Riverton, Utah

Rose Creek Cross Sections

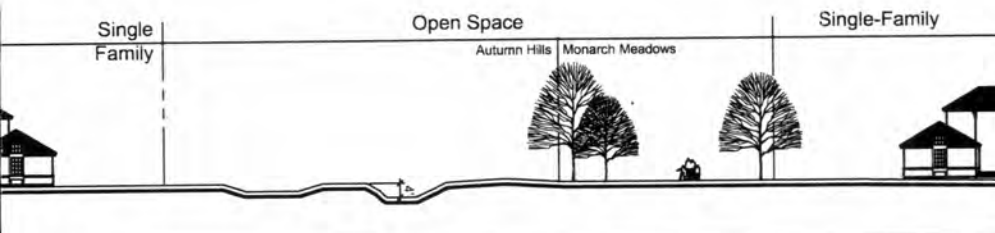
Figure 7-3



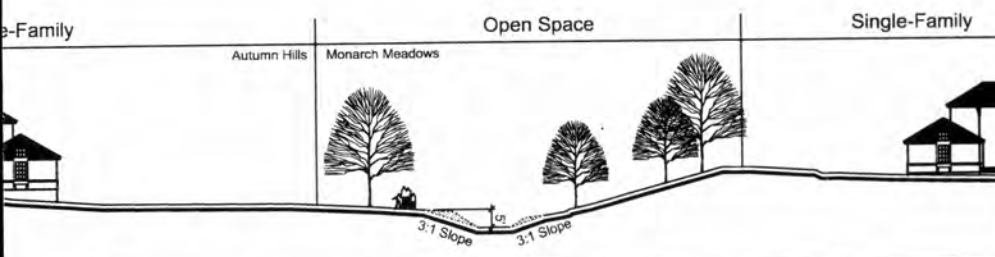
Stream Cross-Section #1



Stream Cross-Section #2



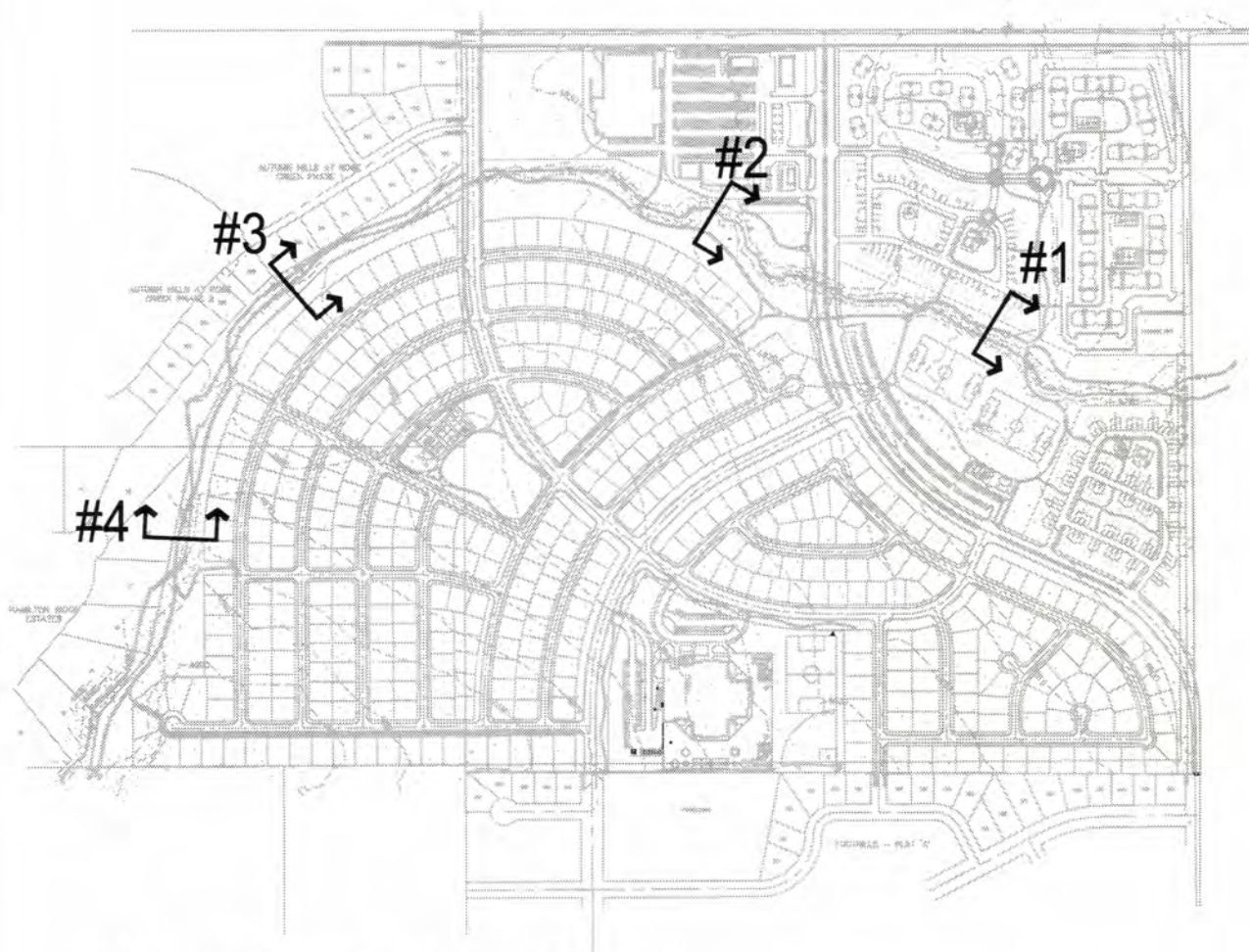
Stream Cross-Section #3



Stream Cross-Section #4

Monarch Development
Salt Lake City, Utah





Cross-Section Locations

Str

Com

Str

Str

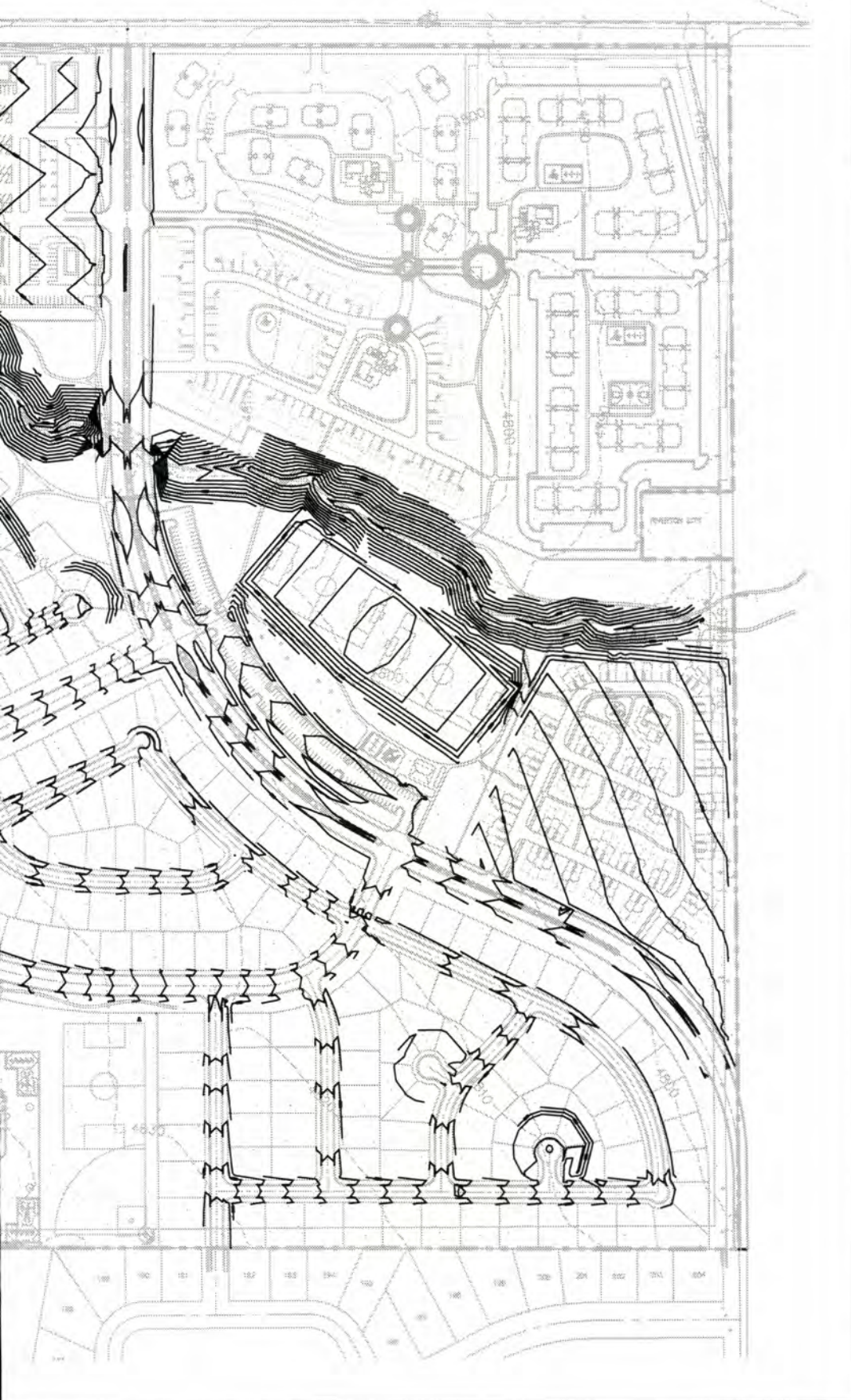
Single

Str



Grading Plan

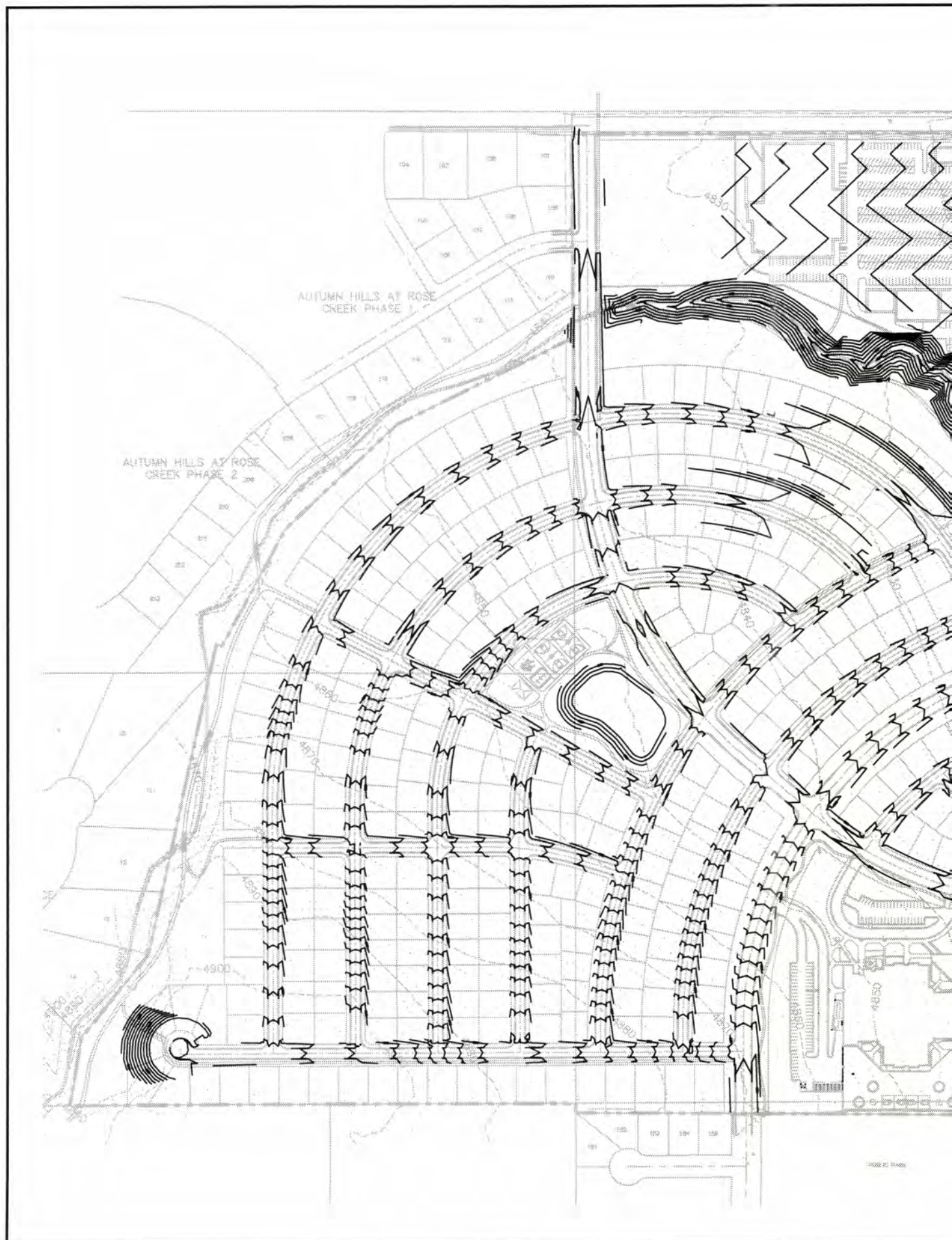
Figure 7-4



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Riverton, Utah

Storm Drainage Plan

Figure 7-5

-  Existing Storm Drain
-  New Storm Drain



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**Monarch
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Riverton, Utah

