



FINISHED BASEMENTS

A HOMEOWNERS GUIDE TO APPLYING FOR A PERMIT

Converting an unfinished basement into additional living space in a home is a very popular home improvement project. This information packet has been designed to assist homeowners to prepare their permit application when they are designing a finished basement project themselves for their own private residence. The topics covered will include the following:

1. The application itself.
2. Building elements such as framing, fire blocking, and insulation.
3. Electrical requirements.
4. Plumbing requirements.
5. Special requirements for bedrooms in basements.
6. Plan Review, inspections, and closing your permit.



Whether you are planning on doing the work yourself or hiring a contractor, this information will assist you so that your application process can go smoothly and ensure that all aspects of the project have been accounted for during your planning phase.

PERMIT APPLICATION

When applying for a construction permit, the first step is to get a permit application jacket along with several forms. These forms are available at the construction office or on the Township website and is governed by the New Jersey Uniform Construction Code, otherwise known as the UCC or Administrative Code. This code is regulated by the New Jersey Department of Community Affairs and is the law that governs the permitting process throughout the state.

The first form is the Construction Permit Application (Form FI00-1-3). Make sure that boxes 1 and 2 are filled out as completely as possible. If you are designing the project yourself, and/or you plan on doing all of the work yourself, then simply put "self" as principle contractor and/or architect or engineer. Next, on page 2 you will find "Certification in Lieu of Oath." This page must be signed by either the homeowner (if the homeowner is the designer), or the agent (if the design is made by an architect or engineer). Please note: According to New Jersey law, only owner occupants of single family homes or NJ licensed architects can prepare plans for home improvement projects. **Home improvement contractors are not authorized to prepare plans for your project.**

BUILDING

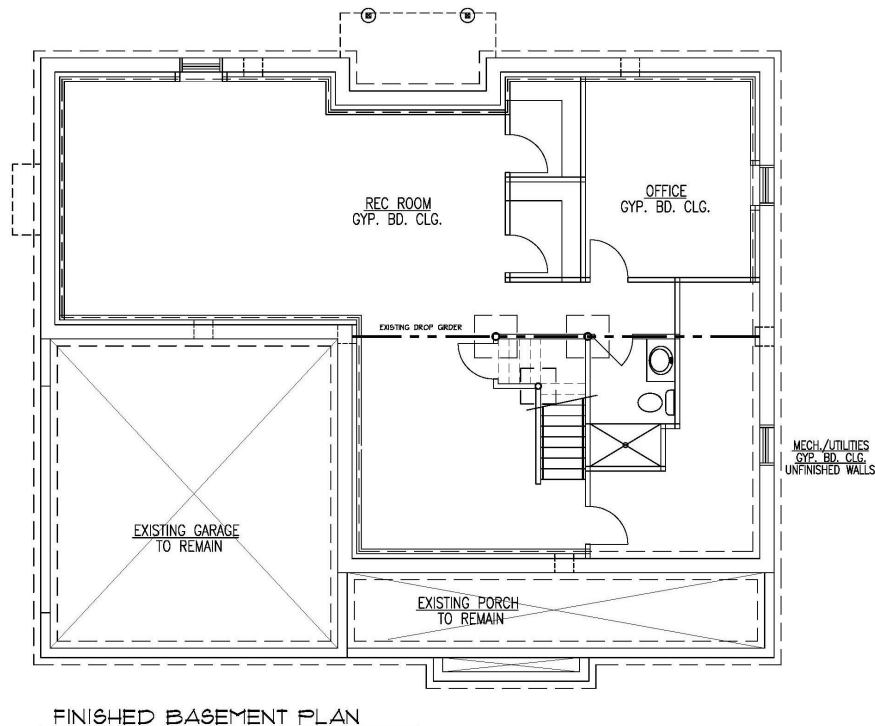
Your application must include pictures of what you intend your finished basement to look like when it is completed. It doesn't have to be a great work of art or drawn on a computer, but it does need to be drawn to scale and contain enough details so that we can make sure that all of the elements you intend to include meet or exceed the code standards (see the UCC citation to the right). Clarity is more important than neatness.

To show compliance with the Building Code, please include plan drawings and section drawings.

NJAC 5:23-2.15(F)1: Plans and specifications. The application for the permit shall be accompanied by no fewer than two copies of the specifications and of plans drawn to scale, with sufficient clarity and detail dimensions to show the nature and character of the work to be performed. Plans submitted shall be required to show only such detail and include only such information as shall be necessary to demonstrate compliance with the requirements of the code and these regulations or to facilitate inspections for code conformity.