Utility Plan

Figure 7-6

-  New Sanitary Sewer
-  New Water Line
-  New Irrigation

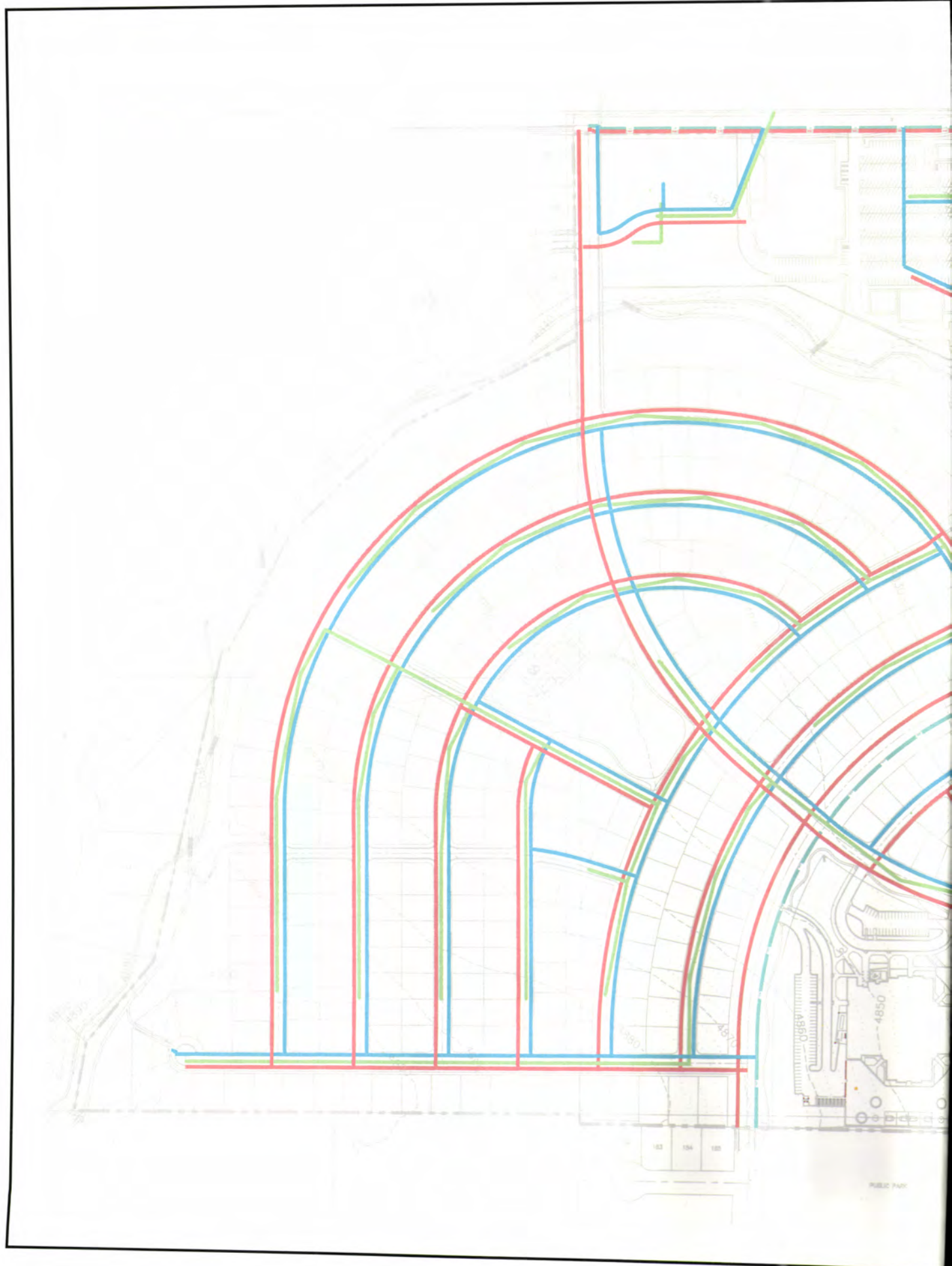


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Section 8 Multi-Family Plan

A. MULTI-FAMILY MASTER PLAN

A 36±-acre portion at the northeastern corner of the site is planned for multi-family housing. This higher density land use is consistent with the City's general plan. This development will occur east of 4800 West, with the majority located north of Rose Creek. The project will have 540 multi-family units at total build-out and, depending upon the market, will be most likely be divided into several phases. Access to the majority of the multi-family housing will be provided from the 4800 West realignment with right-in/right-out turns onto 13400 South.

The multi-family housing will be broken down into three product types: apartments, stacked flats and townhouses. Figure 8-1 displays the proposed master plan for the multi-family housing portion of Monarch Meadows.

The apartment portion will include 240 units on 13.33 acres. The 24-unit, 3-level buildings are clustered around interior open space areas, with connections that extend to the Rose Creek parkway. In addition, the amenities package for the apartment complex will include a clubhouse, pool, hot tub, playgrounds and a basketball court. Parking facilities as well as garage facilities are located around the perimeter of the parcel.

The stacked flats will incorporate approximately twelve 8- or 12-unit buildings with associated parking and garage facilities. The stacked flats will be owner-occupied housing. The amenities package will include a clubhouse, pool and hot tub.

The townhouse developments will be developed as one project with shared amenities and will be owner-occupied. The northern section will include a clubhouse, a hot tub and pool, while the southern section will include a pavilion with changing rooms, a pool and a hot tub. Both sections will also include a children's playground and will be connected to the Rose Creek parkway and to each other via the trail system.

The architecture and specific detail for the townhouse structures within the project will conform to the quality and aesthetic integrity that is required on all Monarch Development products. This includes quality design, materials and construction.

B. ARCHITECTURE

As with all the architecture at Monarch Meadows, the building massing, details and color used on the multi-family development will broaden market appeal and increase visual diversity by creating a variety of massing, building placement, and street appeal. This will be accomplished through plane breaks, balconies, and detailing.

The multi-family development at Monarch Meadows will have plans that are well thought-out and well composed for economical construction and to be consistent with the quality of neighboring homes. Roof forms will be consistent on all sides of the building and will vary to provide a uniform appearance on the overall building mass. The roof design, materials, shapes, and colors will be appropriate to the architectural style.

Exterior materials will be stucco, stone, HardiPlank, and or masonry, consistent with the materials used throughout the project. Siding will not be allowed. The landscaping and other aesthetic elements of the development will be required to be similar to the guidelines that are outlined for the single family detached developments.

C. LANDSCAPING

Walls, fencing and planting will be located around the perimeter of the project and will be a combination of trees, shrubs, lawn and accent planting, especially at entrances. (See Figures 6-4, 6-6 and 6-7). Additional planting areas will be determined during the design phase.

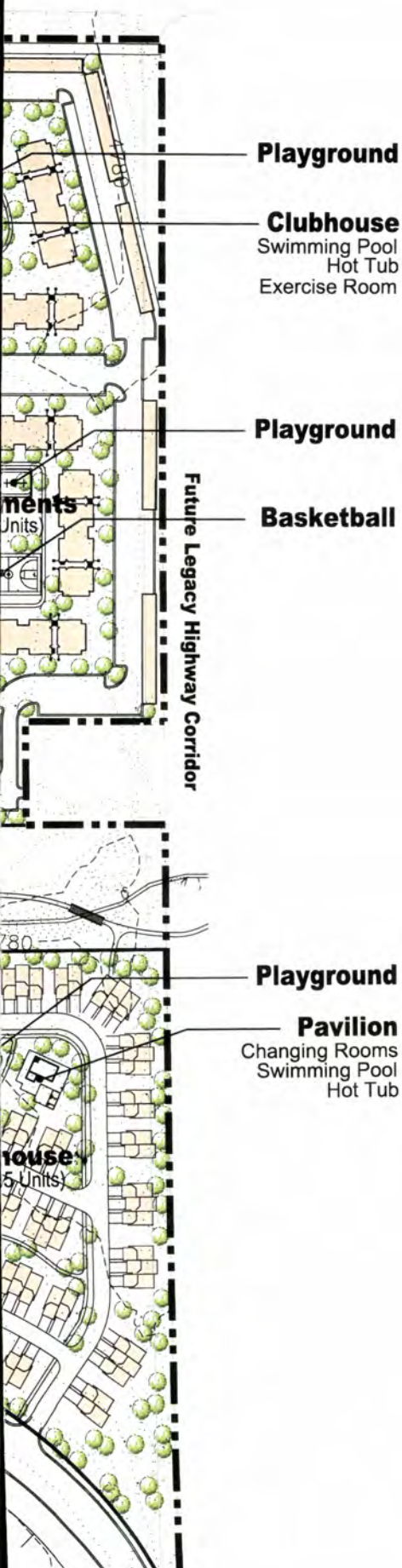


Monarch Meadows

Riverton, Utah

Multi-Family Residential Site Plan

Figure 8-1



Note: Multi-family Residential site plan is for illustrative purposes only.

Monarch Development
Salt Lake City, Utah



Clubhouse
Swimming Pool
Hot Tub
Exercise Room

Playground

Clubhouse
Swimming Pool
Hot Tub
Exercise Room

4800 West

13400 South

Stacked Flats
120 Units

Townhouses
(95 Units)

Apartment
(240 Units)

Community Park

Townhouses
(95 Units)



0 20 40 80 120



Section 9 Commercial Plan

A. COMMERCIAL PLAN

The commercial area of Monarch Meadows is located at the southwest corner of the intersection of 13400 South and the realigned 4800 West. The commercial area is approximately 13-acres. The entire development lies north of Rose Creek, a natural separation from the majority of the residential area. Figure 8-1 displays an illustrative master plan for a portion of the commercial zone of Monarch Meadows.

At least 20% of the site will be reserved as open space and landscaped areas. The open space at the south of the development will be connected to the Rose Creek parkway via the internal walkway system. Parking will conform to the requirements of the City Zoning ordinance.

The architecture and specific detail for the commercial structures within the project will conform to the quality and aesthetic integrity that is required on all the Developer's products. This includes quality design, materials and construction.

B. ARCHITECTURE

As with all the architecture at Monarch Meadows, the building massing, details and color used on the commercial development will broaden market appeal and increase visual diversity by creating a variety of massing, building placement, and street appeal.

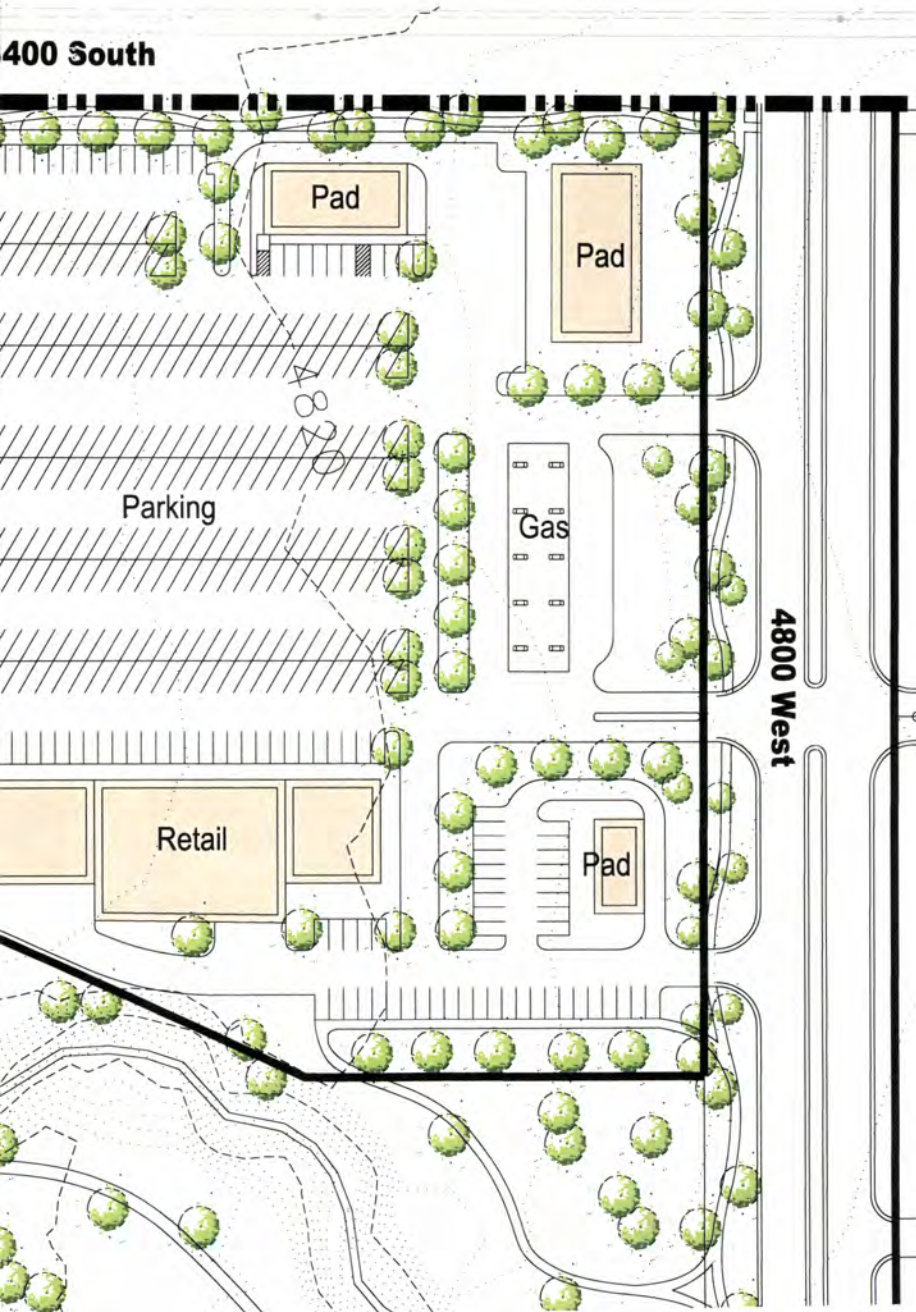
The commercial development at Monarch Meadows will have plans that are well thought-out and well composed for economical construction and to be consistent with the quality of neighboring land uses. Roof forms will be consistent on all sides of the building and will vary to provide a uniform appearance on the overall building mass. The roof design, materials, shapes, and colors will be appropriate to the architectural style.

Exterior materials will be stucco, stone, Hardi Plank, and or masonry, consistent with the materials used throughout the project. Siding will not be allowed. The landscaping and Architecture style of the development will conform to the guidelines in the Riverton City Zoning Code (Neighborhood Commercial zone).

C. LANDSCAPING

Walls, fencing and planting will be located around the perimeter of the project and will be a combination of trees, shrubs, lawn and accent planting, especially at entrances. (See Figures 6-4 and 6-6). Additional planting areas will be determined during the design phase.

**Commercial
Site Plan**
Figure 9-1



*Note: Commercial site plan is
for illustrative purposes only.*



0 30 60 120 180



Section 10 **Phasing Plan**

Monarch Development will build Monarch Meadows in 10 phases depending on economic and housing market indicators. A phasing plan is shown in Figure 10-1. While the figure depicts the construction of Monarch Meadows in 10 phases, the developer reserves the right to develop the project in fewer phases depending on the absorption of the project and market conditions.