PLAN DRAWING

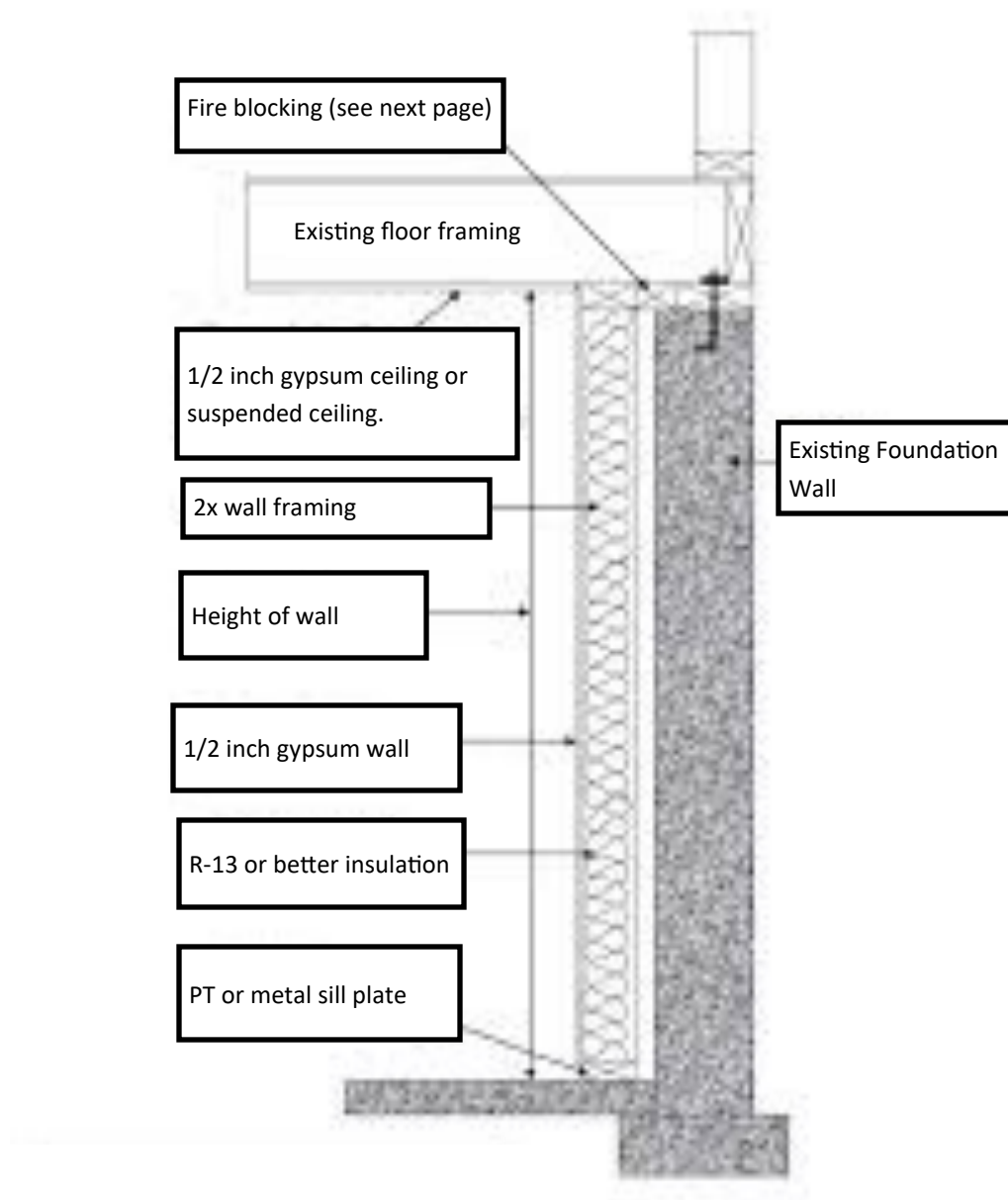
A plan drawing is the overhead view of the space within the scope of work. Locations of walls, doors, stairs, mechanical and plumbing equipment, or any other permanent elements should be identified on this drawing. If there are any existing walls or other elements that are not going to be removed, identify those elements as "existing" or, even better, provide another plan drawing showing how the space is currently configured so that all *alterations* to the space can be clearly identified. Make sure you identify the primary intended purpose for each room on this drawing such as playroom, family room, bathroom, office, gym, etc.



BUILDING

The section drawing shows a side view of a typical wall as if you were looking at a slice of the wall. This drawing shows important details pertaining to the construction of the wall including materials, insulation, and fire blocking.