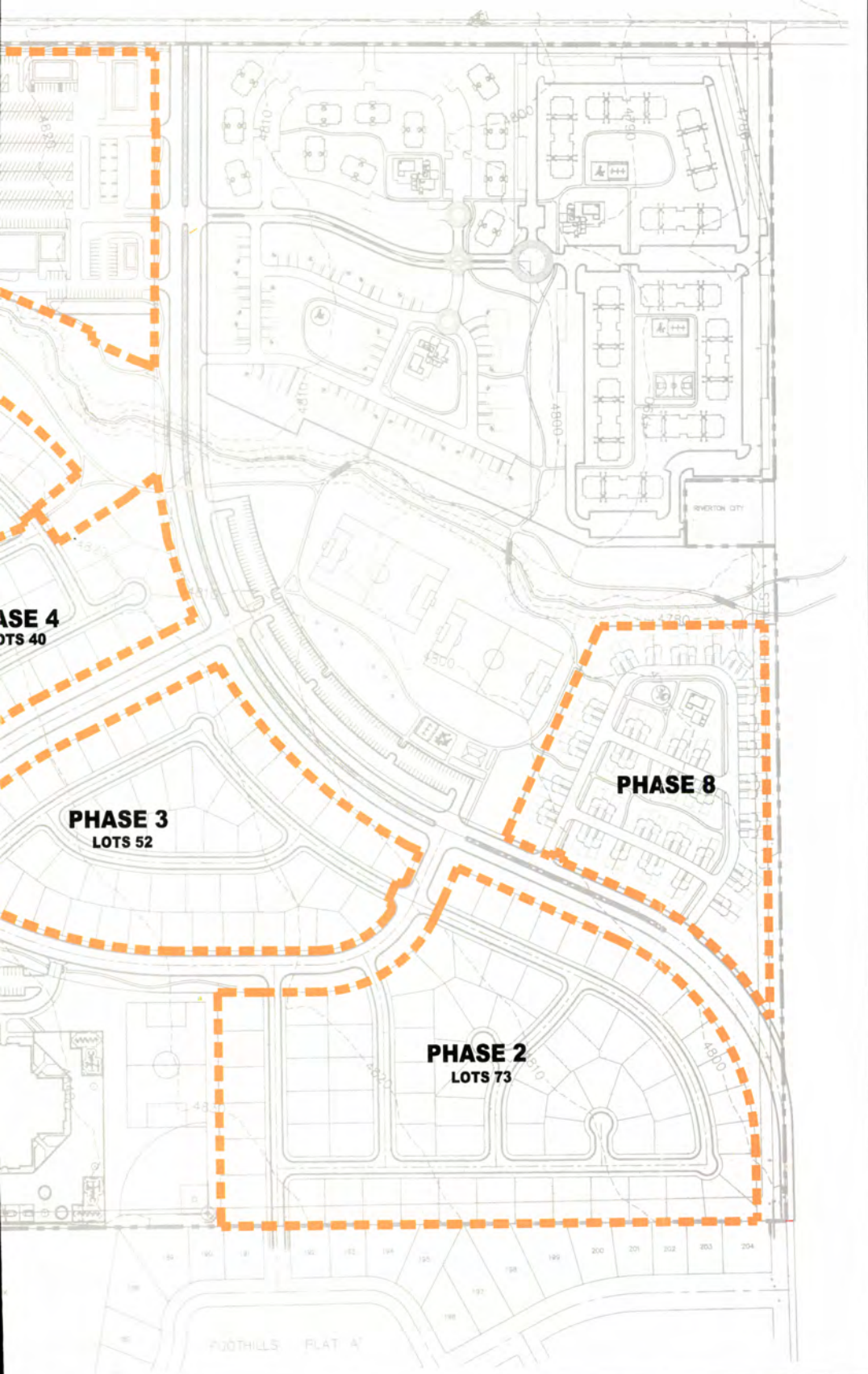


Monarch Meadows

Riverton, Utah

Phasing Plan

Figure 10-1

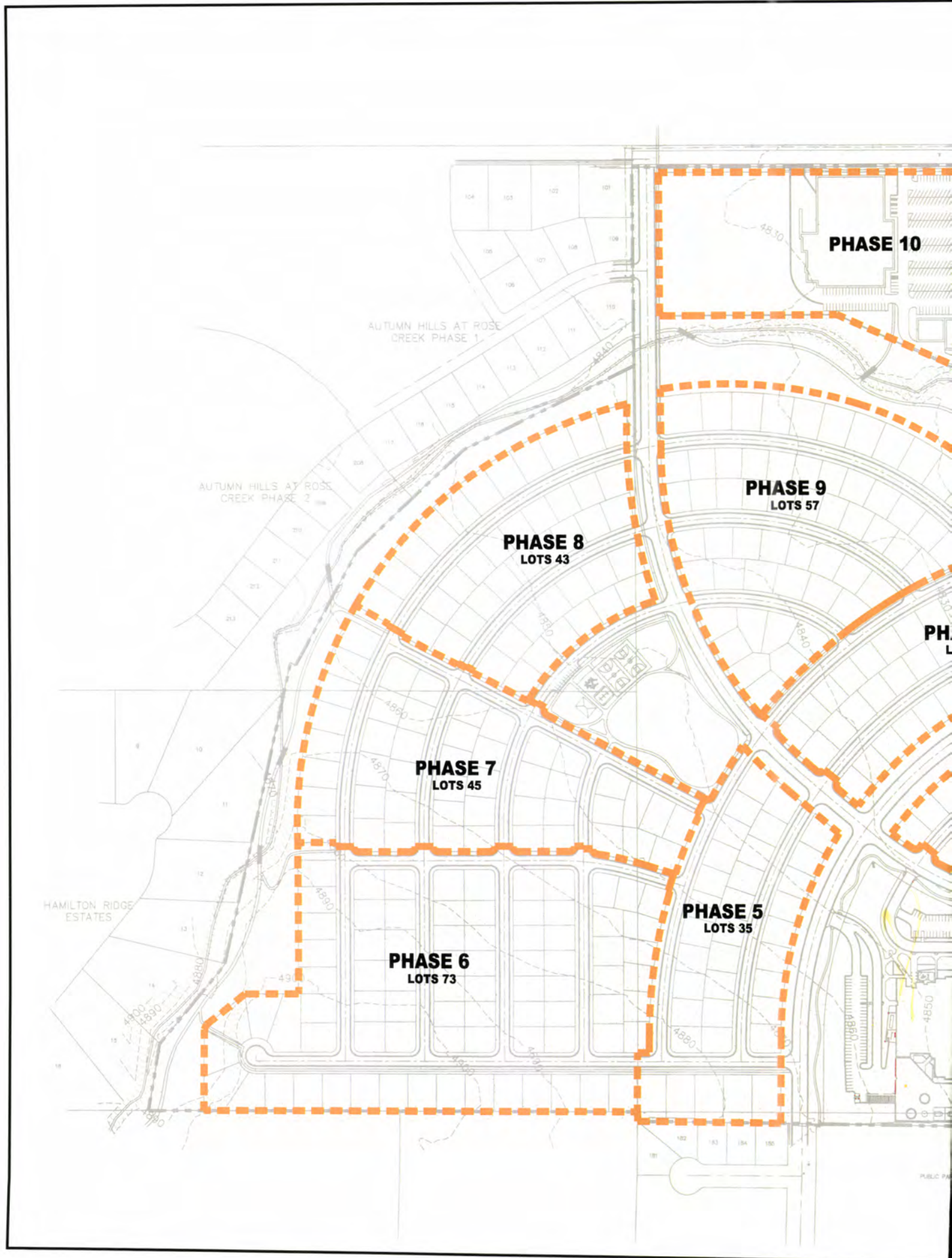


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FISCAL IMPACTS OF PROPOSED WEST RIVERTON DEVELOPMENT
RIVERTON, UTAH

In accordance with the requirements of Riverton City for a Specific Plan - Economic Impact Analysis, Wikstrom Economic & Planning Consultants, Inc., has been retained by Monarch Development to evaluate the fiscal impacts of the proposed West Riverton development on Riverton City. The West Riverton development contains two adjacent, jointly-planned and coordinated areas as shown on Exhibit A. The colored area in the lower left (south of 13400 South) is referred to as "Area 1" while the colored portion above 13400 South is referred to as "Area 2." **Based on Riverton City's request, this report details separately the revenues and expenditures associated with each area.**

EXECUTIVE SUMMARY

Area 1 is entirely a residential development whereas Area 2 is a combination residential and commercial development. In terms of ongoing revenues, the two areas have a net present value of \$1,364,987 over the anticipated 10-year construction period (assuming a 5.5 percent discount rate), with Area 1 producing a negative net present value of \$116,262 whereas Area 2 provides a positive net present value of \$1,481,249. This information is summarized in Tables 18 and 19 of the report. In addition, both areas will generate significant one-time revenues in terms of construction wages, impact fees, planning & engineering fees and building permit fees, as detailed in the body of this report.

DEVELOPMENT AREA

The proposed development covers 396.2 acres, 200.7 of which are in Area 1, with another 195.5 in Area 2. Area 1 is planned for 940 residential units; Area 2 plans 946 residential units, 296,000 square feet of commercial space and 105,000 square feet of business park space. The total for the two areas is 1,886 residential units, and 401,000 square feet of commercial/business park space.

PROPOSED DEVELOPMENT				
Table 1				
	Area 1		Area 2	
	Acres	Units/sf	Acres	Units/sf
Parks/collector parkways	45.8	na	25.4	na
Streets and ROW	11.8	na	39.7	na
Single family - 5000 sf lots	na	na	51.4	298 units
Single family - 6000 sf lots	85.6	373 units		
Single family - 8000 sf lots	25.4	142 units		
Multi-family	12.1	185 units	11.6	233 units
Townhomes	20	240 units	34.7	415 units
Commercial	na	na	25.8	296,000 sf
Business Park	na	na	6.9	105,000 sf
TOTAL	200.7	940 units	195.5	946 units + 410,000 sf

Pricing of Development. Table 2 details the expected market and taxable value for the development. The assumptions used in Table 2 for housing values are conservative and are somewhat below average home prices, with the exception of those built on the 8,000 square foot lots. Total taxable value for area 1 is expected to reach nearly \$82 million while Area 2 is expected to reach over \$106 million. All residential development has been assumed to be primary residences and thus the 45 percent exemption has been applied to the market value of all dwelling units. Commercial development has been taxed at its full market value and is based on \$70 per square foot for commercial (retail) and \$110 per square foot for business park (office) space.

COMPARISON OF MARKET AND TAXABLE VALUES					
Table 2					
		Area 1 - Total		Area 2 - Total	
	Assumed Market Value	Market Value	Taxable Value	Market Value	Taxable Value
SFD - 5,000	\$158,000 per dwelling unit	\$0	\$0	\$47,084,000	\$25,896,200
SFD - 6,000	\$185,000 per dwelling unit	\$61,545,000	\$33,849,750	\$0	\$0
SFD - 8,000	\$215,000 per dwelling unit	\$30,530,000	\$18,791,500	\$0	\$0
Multi-Family	\$128,000 per dwelling unit	\$23,680,000	\$13,024,000	\$29,824,000	\$16,403,200
Townhomes	\$138,000 per dwelling unit	\$33,120,000	\$18,216,000	\$57,270,000	\$31,498,500
Commercial	\$70 per square foot	\$0	\$0	\$20,720,000	\$20,720,000
Business Park	\$110 per square foot	\$0	\$0	\$11,550,000	\$11,550,000
TOTALS		\$148,875,000	\$81,881,250	\$166,448,000	\$106,067,900

The assessed valuations of the preceding table are based on market value (adjusted as necessary for the residential exemption) and therefore include the value of all site improvements on the project.

ESTIMATE OF DEMAND AND POTENTIAL ABSORPTION

Residential Demand. Demand for dwelling units has been evaluated based on *historical building permits*, on *projected population growth* in Riverton and in the southwest valley and on the proposed development's *prime location in the path of development*.

Historical Building Permits. Over the past five years, Riverton averaged 406 new dwelling unit building permits per year. Riverton has captured roughly 7.4 percent of the total new residential permits for the County.

RESIDENTIAL DWELLING UNIT BUILDING PERMITS BY YEAR						
Salt Lake County						
Table 3						
	1997	1998	1999	2000	2001	Average
Riverton	310	425	377	271	649	406
Bluffdale	80	63	53	35	20	50
Draper	843	825	628	438	903	727
Midvale	1	109	84	140	99	87
Murray	61	76	113	149	64	93

RESIDENTIAL DWELLING UNIT BUILDING PERMITS BY YEAR						
Salt Lake County						
Table 3						
	1997	1998	1999	2000	2001	Average
Salt Lake City	518	429	377	446	728	500
Sandy	406	828	193	383	180	398
South Jordan	471	440	379	311	374	395
South Salt Lake	10	18	14	28	13	17
West Jordan	915	1,227	1,479	845	658	1,025
West Valley City	996	786	621	525	569	699
Taylorsville	53	147	114	175	167	131
Herriman	na	na	na	317	411	364
Other Salt Lake County	1,072	1,043	854	603	594	833
TOTAL	5,736	6,416	5,286	4,666	5,429	5,507

Source: University of Utah Bureau of Economic & Business Research

The Sixth Annual Utah Housing Conference characterized the southwest Salt Lake Valley housing market (Bluffdale, Riverton, South Jordan, West Jordan, Herriman, and other Salt Lake County) as a "supply restricted market," based on the year 2000 inventory of 1,786 vacant lots on the market in the southwest valley which represents roughly 70 percent of a year's demand in the southwest area. Given the lack of excess inventory, the West Riverton development should have no problem capturing its fair share of residential home sales, assuming that its product is of comparable quality and competitively priced with other new construction.

Based on information provided by Riverton City to the Jordan School District approximately one year ago regarding projected new development, Riverton City was aware of 839 new residential units that either had been approved or were somewhere "in the pipeline" pending approval. For purposes of its facilities analysis, the School District assumed that 50 percent, or 419 of these projects, would actually be built. This assumption is very consistent with the 406 building permits that have been issued annually in Riverton.

Projected Population Growth. The WFRC projects population growth of 36,377 persons during the ten-year time frame from 2000 to 2010. Assuming the same population growth for the years 2002 through 2012 results in average population growth of 3,638 persons per year. With an average household size of 3.93 persons per household, Riverton will need 926 dwelling units per year. This approach suggests that Riverton City is expected to grow significantly more rapidly during the next decade than it has in the past decade. If West Riverton builds 200 units per year (both developments combined), this represents a capture rate of 22 percent of total demand, based on the projected population approach. Is this capture rate realistic for one development? We feel that it is, given its prime location in the path of development, and assuming that the project is competitively priced and of a comparative quality with other new developments. For purposes of fiscal analysis, we have assumed both a 10-year buildout scenario (which assumes a capture rate of 22 percent of total demand) and a five-year scenario which assumes a capture rate of 44

percent of total demand. The ten-year scenario assumes that roughly 200 units will be built annually over the life of the project. To the extent that the market can absorb more residential units or if the development is able to capture more than its fair share of development, the time frame will be accelerated to capitalize on market conditions.

Prime Location in Path of Development. The West Riverton development is in the direct path to the west of recent development in Riverton and is a logical area for development in the immediate future. Therefore, the area should have no difficulty in capturing its fair share of sales in the southwest valley.

Commercial Demand. A leakage analysis demonstrates that there is substantial need for retail space in the southwest valley. A leakage analysis (aka "gap analysis") compares average per capita purchasing patterns statewide with the average per capita purchases made within Riverton City limits. Table 4 shows Utah sales in the retail and services categories for the year 2000 (latest year for which year-end figures are available). On average, Utahns spend \$8,344 per capita for these types of purchases yearly.

YEAR 2000 RETAIL AND SERVICES GROSS TAXABLE SALES IN UTAH	
Table 4	
Building & Garden	\$1,425,559,543
General Merchandise	\$2,797,186,682
Food Stores	\$3,640,536,562
Apparel & Accessory	\$789,357,871
Furniture	\$1,371,175,631
Eating & Drinking	\$1,906,402,061
Miscellaneous Retail	\$1,958,130,477
Finance, Insurance & Real Estate	\$469,097,328
Hotels & Lodging	\$583,185,128
Personal Services	\$199,675,659
Business Services	\$1,222,524,698
Auto & Misc Repair	\$1,239,304,060
Amusement & Recreation	\$714,250,902
Health	\$93,273,606
Education, Legal & Social Services	\$224,240,125
TOTAL	\$18,633,900,333
Per capita	\$8,344

In comparison, residents of Riverton are spending only \$2,398 per person annually on these types of purchases within Riverton City boundaries and South Jordan residents are spending \$2,012 annually within their city boundaries. Therefore, it makes sense to assume that both Riverton and South Jordan residents are making a substantial portion of their purchases outside of the cities where they reside. The estimated amount spent per capita, outside of city boundaries ("leakage"), is calculated by subtracting per capita sales within city boundaries with average per capita sales statewide. For example, the estimated per capita leakage for Riverton is computed by subtracting

Fiscal Impacts Analysis

\$2,398 from \$8,344 for a loss of \$5,946 per capita annually. The per capita amount is then multiplied by the respective city's population to assess total sales leakage for the city. In order to assess sales leakage for the southwest valley, we have combined Riverton and South Jordans' sales data and have determined that the two cities combined are losing roughly \$6,155 per capita annually.

ESTIMATED LEAKAGE IN SOUTHWEST VALLEY					
Table 5					
City	Total Retail Sales*	Population	Per Capita Sales	Estimated Per Capita Leakage	Estimated Total Leakage
Riverton	\$59,985,297	25,011	\$2,398	(\$5,946)	\$148,715,406
South Jordan	\$59,212,845	29,437	\$2,012	(\$6,332)	\$186,395,084
Combined (Riverton & South Jordan)	\$119,198,142	54,448	\$2,189	(\$8,155)	\$335,127,440

*Includes only those retail sales for the categories listed in Table 4.

Since detailed retail sales information is not available for Bluffdale and Herriman, we have assumed that, on average, they are also losing \$6,155 per capita (since these two cities also have very limited retail development). With a combined population of 9,107 persons, these two communities add a total of \$56,053,585 to the leakage calculated above, for total leakage of \$391,181,025 annually. Or, in other words, the southwest valley is currently capturing only about 26 percent of retail sales by residents ($\$2,189 \div \$8,344$).

Population growth will increase the buying power of the southwest valley substantially, as shown in Table 6. Increased buying power for the five-year period from 2000 to 2005 is roughly \$201 million while increased buying power for the period from 2005 to 2010 is \$314 million (all amounts are in \$2002). Therefore, for purposes of analysis, we have assumed that the buying power of the southwest valley will increase by an estimated \$50 million *per year* for the next ten years.

ESTIMATED INCREASED BUYING POWER WITH POPULATION GROWTH, 2000-2010									
Table 6									
	Total Population			Population Growth			Increased Buying Power		
	2000	2005	2010	2000-2005	2005-2010	2000-2010	Increased Buying Power 2000-2005	Increased Buying Power 2005-2010	Increased Buying Power 2000-2010
Bluffdale	4,455	6,795	10,825	2,340	4,030	6,370	\$19,524,960	\$33,626,320	\$53,151,280
Herriman	1,060	1,580	2,397	500	837	1,337	\$4,172,000	\$6,983,928	\$11,155,928
Riverton	26,849	41,237	63,226	14,388	21,989	36,377	\$120,053,472	\$183,476,216	\$303,529,688
South Jordan	32,320	39,198	49,956	6,878	10,758	17,636	\$57,390,032	\$89,764,752	\$147,154,784
TOTAL	68,684	90,795	128,414	24,106	37,614	61,720	\$201,140,464	\$313,851,216	\$514,991,680

How much of this sales leakage and increased buying power can be captured by the West Riverton development? The table below assumes various capture rates and the total amount of sales under each assumption.

CAPTURE RATE ASSUMPTIONS						
Table 7						
	Estimated Sales Capture with Various Capture Rates			Supportable Square Footage* with Various Capture Rates		
	2000-2005	2005-2010	2000-2010	2000-2005	2005-2010	2000-2010
Existing Leakage	\$391,181,025	\$391,181,025	\$391,181,025	na	na	na
Growth in Buying Power	\$201,140,464	\$313,851,216	\$514,991,680	na	na	na
Leakage + Growth	\$592,321,489	\$705,032,241	\$906,172,705	na	na	na
Existing Leakage						
5 percent	\$19,559,051	\$19,559,051	\$19,559,051	97,795	97,795	97,795
10 percent	\$39,118,103	\$39,118,103	\$39,118,103	195,591	195,591	195,591
20 percent	\$78,236,205	\$78,236,205	\$78,236,205	391,181	391,181	391,181
Growth in Buying Power						
5 percent	\$10,057,023	\$15,692,561	\$25,749,584	50,285	78,463	128,748
10 percent	\$20,114,046	\$31,385,122	\$51,499,168	100,570	156,928	257,496
20 percent	\$40,228,093	\$62,770,243	\$102,998,336	201,140	313,851	514,992
*Assumes sales per square foot of \$200.						

Area 2 has planned 296,000 square feet of retail development. If Area 2 can capture ten percent of leakage from the southwest valley and ten percent of the growth in buying power, then it will be able to sustain all 296,000 square feet within a five-year time frame. Because ten percent is an extremely conservative assumption, given the current lack of retail in Riverton and the southwest valley, we have assumed that the commercial will be built 50 percent in year 3 and 50 percent in year 4.

Business Park/Office Development

Annual absorption for office space for the past three years in the Salt Lake Valley is summarized as follows:

<u>Year</u>	<u>Square Feet Absorbed¹</u>
1999	754,422
2000	1,036,305
2001	(27,118)

Because of the recent lack of absorption and over-supply of office space in the Salt Lake Valley during 2001, we have not assumed any office space absorption for Area 2 until years 3 and 4 of construction.

¹Source: CB Richard Ellis Salt Lake City Market Index, 1999, 2000 and 2001.

PROPOSED DEVELOPMENT SCHEDULE

Area 1.

ABSORPTION SCHEDULE - AREA 1										
Table 8										
Year	1	2	3	4	5	6	7	8	9	10
Single Family - 6000 sf	37	37	37	37	37	37	37	37	37	40
Cumulative SF-6000	37	74	111	148	185	222	259	296	333	373
Single Family - 8000 sf	14	14	14	14	14	14	14	14	14	16
Cumulative SF-8000	14	28	42	56	70	84	98	112	126	142
Multi-Family	19	19	19	19	19	19	19	19	19	14
Cumulative Multi-Family	19	38	57	76	95	114	133	152	171	185
Townhomes	24	24	24	24	24	24	24	24	24	24
Cumulative Townhomes	24	48	72	96	120	144	168	192	216	240
Total Residential New Units	94	94	94	94	94	94	94	94	94	94
Cumulative Residential	94	188	282	376	470	564	658	752	846	940

Area 2.

ABSORPTION SCHEDULE - AREA 2										
Table 9										
Year	1	2	3	4	5	6	7	8	9	10
Single Family - 5000 sf	30	30	30	30	30	30	30	30	30	28
Cumulative SF-5000	30	60	90	120	150	180	210	240	270	298
Multifamily	23	23	23	23	23	23	23	23	23	28
Cumulative Multi-Family	23	46	69	92	115	138	161	184	207	233
Townhomes	42	42	42	42	42	42	42	42	42	37
Cumulative Townhomes	42	84	126	168	210	252	294	336	378	415
Subtotal Residential New Units	95	95	95	95	95	95	95	95	95	91
Cumulative Residential	95	190	285	380	475	570	665	760	855	946
Commercial SF	0	0	148,000	148,000	0	0	0	0	0	0
Cumulative Commercial	0	0	148,000	296,000	296,000	296,000	296,000	296,000	296,000	296,000
Business Park	0	0	52,500	52,500	0	0	0	0	0	0
Cumulative Business Park	0	0	52,500	105,000	105,000	105,000	105,000	105,000	105,000	105,000

POPULATION AND EMPLOYMENT PROJECTIONS

Area 1.

POPULATION PROJECTIONS - AREA 1										
Table 10										
Year	1	2	3	4	5	6	7	8	9	10
Residential Units	94	94	94	94	94	94	94	94	94	94
Cumulative Residential Units	94	188	282	376	470	564	658	752	846	940
Population*	369	739	1,108	1,478	1,847	2,217	2,586	2,955	3,325	3,694

*Assumes an average household size of 3.93 persons based on the United States Census 2000.

Area 2.

POPULATION PROJECTIONS - AREA 2										
Table 11										
Year	1	2	3	4	5	6	7	8	9	10
Residential Units	95	95	95	95	95	95	95	95	95	91
Cumulative Residential Units	95	190	285	380	475	570	665	760	855	946
Population	373	747	1,120	1,493	1,867	2,240	2,613	2,987	3,360	3,718

*Assumes an average household size of 3.93 persons based on the United States Census 2000.

EMPLOYMENT PROJECTIONS - AREA 2										
Table 12										
Year	1	2	3	4	5	6	7	8	9	10
Commercial square feet	0	0	148,000	148,000	0	0	0	0	0	0
Cumulative commercial	0	0	148,000	296,000	296,000	296,000	296,000	296,000	296,000	296,000
Business Park	0	0	52,500	52,500	0	0	0	0	0	0
Cumulative business park	0	0	52,500	105,000	105,000	105,000	105,000	105,000	105,000	105,000
Commercial Employment	0	0	296	592	592	592	592	592	592	592
Office Employment	0	0	210	420	420	420	420	420	420	420
Total Employment (Retail and Office)	0	0	506	1,012	1,012	1,012	1,012	1,012	1,012	1,012

PROJECT VALUATION

Taxable value of the project is shown in the following two tables and assumes that all residences are primary residential and therefore receive the 45 percent residential exemption.

Area 1.

PROJECT VALUATION - AREA 1										
Table 13										
Year	1	2	3	4	5	6	7	8	9	10
Residential Value Increase	\$14,859,000	\$14,859,000	\$14,859,000	\$14,859,000	\$14,859,000	\$14,859,000	\$14,859,000	\$14,859,000	\$14,859,000	\$15,144,000
Residential Market Value Cumulative	\$14,859,000	\$29,718,000	\$44,577,000	\$59,436,000	\$74,295,000	\$89,154,000	\$104,013,000	\$118,872,000	\$133,731,000	\$148,875,000
Commercial Value Increase	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Commercial Market Value Cumulative	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable Value - Cumulative	\$8,172,450	\$18,344,900	\$24,517,350	\$32,889,800	\$40,882,250	\$49,034,700	\$57,207,150	\$65,379,600	\$73,552,050	\$81,881,250

Area 2.

PROJECT VALUATION - AREA 2										
Table 14										
Year	1	2	3	4	5	6	7	8	9	10
Residential Value Increase	\$13,480,000	\$13,480,000	\$13,480,000	\$13,480,000	\$13,480,000	\$13,480,000	\$13,480,000	\$13,480,000	\$13,480,000	\$12,858,000
Residential Market Value Cumulative	\$13,480,000	\$26,960,000	\$40,440,000	\$53,920,000	\$67,400,000	\$80,880,000	\$94,360,000	\$107,840,000	\$121,320,000	\$134,178,000
Commercial Value Increase	\$0	\$0	\$16,135,000	\$16,135,000	\$0	\$0	\$0	\$0	\$0	\$0
Commercial Market Value Cumulative	\$0	\$0	\$16,135,000	\$32,270,000	\$32,270,000	\$32,270,000	\$32,270,000	\$32,270,000	\$32,270,000	\$32,270,000
Total Market	\$13,480,000	\$26,960,000	\$56,575,000	\$86,190,000	\$99,670,000	\$113,150,000	\$126,630,000	\$140,110,000	\$153,590,000	\$166,448,000

Fiscal Impacts Analysis

PROJECT VALUATION - AREA 2										
Table 14										
Value - Cumulative										
Total Taxable Value	\$7,414,000	\$14,828,000	\$38,577,000	\$81,928,000	\$89,340,000	\$78,754,000	\$84,158,000	\$91,582,000	\$98,998,000	\$108,067,900
Value Cumulative										

PROJECT REVENUES

Revenues have been segregated into two groups: ongoing annual revenues and one-time revenues related to construction activities (e.g., building permits, planning & engineering fees, impact fees, etc.).

Area 1.

PROJECTED REVENUES - Area 1										
Table 15										
	1	2	3	4	5	6	7	8	9	10
1) Real Property Taxes	\$11,213	\$22,425	\$33,638	\$44,850	\$56,063	\$67,276	\$78,488	\$89,701	\$100,913	\$112,341
2) Personal Property Taxes	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
3) Sales Tax Revenues - population distribution	\$18,471	\$36,942	\$55,413	\$73,884	\$92,355	\$110,826	\$129,297	\$147,768	\$166,239	\$184,710
4) Sales Tax Revenues - point of sale distribution	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
5) Sales Tax Revenues - increased purchases by residents in Riverton	\$4,007	\$8,014	\$12,022	\$16,029	\$20,036	\$24,043	\$28,050	\$32,057	\$36,065	\$40,072
6) Sales Tax Revenues - increased spending by employees	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
7) Fee-in-Lieu	\$2,162	\$4,324	\$6,486	\$8,648	\$10,810	\$12,972	\$15,134	\$17,296	\$19,458	\$21,620
8) Franchise Taxes	\$8,184	\$16,367	\$24,551	\$32,735	\$40,918	\$49,102	\$57,285	\$65,469	\$73,653	\$81,836
9) Class C Road Funds	\$24,321	\$33,110	\$41,898	\$50,687	\$59,475	\$68,264	\$77,052	\$85,841	\$94,629	\$103,418
10) Business License	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
11) Animal License	\$408	\$817	\$1,225	\$1,634	\$2,042	\$2,450	\$2,859	\$3,267	\$3,676	\$4,084
12) Recreation	\$835	\$1,669	\$2,504	\$3,338	\$4,173	\$5,007	\$5,842	\$6,676	\$7,511	\$8,345
13) Fines	\$3,131	\$6,263	\$9,394	\$12,525	\$15,657	\$18,788	\$21,919	\$25,050	\$28,182	\$31,313
14) Ambulance Fees	\$1,772	\$3,545	\$5,317	\$7,090	\$8,862	\$10,635	\$12,407	\$14,179	\$15,952	\$17,724
TOTAL	\$74,504	\$133,476	\$192,447	\$251,419	\$310,391	\$369,362	\$428,334	\$487,305	\$546,277	\$605,248

Area 2.

PROJECTED REVENUES - Area 2										
Table 16										
	1	2	3	4	5	6	7	8	9	10
1) Real Property Taxes	\$10,172	\$20,344	\$30,516	\$40,688	\$50,860	\$61,032	\$71,204	\$81,376	\$91,548	\$101,720
2) Personal Property Taxes	\$0	\$0	\$7,195	\$14,389	\$14,389	\$14,389	\$14,389	\$14,389	\$14,389	\$14,389
3) Sales Tax Revenues - population distribution	\$18,668	\$37,335	\$56,003	\$74,670	\$93,338	\$112,005	\$130,673	\$149,340	\$168,008	\$186,676
4) Sales Tax Revenues - point of sale distribution	\$0	\$0	\$148,000	\$296,000	\$296,000	\$296,000	\$296,000	\$296,000	\$296,000	\$296,000
5) Sales Tax Revenues - increased purchases by residents in Riverton	\$4,048	\$8,096	\$12,144	\$16,192	\$20,240	\$24,288	\$28,336	\$32,384	\$36,432	\$40,480
6) Sales Tax Revenues - increased spending by	\$0	\$0	\$938	\$1,872	\$1,872	\$1,872	\$1,872	\$1,872	\$1,872	\$1,872

Fiscal Impacts Analysis

PROJECTED REVENUES - Area 2										
Table 16										
	1	2	3	4	5	6	7	8	9	10
employees										
7) Fee-In-Lieu	\$1,829	\$3,257	\$4,886	\$6,514	\$8,143	\$9,771	\$11,400	\$13,029	\$14,657	\$16,217
8) Franchise Taxes	\$8,271	\$16,541	\$42,857	\$89,173	\$77,444	\$85,714	\$83,885	\$102,256	\$110,526	\$118,449
9) Class C Road Funds	\$44,108	\$52,990	\$61,872	\$70,754	\$79,636	\$88,518	\$97,400	\$106,282	\$115,164	\$123,672
10) Business License	\$0	\$0	\$3,810	\$7,619	\$7,619	\$7,619	\$7,619	\$7,619	\$7,619	\$7,619
11) Animal License	\$413	\$825	\$1,238	\$1,651	\$2,064	\$2,476	\$2,889	\$3,302	\$3,715	\$4,110
12) Recreation	\$843	\$1,687	\$2,530	\$3,374	\$4,217	\$5,060	\$5,904	\$6,747	\$7,591	\$8,398
13) Fines	\$3,165	\$6,329	\$11,193	\$16,057	\$19,222	\$22,387	\$25,551	\$28,715	\$31,881	\$34,912
14) Ambulance Fees	\$1,791	\$3,583	\$5,374	\$7,165	\$8,956	\$10,748	\$12,539	\$14,330	\$16,122	\$17,837
TOTAL	\$93,105	\$150,995	\$410,695	\$670,398	\$728,286	\$786,185	\$844,043	\$901,833	\$959,612	\$1,015,220

Revenue projections are based on the following assumptions:

- 1) Riverton's municipal services tax rate is 0.001372;
- 2) Personal property taxable value is calculated as 32.5 percent of total commercial taxable value;
- 3) Assumes annual sales of \$200 per commercial square foot;
- 4) Assumes a distribution of \$50 per person;
- 5) Assumes that residents will make 26 percent of their purchases (based on current capture rate for retail goods) within Riverton (based on average total retail purchases of \$8,344 per person);
- 6) Assumes that employees will make ten percent of their household convenience food, personal services and eating & drinking expenditures near the workplace. Numbers are low to reflect the fact that most employees will likely live in Riverton; however the commercial development will keep some employees from leaving Riverton to find work elsewhere;
- 7) Vehicle fee-in-lieu is \$23 per household based on Bonneville Research report of December 1999;
- 8) Franchise tax revenues average \$24.61 per person based on Riverton City budget revenues of \$615,525 and a population of 25,011 persons;
- 9) Class C road mile distribution is based on 5.6 paved road miles, population distribution of \$23.79 and road mile distribution of \$554.74 per mile;
- 10) Business licenses average \$95 per business with the number of businesses calculated assuming 5,000 square feet per business;
- 11) Animal services revenues average \$1.11 per person;
- 12) Recreation revenues average \$2.26 per person;
- 13) Revenues from fines average \$8.48 per person; and
- 14) Ambulance fees average \$4.80 per person;

PROJECT EXPENDITURES

Expenditures have been taken from Riverton City's *Economic Development Strategy*, Table IV-2 and have been adjusted upwards to reflect some of the information provided by Riverton City in a report prepared by Bonneville Research. These adjustments are shown in the last column and have been made to police and fire. Note that they reflect a higher level of services than Riverton is currently providing its residents.

EXPENDITURE ANALYSIS								
Table 17								
Riverton City Economic Development Strategy (Table IV-2)						Per Unit Costs		WEPC
	Total	Residential	Commercial	Industrial	Other	Per acre Commercial	Per HH Residential	Adjusted Per HH Residential
Administration	\$1,576,519	\$945,911	\$78,826	\$47,296	\$504,486	\$1,044	\$149	\$149
Govt Bldgs	\$83,027				\$83,027	\$0	\$0	\$0
Judicial	\$131,116	\$13,112	\$5,245	\$2,822	\$110,137	\$69	\$2	\$2
Planning & Zoning	\$360,281	\$306,239	\$36,028	\$18,014		\$477	\$48	\$48
Police	\$680,428	\$612,385	\$34,021	\$34,021		\$451	\$96	\$192
Fire	\$410,960	\$349,316	\$41,096	\$20,548		\$544	\$55	\$101
Inspection	\$169,155	\$143,782	\$11,841	\$13,532		\$157	\$23	\$23
Animal Control	\$67,858	\$67,858				\$0	\$11	\$11
Crossing Guards	\$79,520	\$71,568	\$3,976	\$3,976		\$53	\$11	\$11
Highways	\$321,002	\$256,802	\$32,100	\$32,100		\$425	\$40	\$40
Shop and Garage	\$78,649				\$78,649	\$0	\$0	\$0
Parks and rec	\$420,784	\$399,745	\$21,039			\$279	\$83	\$83
Contributions	\$8,300				\$8,300	\$0	\$0	\$0
TOTAL	\$4,387,399	\$3,166,518	\$284,172	\$172,109	\$784,599	\$3,499	\$498	\$640

*Inflation adjustment increases this amount to \$692.47

COMPARISON OF REVENUES AND EXPENDITURES

Area 1 and Area 2 combined have a net present value of \$1,364,987 over a ten-year period and a discount rate of 5.5 percent.

REVENUE AND EXPENDITURE ANALYSIS - Area 1										
Table 18										
	1	2	3	4	5	6	7	8	9	10
Residential	\$65,092	\$130,185	\$195,277	\$260,369	\$325,462	\$390,554	\$455,647	\$520,739	\$585,831	\$650,924
Commercial	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Expenditures	\$65,092	\$130,185	\$195,277	\$260,369	\$325,462	\$390,554	\$455,647	\$520,739	\$585,831	\$650,924
Revenues less Expenditures	\$9,412	\$3,291	(\$2,830)	(\$8,950)	(\$15,071)	(\$21,192)	(\$27,313)	(\$33,434)	(\$39,554)	(\$45,460)
NPV (5.5%)	(\$116,262)									

REVENUE AND EXPENDITURE ANALYSIS - Area 2										
Table 19										
	1	2	3	4	5	6	7	8	9	10
Residential	\$65,785	\$131,570	\$197,355	\$263,139	\$328,924	\$394,709	\$460,494	\$526,279	\$592,064	\$657,849
Commercial	\$0	\$0	\$57,773	\$115,546	\$115,546	\$115,546	\$115,546	\$115,546	\$115,546	\$115,546
Total Expenditures	\$65,785	\$131,570	\$255,127	\$378,685	\$444,470	\$510,255	\$576,040	\$641,825	\$707,610	\$773,395
Revenues less Expenditures	\$27,320	\$19,425	\$155,568	\$291,711	\$283,818	\$275,910	\$288,004	\$260,109	\$252,203	\$244,596
NPV (5.5%)	\$1,481,249									

Fiscal Impacts Analysis

ONE-TIME REVENUES

Building Permit Fees.

BUILDING PERMIT FEES - Area 1											
Table 20											
	Fee per Unit	1	2	3	4	5	6	7	8	9	10
\$165,000 units	\$1,903	\$70,411	\$70,411	\$70,411	\$70,411	\$70,411	\$70,411	\$70,411	\$70,411	\$70,411	\$78,120
\$215,000 units	\$2,603	\$36,442	\$36,442	\$36,442	\$36,442	\$36,442	\$36,442	\$36,442	\$36,442	\$36,442	\$41,848
\$138,000 units	\$1,525	\$36,600	\$36,600	\$36,600	\$36,600	\$36,600	\$36,600	\$36,600	\$36,600	\$36,600	\$36,600
\$128,000 units	\$1,385	\$26,315	\$26,315	\$26,315	\$26,315	\$26,315	\$26,315	\$26,315	\$26,315	\$26,315	\$19,390
Subtotal Residential		\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$173,758
Commercial fees		\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total building permit fees		\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$189,768	\$173,758

Fees are \$1,903 for \$165,000 units; \$2,603 for \$215,000 units; \$1,525 for \$138,000 units and \$1,385 for \$128,000 units.

BUILDING PERMIT FEES - Area 2											
Table 21											
	1	2	3	4	5	6	7	8	9	10	
\$168,000 units	\$54,150	\$54,150	\$54,150	\$54,150	\$54,150	\$54,150	\$54,150	\$54,150	\$54,150	\$54,150	\$50,540
\$138,000 units	\$64,050	\$64,050	\$64,050	\$64,050	\$64,050	\$64,050	\$64,050	\$64,050	\$64,050	\$64,050	\$56,425
\$128,000 units	\$31,855	\$31,855	\$31,855	\$31,855	\$31,855	\$31,855	\$31,855	\$31,855	\$31,855	\$31,855	\$38,010
Subtotal Residential	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$142,975
Commercial fees	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total building permit fees	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$150,055	\$142,975

Planning & Engineering Fees.

PLANNING & ENGINEERING FEES - Area 1 and Area 2			
Table 22			
	Unit Cost	Area 1	Area 2
Master Site Plan (20 acres or more)	\$2,880	\$2,880	\$2,880
Preliminary Subdivision Plat	\$1,020	\$32,290	\$29,980
Rezoning	\$1,440		
Final Site Plan	\$20,300	\$30,350	\$68,425
Final Subdivision Plan	\$1,160	\$88,200	\$81,600
Conditional Use	\$200	\$200	\$200
Multi-Family Condo Development	\$3,550	\$3,550	\$2,820
Sign Permit	\$360	\$360	\$360
Total	\$30,910	\$159,300	\$187,705

Impact Fees.

Riverton is in the process of revising and increasing its impact fees. Therefore, it is reasonably expected that the following estimates of fees will increase fairly significantly in the future.

IMPACT FEES - Area 1											
Table 23											
	Fee per Unit	1	2	3	4	5	6	7	8	9	10
Culinary Water	\$1,717	\$161,398	\$161,398	\$161,398	\$161,398	\$161,398	\$161,398	\$161,398	\$161,398	\$161,398	\$161,398
Parks	\$768	\$72,004	\$72,004	\$72,004	\$72,004	\$72,004	\$72,004	\$72,004	\$72,004	\$72,004	\$72,004
Public Safety	\$787	\$73,978	\$73,978	\$73,978	\$73,978	\$73,978	\$73,978	\$73,978	\$73,978	\$73,978	\$73,978

Fiscal Impacts Analysis

IMPACT FEES - Area 1											
Table 23											
	Fee per Unit	1	2	3	4	5	6	7	8	9	10
Roadways	\$593	\$55,742	\$55,742	\$55,742	\$55,742	\$55,742	\$55,742	\$55,742	\$55,742	\$55,742	\$55,742
Secondary Water	\$1,300	\$122,200	\$122,200	\$122,200	\$122,200	\$122,200	\$122,200	\$122,200	\$122,200	\$122,200	\$122,200
Total Impact Fees	\$5,143	\$485,322	\$485,322	\$485,322	\$485,322	\$485,322	\$485,322	\$485,322	\$485,322	\$485,322	\$485,322

IMPACT FEES - Area 2											
Table 24											
	Fee per Unit	1	2	3	4	5	6	7	8	9	10
Culinary Water	\$1,717	\$162,115	\$162,115	\$162,115	\$162,115	\$162,115	\$162,115	\$162,115	\$162,115	\$162,115	\$162,115
Parks	\$766	\$72,770	\$72,770	\$72,770	\$72,770	\$72,770	\$72,770	\$72,770	\$72,770	\$72,770	\$72,770
Public Safety	\$787	\$74,765	\$74,765	\$74,765	\$74,765	\$74,765	\$74,765	\$74,765	\$74,765	\$74,765	\$74,765
Roadways	\$593	\$56,335	\$56,335	\$56,335	\$56,335	\$56,335	\$56,335	\$56,335	\$56,335	\$56,335	\$56,335
Secondary Water	\$1,300	\$123,500	\$123,500	\$123,500	\$123,500	\$123,500	\$123,500	\$123,500	\$123,500	\$123,500	\$123,500
Total Impact Fees	\$5,163	\$490,485	\$490,485	\$490,485	\$490,485	\$490,485	\$490,485	\$490,485	\$490,485	\$490,485	\$490,485

Construction Impacts.

One-time impacts from construction workers included increased wages paid in the local area, a portion of which will likely be spent within Riverton, assuming goods and services are available. Expenditures will most likely occur for convenience goods such as gasoline, fast food items, etc. According to the Arthur Anderson Economic Impact Model, five percent of construction wages are generally spent in the local community. Therefore, we have estimated that Riverton will receive a total of \$31,533 in increased sales tax revenues spread over the construction period.

Estimated Construction Worker Spending in Riverton		
Table 25		
	Area 1	Area 2
Market Value	\$148,875,000	\$166,448,000
Construction Wages Paid (40 percent)	\$59,550,000	\$66,579,200
Amount Spent Locally (5 percent)	\$2,977,500	\$3,328,960
Point of Sale Revenues to Riverton	\$14,888	\$16,645



Section 12 Open Space Plan

A. PURPOSE AND OBJECTIVES

One of the purposes of Monarch Meadows Specific Plan is to permit the creative planning of amenities, lot sizes, and other development amenities within the framework of given densities and other zoning details found in the Riverton City General Plan (See Section 2.B). Three of the objectives stated in this plan are as follows (See Section 2.C):

1. Develop a planned community atmosphere with improved open spaces and parks.
2. Provide the opportunity to develop City-owned and maintained parks through a more than 40-acre land dedication.
3. Provide for a pedestrian network that will allow residents to walk freely between residential areas, the parks and the Rose Creek Parkway.

B. RIVERTON CITY PARKS/OPEN SPACE PLAN

The Riverton City General Plan includes a "Recreation, Historic and Cultural Resources Element" that addresses the City's long-range park plan. Section 6.2 of the General Plan addresses "Parks and Recreation." Included within Section 6.2 are an assessment of existing park and recreation facilities, standards for park and recreation facilities, local park standards and park and open space plan concepts.

During the preparation of the Riverton City General Plan, provisions were made for a Parks and Open Space Plan. This plan was shown on Figure 4-3. The plan called for the Monarch Meadows development to locate a multi-purpose pedestrian/bike trail along Rose Creek as it passes through the development. Also, the Parks and Open Space Plan required that a park be placed in the development. The location of the park was understood to be conceptual in nature.

C. OPEN SPACE ZONE

The open space zone was described in Section 6.C.4 of this Specific Plan. The permitted uses in this zone are public schools, churches, parks and accessory buildings associated with park improvements. A large percentage, 20%, of the Monarch Meadows Development will remain in permanent open space. The Open Space zoning area will also include recreational facilities that will be privately owned and maintained. Zoning regulations within the public areas will allow the development of recreational elements and features that contribute to not only the lifestyle of community residents, but the residents of Riverton City as well. The zoning requirements for the open space zone are expected to closely follow the regulations set forth under the Riverton City zoning ordinance neighborhood commercial zone.

D. OPEN SPACE PLAN

Monarch Meadows proposes a variety of open space, parks and recreation elements that include a widened landscape parkway along 13400 South, the preservation and enhancement of the Rose Creek corridor, a system of collector parkways to provide a pedestrian parkway for community residents, an 8-acre community park adjacent to Rose Creek and a 3.45-acre neighborhood park. The open space and parks system also includes the 5.5-acres of playgrounds and fields that will be constructed on the elementary school site. The layout for the master site plan is located on Figure 5-4. Included in the master site plan is the plan for the development of open space within the project. The required open space for Monarch Meadows has been spread throughout the development. (See Figure 12-1).

1. 13400 South Parkway

Monarch Meadows proposes to widen the parkway along the south side of 13400 South along the subject property's northern boundary by additional ten (10) feet to create a twenty (20) foot wide landscaped parkway. Figure 6-6 is an illustration of the proposed 13400 South landscaped parkway improvement.

2. Rose Creek Parkway

Rose Creek forms the western boundary of most of Monarch Meadows and crosses the northerly half of the subject property. Monarch Meadows proposes to preserve the Rose Creek corridor and develop a trail system along its length through the planned community. The corridor varies in width from roughly 150 to 300 feet. Figure 12-2 is an illustration of the Rose Creek corridor and trail system. Because of erosion, sections of the Rose Creek channel bank are very steep. As part of this project, The Developer has secured the necessary permits to lay the bank slopes back to 3:1, making the Parkway safer and more accessible.

3. Collector Parkway

The collector parkway system is an important feature of the Monarch Meadows open space, parks and recreation system. It provides landscaped pedestrian connections through the master planned community, affording community residents the opportunity to walk between neighborhoods, community parks and the proposed elementary school. The collector parkway varies in width between 20 and 40 feet. Figures 6-8 and 6-9 illustrate different views of the collector parkway system.

4. Community Park

Monarch Meadows proposes an 8-acre community park. The park is located along the Rose Creek Parkway, south of Rose Creek. The location is important because a portion of the community park will also serve as a storm water detention basin that will ultimately empty into Rose Creek. The park is large enough to accommodate two soccer fields, along with a tot lot, and picnic area. Because of the sports fields, a parking lot will also be necessary. The park is accessible from 4800 West, by the pedestrian parkway system and by the trails along Rose Creek. Figure 12-3 is an illustrative plan for the Community Park and Figure 12-4 shows the conceptual elevation for the picnic pavilion.

5. Neighborhood Park

Monarch Meadows proposes a 3.45-acre neighborhood park located in the western portion of the planned community. The park is proposed as an open play area and passive green space. The parks will also accommodate a tot lot and picnic area. Limited parking is available along the streets that border the neighborhood parks. Figure 12-5 is an illustrative plan for the neighborhood park and Figure 12-6 shows the conceptual elevation for the picnic pavilion.

6. Elementary School Site

Jordan School District acquired approximately 11.5 acres to develop an elementary school at the southern end of the development adjacent to the county park. The District needs a new elementary school to serve Monarch Meadows, The Foothills, portions of Rose Crest and other subdivisions south and west of Monarch Meadows. Neither The Foothills, Rose Crest nor the other subdivisions set aside property for schools.

The school site located was based upon its more centralized location to The Foothills, Rose Crest and additional subdivisions as well as Monarch Meadows. The desire is to place the school site within a close proximity to as many residences as possible. The location is also adjacent to the County's park located along the northerly boundary of The Foothills and along Shaggy Peak Drive. Locating the school adjacent to the park will expand the amount of green space along the border shared by The Foothills and Monarch Meadows. Locating the school site along Shaggy Peak Drive -- which is extended as a residential collector in Monarch Meadows to an intersection with 4800 West and extends southerly into Rose Crest, provides direct vehicular access to the school from Monarch Meadows, The Foothills and Rose Crest.

Several acres of the school site (4.0-acres) has been included as part of Monarch Meadows overall 20% open space and park requirement. Neighborhood residents of both Monarch Meadows and The Foothills will use the schools playgrounds and play fields during non-school hours. The School District has verbally agreed to enter into an agreement with the Developer. Figure 12-7 is an illustrative plan for the school site. Construction on the school site was initiated in the September 2002 and will be completed and open for use in September 2003.

E. OPEN SPACE MAINTENANCE

The open space areas for Monarch Meadows will be entirely dedicated to public open space. The public open space will consist of all open space areas with the exception of the multi-family development. All public open space areas, with the exception of the multi-family developments, will be maintained by Riverton City.

F. OPEN SPACE FUNDING

The Developer will pay for the construction of all open spaces within Monarch Meadows. Riverton City will reimburse the developer for public open space improvements and land costs as detailed in the Development Agreement and Reimbursement Agreement. The city's reimbursements will be paid from impact fees generated during the building permit process. The Developer will not be reimbursed for open space improvements within the multi-family developments.

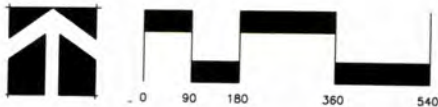


Monarch Meadows

Riverton, Utah

Open Space Master Plan

Figure 12-1



Monarch Development
Salt Lake City, Utah



Rose Creek Parkway Features & Amenities

- 8' Pedestrian Trail
- Footbridges
- 6' Connector Trails
- Benches
- Trash Receptacles
- Parkway Map Signage
- Mileage Marker Signs



**Monarch
Meadows**
Riverton, Utah

Rose Creek Parkway Figure 12-2

Monarch Development
Salt Lake City, Utah



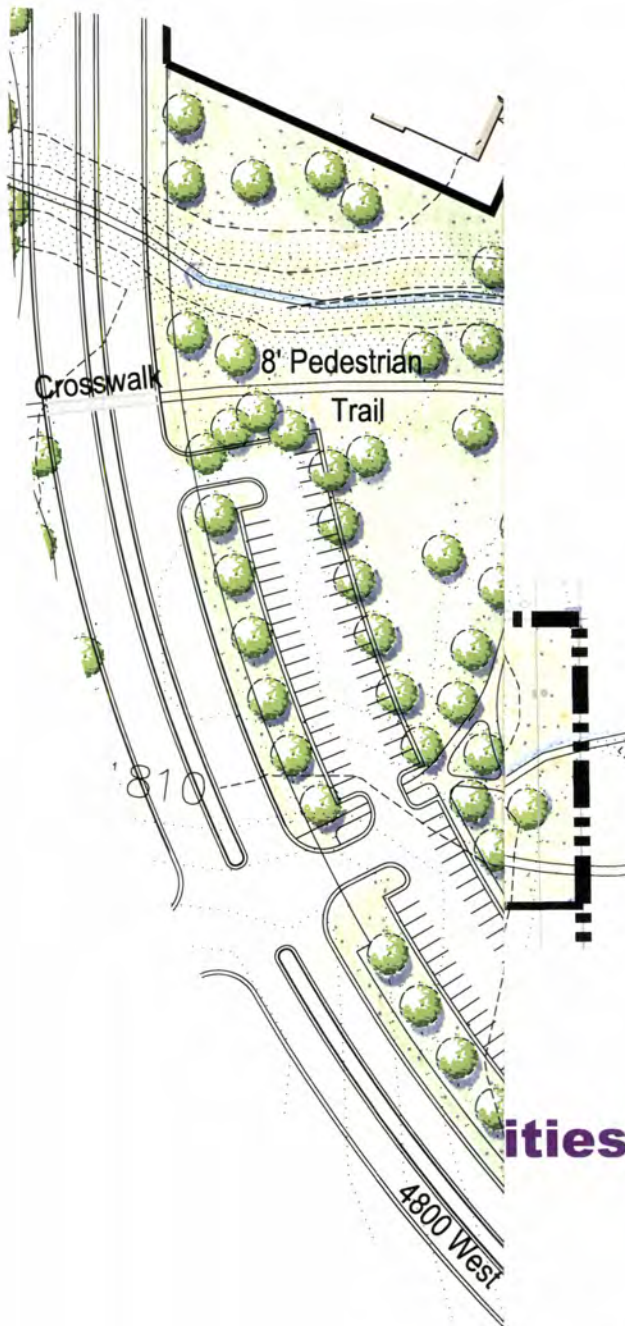


Monarch Meadows

Riverton, Utah

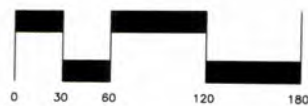
Community Park Plan

Figure 12-3



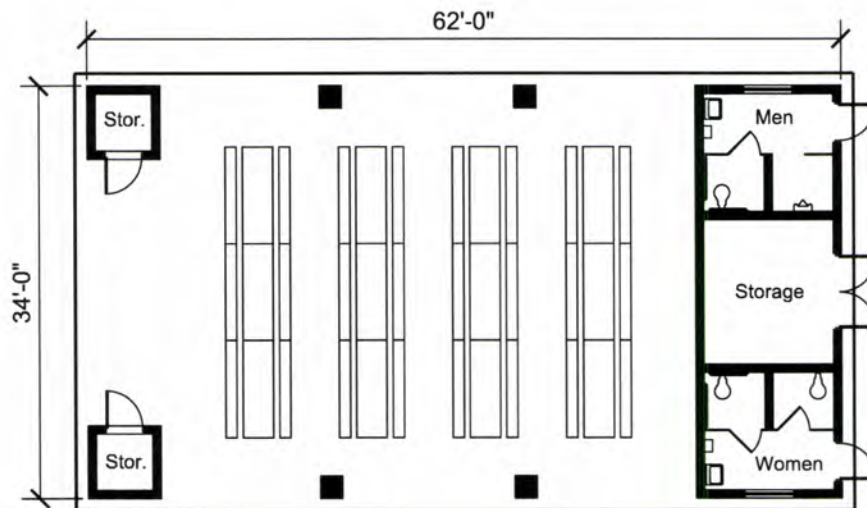
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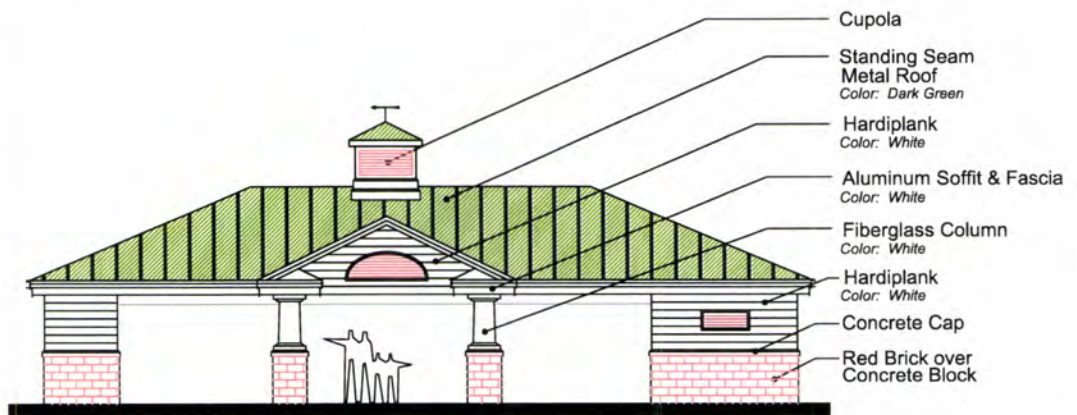


Monarch Development
Salt Lake City, Utah

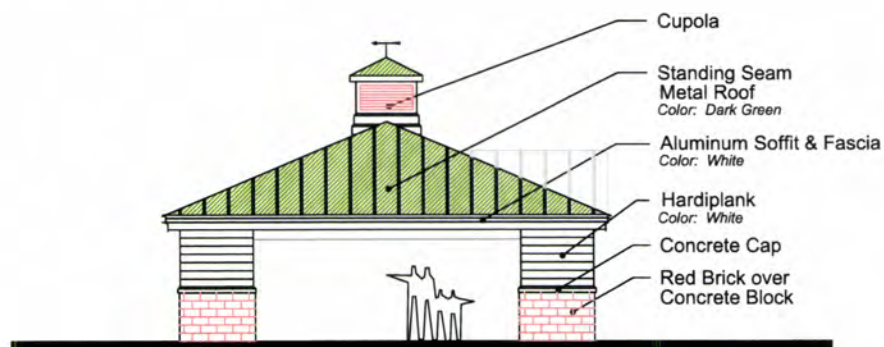




Floor Plan



Front Elevation



Side Elevation

Monarch Development
Salt Lake City, Utah



 **Monarch Meadows
Community Park
Picnic Pavillion**

Figure 12-4



Monarch Meadows

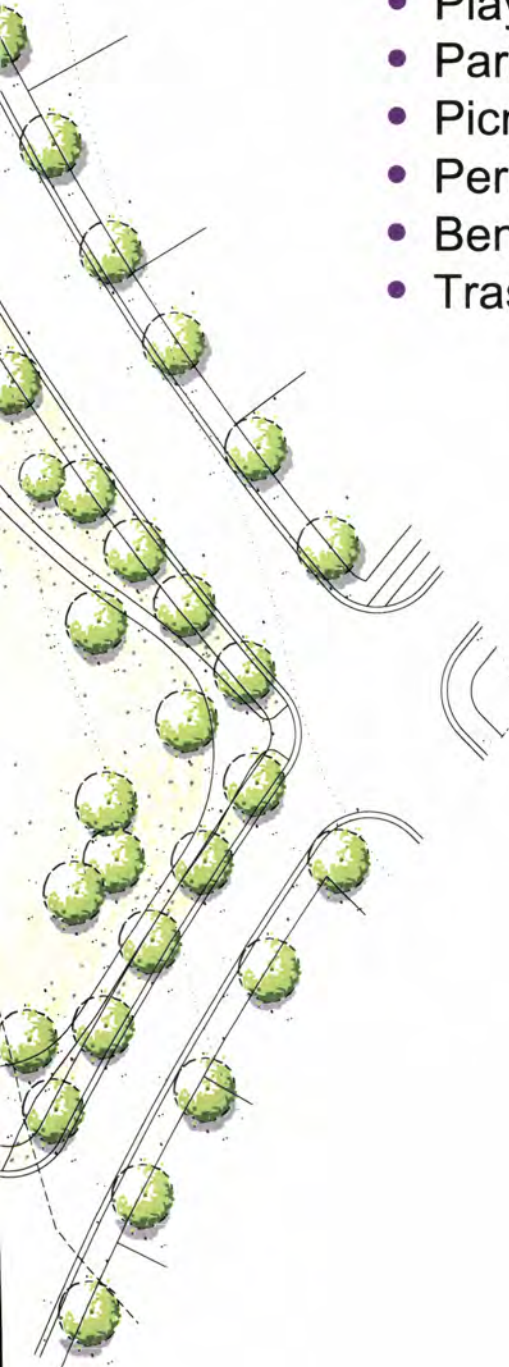
Riverton, Utah

Neighborhood Park Features & Amenities

- Passive Recreation Area
- Picnic Pavilion
- Playground
- Parking Area
- Picnic Area
- Perimeter Walk
- Benches
- Trash Receptacles

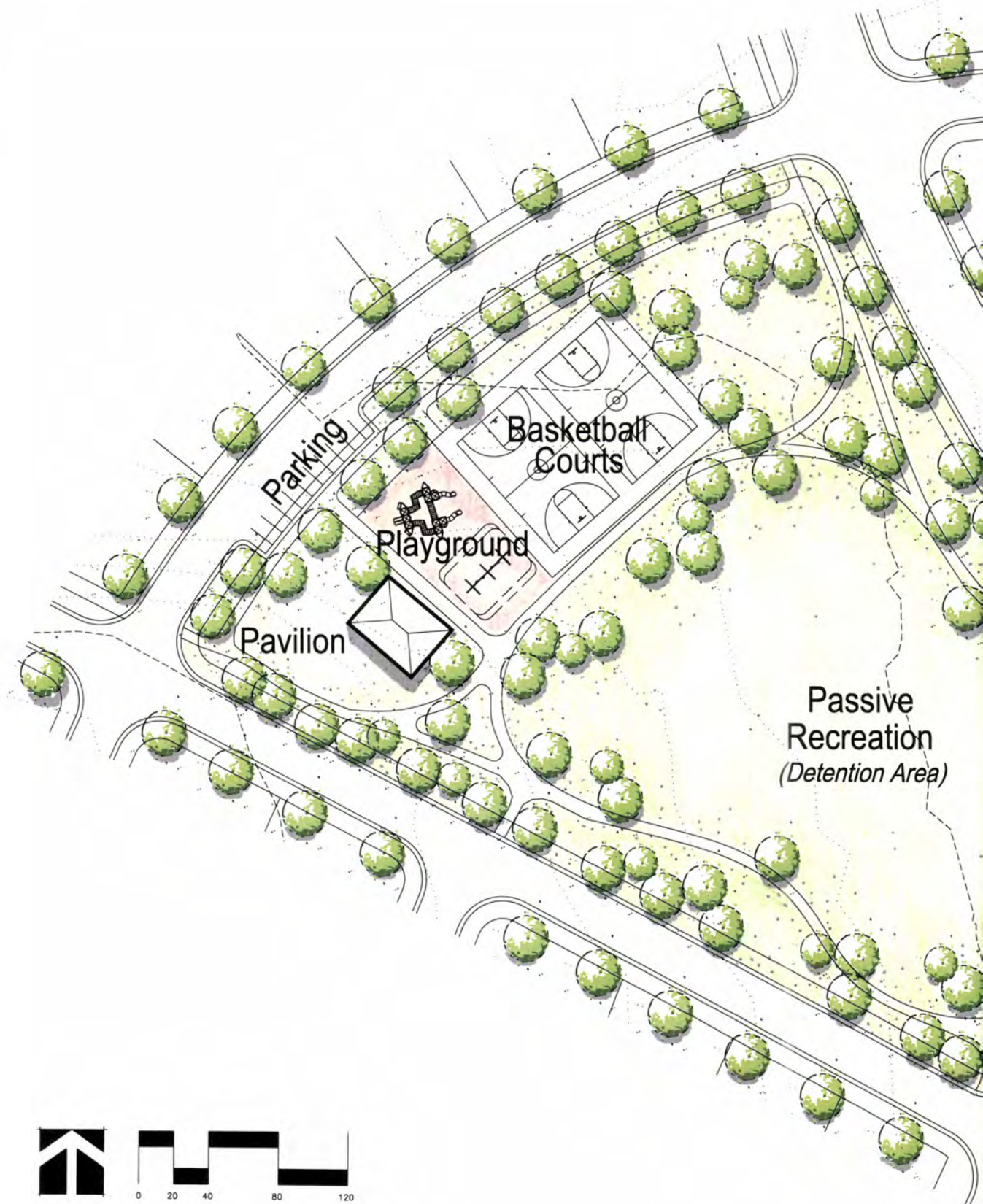
Neighborhood Park Plan

Figure 12-5

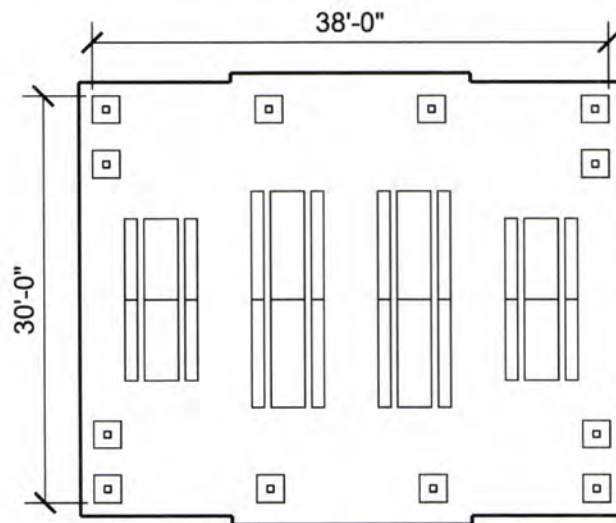


Monarch Development
Salt Lake City, Utah

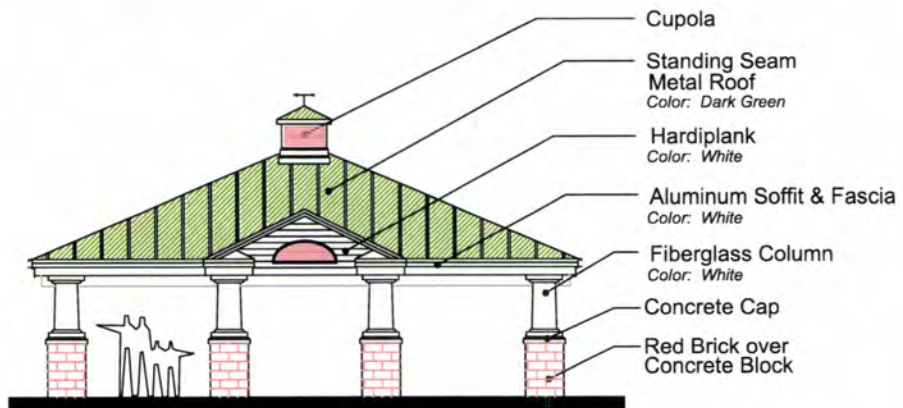




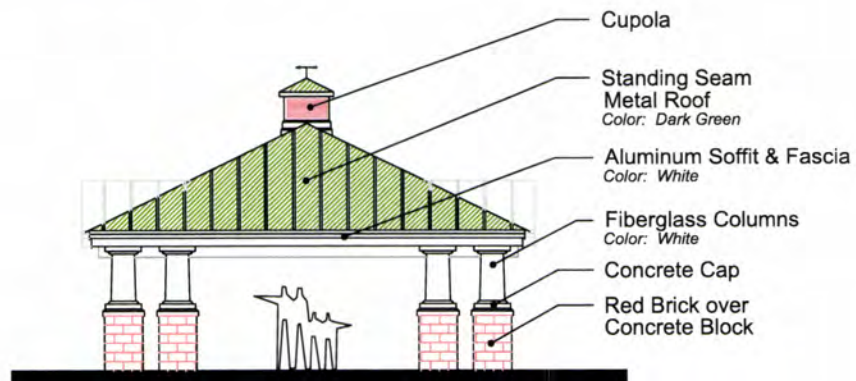
0 20 40 80 120



Floor Plan



Front Elevation



Side Elevation

Monarch Development
Salt Lake City, Utah



 **Monarch Meadows
Neighborhood Park
Picnic Pavillion**

Figure 12-6

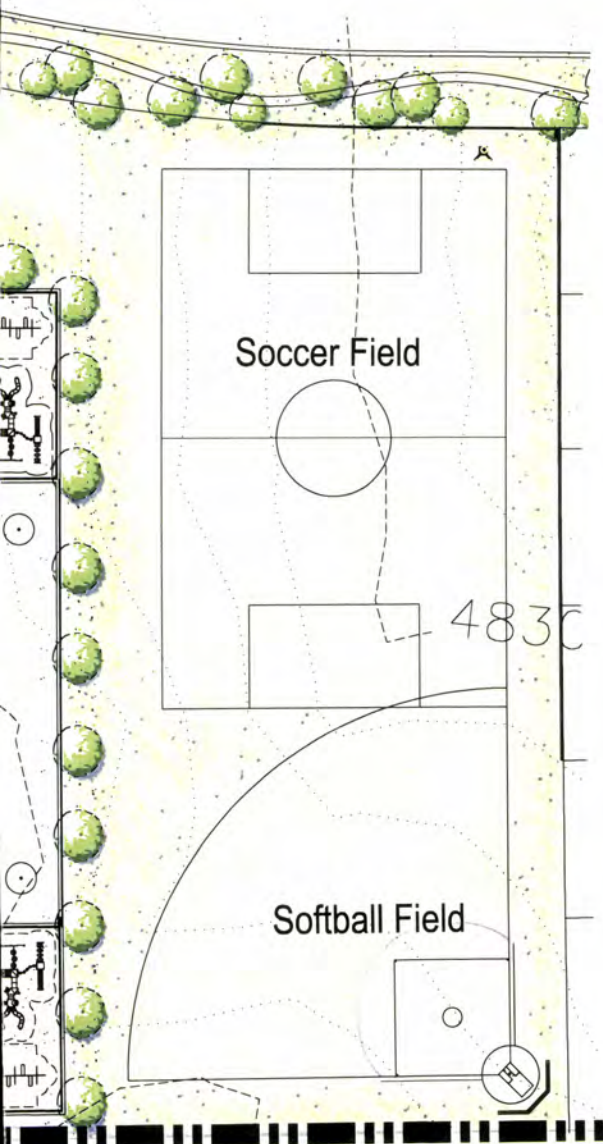
Elementary School Open Space Features & Amenities

- Soccer Field
- Baseball Field
- Playgrounds (2)
- Paved Play Areas



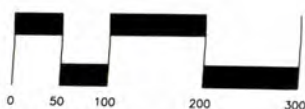
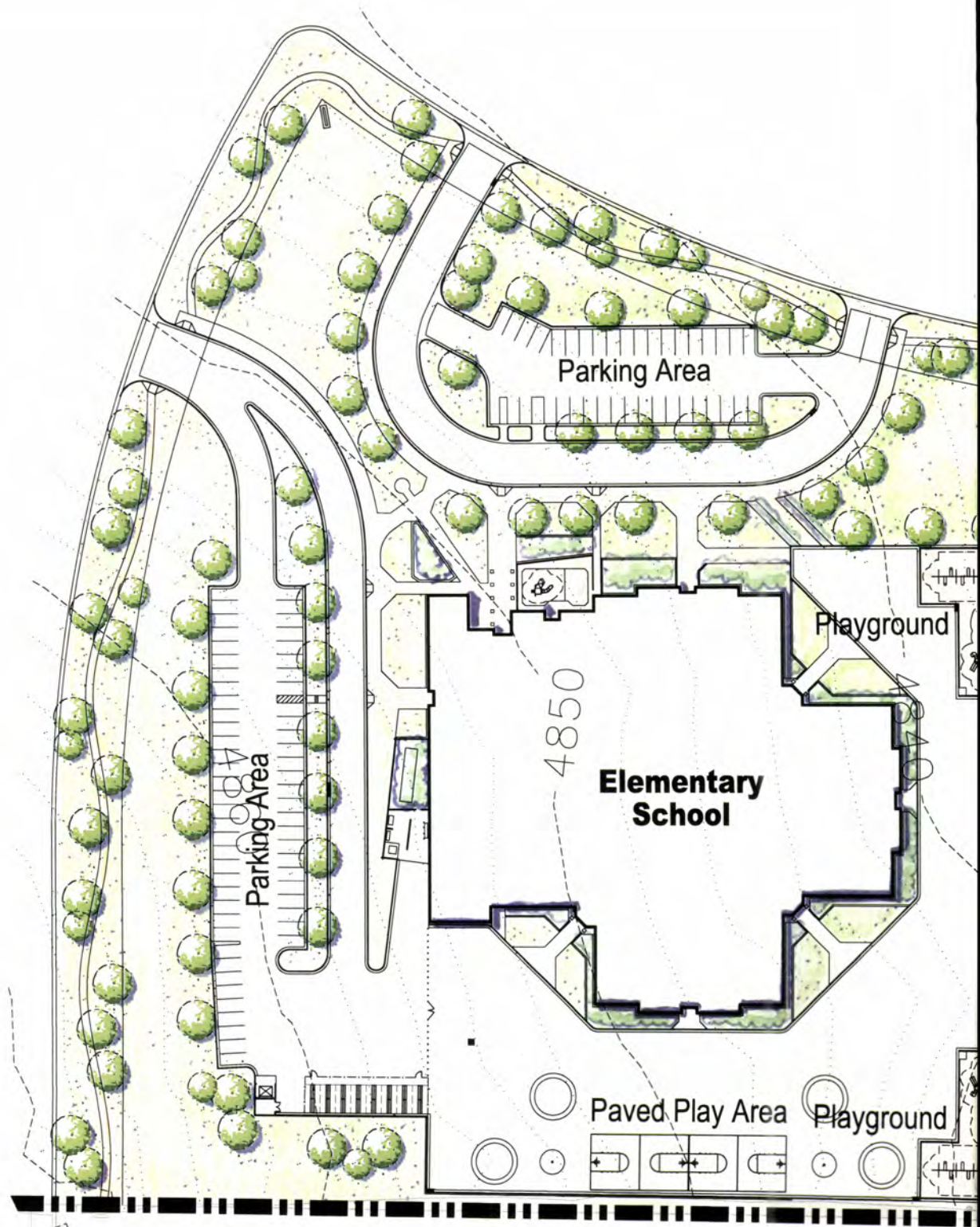
Elementary School Plan

Figure 12-7



Monarch Development
Salt Lake City, Utah







Appendix A

Traffic Impact Study



**The Traffic Impact Study
is on file with Riverton City
Planning Staff**



Appendix B

Geotechnical Report



**The Geotechnical Report
is on file with Riverton City
Planning Staff**



Appendix C

Drainage Master Plan



**The Drainage Report
is on file with Riverton City
Planning Staff**



Appendix D

*South Salt Lake County
Market Report*



**The South Salt Lake County
Market Report is on file with
Riverton City Planning Staff**



Appendix E

*Rose Creek Channel
Alteration Permits*



**The Rose Creek Alteration Permits
are on file with
Riverton City Planning Staff**



Appendix F

*Riverton City
Plant List*

Riverton City Recommended Plant List

Shade Trees

<i>Acer plantanoides</i>	Norway Maple
<i>Acer platanoides</i> "schwedleri"	Schwedler Maple
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust
<i>Platanus acerifolia</i>	London Planetree
<i>Tilia cordata</i>	Littleleaf Linden
<i>Matteuccia struthiopteris</i>	Ostrerich Fern
<i>Spiraea bumalda</i> "Anthony Waterer"	Dwarf Red Spiraea

Accent Shrubs

<i>Bergenia crassifolia</i>	Leatherleaf Bergenia
<i>Daphne cneorum</i>	Garland Daphne
<i>Erica carnea</i>	Spring Heath
<i>Festuca ovina</i> "glaucua"	Blue Fescue
<i>Hemerocallis</i> spp.	Daylily
<i>Hosta undulata</i>	Wavey-leaved Plantain Lily
<i>Pennisetum setaceum</i>	Fountain Grass

Accent Trees

<i>Albizzia julibrissin</i>	Silk Tree
<i>Cercis canadensis</i>	Eastern Redbud
<i>Crataegus lavalleyi</i>	Carriere Hawthorn
<i>Crataegus phaenopyrum</i>	Washington Thorn
<i>Populus tremuloides</i>	Quaking Aspen
<i>Prunus cerasifera</i>	Flowering Plum
<i>Prunus serrulata</i>	Flowering Cherry
<i>Pyrus calleryana</i>	Flowering Pear
<i>Robinia idahoensis</i>	Idaho Locust

Groundcovers

<i>Ajunga reptans</i>	Carpet Bugle
<i>Asperula odorata</i>	Sweet Woodruff
<i>Cerastium tomentosum</i>	Snow-In-Summer
<i>Cotoneaster saliscifolia</i> "repens"	Willowleaf Cotoneaster
<i>Euonymus fortunei</i> "Colorata"	Purpleleaf Wintercreeper
<i>Hypericum calycinum</i>	Creeping St. Johnswort
<i>Mahonia repens</i>	Creeping Oregon Grape
<i>Pachysandra terminalis</i>	Japanese Spurge
<i>Sedum spurium</i> "Dragon's Blood"	Dragon's Blood Sedum
<i>Thymus praecox arcticus</i>	Creeping Thyme
<i>Vinca minor</i>	Dwarf Periwinkle

Tall Shrubs

<i>Cornus stolonifera</i>	Red Osier Dogwood
<i>Cotoneaster acutifolia</i>	Peking Cotoneaster
<i>Cotoneaster diviracata</i>	Spreading Cotoneaster
<i>Euonymus japonica</i> "Grandiflora"	Grand Euonymus
<i>Forsythia suspense</i>	Weeping Forsythia
<i>Ilex aquifolium</i> "Boulder Creek"	Boulder Creek Holly
<i>Photinia fraseri</i>	Fraser Photinia
<i>Syringa</i> spp.	Lilac
<i>Viburnum burkwoodi</i>	Burkwood Viburnum
<i>Viburnum rhytidophyllum</i>	Leatherleaf Viburnum

Medium Shrubs

<i>Berberis buxifolia nana</i>	Dwarf Magellan Barberry
<i>Berberis thunbergia</i> "Atropurpurea"	Red Japanese Barberry
<i>Buxus microphylla japonica</i> "Compacta"	Compact Japanese Boxwood
<i>Cotoneaster apiculate</i>	Cranberry Cotoneaster
<i>Euonymus alatus compacta</i>	Dwarf Burning Bush
<i>Euonymus japonica</i> "microphylla"	Boxleaf Euonymus
<i>Juniperus</i> spp.	Juniper
<i>Mahonia aquifolium</i> "compacta"	Compact Oregon Grape
<i>Pinus mugo mughus</i>	Dwarf Mugho Pine
<i>Prunus laurocerus</i> "Otto Luyken"	Otto Luyken Laurel
<i>Taxus baccata repandens</i>	Spreading English Yew
<i>Viburnum opulus nana</i>	Cranberry Bush



Appendix G

Legal Description

Staker Parcel A

A parcel of land situated in the Northeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at a point on the proposed Southerly Right-of-Way Line of 13400 South Street (said point being 53.00 feet perpendicularly equidistant from the existing centerline of 13400 South Street), said point being N89°53'23"W along the section line, 52.49 feet and S00°06'37"W, 53.00 feet from the Northeast Corner of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, said point also being on the Westerly Boundary Line of The Foothills, a recorded Subdivision, the plat of which was recorded as Entry No. 3424598, in Book 80-4, at Page 72 in the Office of the Salt Lake County Recorder; and running thence S00°26'28"E along the said Westerly Boundary Line of The Foothills (S00°11'40"E per plat of The Foothills aforesaid), 992.20 feet; thence S89°53'29"W, 150.00 feet; thence S00°26'28"E, 150.00 feet; thence N89°53'29"E, 150.00 feet to the said Westerly Boundary Line of The Foothills; thence S00°26'28"E along the said Westerly Boundary Line of The Foothills (S00°11'40"E per plat of The Foothills aforesaid), 1482.43 feet to the Southwest Corner of said The Foothills aforesaid and also being on the East-West Quarter Section Line of said Section 1; thence S89°42'17"W along the Quarter Section Line, 2608.29 feet to an aluminum cap found marking the Center of said Section 1; thence N00°13'27"W along the North-South Quarter Section Line of said Section 1, 2082.65 feet to the Southeast Corner of Autumn Hills at Rose Creek Phase 1, a recorded Subdivision, the plat of which was recorded as Entry No. 7347296, in Book 99-5P, at Page 124 in the Office of the Salt Lake County Recorder; thence N00°13'27"W along the Easterly Boundary Line of said Autumn Hills at Rose Creek Phase 1 (N00°17'06"W per plat of Autumn Hills at Rose Creek Phase 1 aforesaid), 560.37 feet to a point on the proposed Southerly Right-of-Way Line of 13400 South Street (said point being 53.00 feet perpendicularly equidistant from the existing centerline of 13400 South Street); thence S89°53'23"E along the said proposed Southerly Right-of-Way, 2598.40 feet to the point of beginning. [Basis of bearing for the foregoing description = the N89°53'23"W, 2651.20 feet (as measured), being the North Line of the Northeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, between the Northeast Corner and the North Quarter Corner of said Section 1.]

Contains 156.89 Acres

Staker Parcel B

A parcel of land situated in the Southeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at the East Quarter Corner of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, said point also being S00°26'28"E along the Section Line, 2677.22 feet from the Northeast Corner of said Section 1; and running thence S00°26'20"E along the Section Line, 51.95 feet to the Northerly Boundary Line of The Foothills - Plat "A", a recorded Subdivision, the plat of which was recorded as Entry No. 3405905, in Book 80-2, at Page 47 in the Office of the Salt Lake County Recorder; thence N89°44'23"W (N89°29'20"W per plat of The Foothills - Plat "A" aforesaid) along the Northerly Boundary Line of The Foothills - Plat "A" aforesaid, 2661.77 feet to the North-South Quarter Section Line of said Section 1; thence N00°11'28"E along said Quarter Section Line, 26.15 feet to an aluminum cap found marking the Center of said Section 1; thence N89°42'17"E along the East-West Quarter Section Line of said Section 1, 2608.29 feet to the Southwest Corner of The Foothills, a recorded Subdivision, the plat of which was recorded as Entry No. 3424598, in Book 80-4, at Page 72 in the Office of the Salt Lake County Recorder; thence N89°42'17"E (N89°57'05"E per plat of The Foothills aforesaid) along the Southerly Boundary of The Foothills aforesaid, 53.00 feet to the point of beginning. [Basis of bearing for the foregoing description = the N89°53'23"W, 2651.20 feet (as measured), being the North Line of the Northeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, between the Northeast Corner and the North Quarter Corner of said Section 1.]

Contains 2.39 Acres

Staker Parcel C

A parcel of land situated in the Northwest Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at the Southeast Corner of Autumn Hills at Rose Creek Phase 1, a recorded Subdivision, the plat of which was recorded as Entry No. 7347296, in Book 99-5P, at Page 124 in the Office of the Salt Lake County Recorder, said point also being S00°13'27"E along the North-South Quarter section line of said Section 1, 613.37 feet from the North Quarter Corner of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian; and running thence S00°13'27"E (S00°17'06"E per plat of Autumn Hills at Rose Creek Phase 1 aforesaid) along the North-South Quarter Section Line of said Section 1, 914.18 feet; thence N89°50'55"W, 983.78 feet to the Southeast Corner of Autumn Hills at Rose Creek Phase 2, a recorded Subdivision, the plat of which was recorded as Entry No. 7895806, in Book 2001P, at Page 112 in the Office of the Salt Lake County Recorder; thence following the Easterly Boundary of said Autumn Hills at Rose Creek Phase 2 the following four (4) courses: N12°14'57"E (N12°11'15"E per plat of Autumn Hills at Rose Creek Phase 2 aforesaid), 81.59 feet; thence S61°46'09"E (S61°49'48"E per plat of Autumn Hills at Rose Creek Phase 2 aforesaid), 16.50 feet; thence N28°13'51"E (N28°10'12"E per plat of Autumn Hills at Rose Creek Phase 2 aforesaid), 362.53 feet; thence N46°33'45"E (N46°30'06"E per plat of Autumn Hills at Rose Creek Phase 2 aforesaid), 217.40 feet to the Southernmost Corner of Autumn Hills at Rose Creek Phase 1, a recorded Subdivision, the plat of which was recorded as Entry No. 7347296, in Book 99-5P, at Page 124 in the Office of the Salt Lake County Recorder; thence following the Southeasterly Boundary of said Autumn Hills at Rose Creek Phase 1 the following two (2) courses: N46°35'29"E (N46°31'50"E per plat of Autumn Hills at Rose Creek Phase 1 aforesaid), 199.73 feet; thence N63°46'10"E (N63°42'31"E per plat of Autumn Hills at Rose Creek Phase 1 aforesaid), 528.31 feet to the point of beginning. [Basis of bearing for the foregoing description = the N89°53'23"W, 2651.20 feet (as measured), being the North Line of the Northeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, between the Northeast Corner and the North Quarter Corner of said Section 1.]

Contains 13.39 Acres

Staker Parcel D

A parcel of land situated in the Northeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at the Northwest Corner of The Foothills, a recorded Subdivision, the plat of which was recorded as Entry No. 3424598, in Book 80-4, at Page 72 in the Office of the Salt Lake County Recorder; said point being N89°53'23"W along the section line, 53.00 feet from the Northeast Corner of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian; and running thence S00°26'28"E (S00°11'40"E per plat of The Foothills aforesaid) along the said Westerly Boundary Line of The Foothills, 53.01 feet to a point on the proposed Southerly Right-of-Way Line of 13400 South Street (said point being 53.00 feet perpendicularly equidistant from the existing centerline of 13400 South Street), thence N89°53'23"W along the said proposed Southerly Right-of-Way Line, 2598.40 feet to the Northeast Corner of Lot 101 of Autumn Hills at Rose Creek Phase 1, a recorded Subdivision, the plat of which was recorded as Entry No. 7347296, in Book 99-5P, at Page 124 in the Office of the Salt Lake County Recorder; thence N00°13'27"W (N00°17'06"W per plat of Autumn Hills at Rose Creek Phase 1 aforesaid) along the Easterly Boundary Line of said Autumn Hills at Rose Creek Phase 1, 53.00 feet to North Quarter Corner of said Section 1, thence S89°53'23"E along the Section Line, 2598.20 feet to the point of beginning. [Basis of bearing for the foregoing description = the N89°53'23"W, 2651.20 feet (as measured), being the North Line of the Northeast Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, between the Northeast Corner and the North Quarter Corner of said Section 1.]

Contains 3.16 Acres

Shipp Parcel

A parcel of land situated in the Northwest Quarter of Section 1, Township 4 South, Range 2 West, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at a point along the north-south quarter section line of said Section 1, said point being S00°13'27"E along the quarter section line from the north quarter of said Section 1, 1527.546 feet (basis of bearing being N89°53'23"W, 2651.20 feet between the northeast corner and the north quarter of said Section 1); and running thence S00°13'27"E along the quarter section line of said Section 1, 1168.441 feet to the extension of the northerly boundary of the Herriman Hills Subdivision, a recorded subdivision, the plat of which was recorded as entry No. 8277918, in book 2002p, at page 163 in the office of the Salt Lake County Recorder; thence S89°42'31"W (S89°42'16"E per plat of Herriman Hills Subdivision aforesaid) along the northerly boundary line of said Herriman Hills Subdivision, 663.629 feet to the northeast corner of lot 69 of Creek View Meadows plat 1 subdivision, a recorded subdivision, the plat of which was recorded as entry no. 8314284, in book 2002p, at page 208 in the office of the Salt Lake County Recorder; thence S89°42'31"W (S89°42'18"W per plat of Creek View Meadows Plat 1 Subdivision aforesaid) along the northerly boundary line of said Creek View Meadows Plat 1 Subdivision, 701.610 feet to the extension of the easterly boundary line of the Hamilton Ridge Estates Subdivision, the plat of which was recorded as entry no. 5577664, in book 93-8, at page 205 in the office of the Salt Lake County Recorder; thence along the extended westerly boundary line of said Hamilton Ridge Subdivision the following three (3) courses: 1) N09°14'00"E, 190.043 feet; 2) thence N39°02'30"E, 287.890 feet; 3) thence N12°11'15"E, 784.475 feet to the intersection of the southerly boundary of the Staker property and the Westerly boundary line of said Hamilton Ridge Subdivision; thence S89°50'55"E along the southerly boundary of said Staker property, 983.210 feet to the point of beginning.

Contains 30.845 Acres.