FINISHED BASEMENT WALL SECTION



FIREBLOCKING

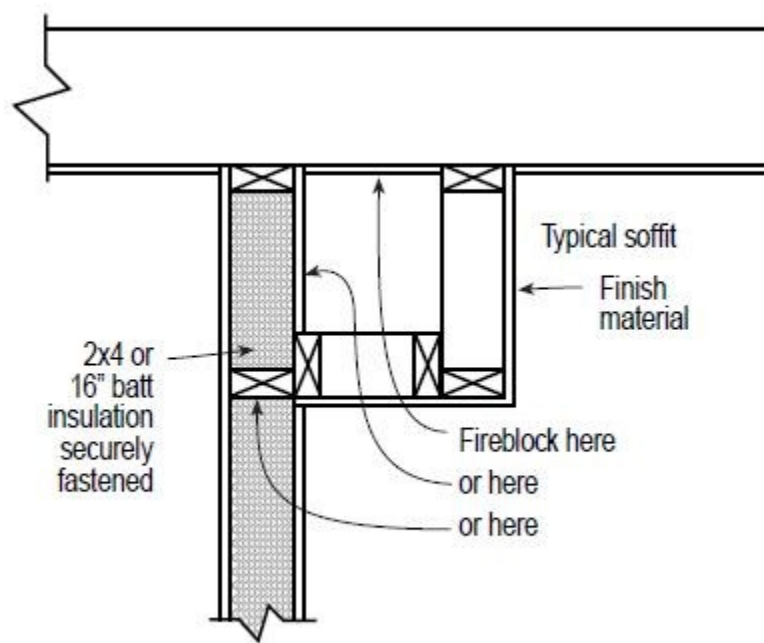
Fire blocking is the most commonly misunderstood framing detail when remodeling a home. The International Residential Code defines fire blocking as materials that are "installed to resist the free passage of flame to other areas of the building through concealed spaces." In other words, we are trying to slow the spread of fire through the structure of the house through areas that we cannot readily see, such as behind walls and ceilings.

The area between the studs in walls are concealed spaces. The area between the framing members of the ceiling system above you is another concealed space. Fire blocking uses an approved building material to separate the concealed air space inside the walls from the concealed air space in the floor/ ceiling systems so that a fire inside the wall cannot spread quickly through the house framing.

Therefore, fire blocking is to be provided in the following areas:

- A. In all concealed spaces that connect vertical and horizontal cavities, such as where the top of the wall meets the ceiling framing above and the floor framing below (see illustration below).
- B. At openings created around pipes, ducts, cables, and wires. All holes that are drilled into the top plate or the bottom plate for any reason must have the space around the penetrating item filled completely with material such as an approved caulk or foam sealant.



For more information, see sections R302.11 and R302.11.1 in the 2018 International Residential Code.



FILLING OUT YOUR BUILDING APPLICATION

When filling out the Building Subcode Technical Section (UCC F110). there are key sections that must be completed.

1. If using a professional contractor, make sure that the contractor's license number, registration number, and Federal Employment ID number are included in Section A.
2. In Section B, the most important piece of information for this type of project is the Estimated Cost of Building Work. The entire cost of the building portion is placed under number 2: Rehabilitation. Included in this amount is the estimated (and realistic) cost of materials and labor. Even if you plan on doing the work yourself and/or getting your materials for little or no cost, your estimated cost is what a professional contractor would charge you as if they were doing all the work and purchasing all new materials.
3. Make sure you sign Section C.
4. In the box in Section D, simply write a general overview or brief description of your project such as "Finished Basement". Check the box for "Rehabilitation" under type of work.
5. Don't forget to include at least two copies of your plan and section drawings with your application if required.

 <div style="display: inline-block; vertical-align: middle;"> BUILDING SUBCODE TECHNICAL SECTION </div> <div style="display: inline-block; vertical-align: middle; text-align: center;">  </div> <p>A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.</p> <p>Block _____ Lot _____ Qualification Code _____</p> <p>Work Site Location _____</p> <p>Owner in Fee _____</p> <p>Address _____</p> <p>Tel. (____) _____</p> <p>Contractor _____</p> <p>Address _____</p> <p>Tel. (____) _____ FAX (____) _____</p> <p>Contractor License No. or Builder Registration No. _____</p> <p>Federal Emp. No. _____</p>	<p style="text-align: right;">Date Received Control # _____</p> <p style="text-align: right;">Date Issued Permit # _____</p> <p>C. CERTIFICATION IN LIEU OF OATH</p> <p>I hereby certify that I am the (agent of) owner of record and am authorized to make this application.</p> <p>Signature _____</p> <p>D. TECHNICAL SITE DATA</p> <div style="border: 1px solid black; height: 150px; margin-top: 5px;"> <p style="text-align: center; margin-top: 5px;">DESCRIPTION OF WORK</p> </div>	<div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;"> <p>JOB SUMMARY (Office Use Only)</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>PLAN REVIEW</th> <th>Date</th> <th>Initial</th> <th>INSPECTIONS</th> <th colspan="4">Dates (Month/Day)</th> </tr> <tr> <th></th> <th></th> <th></th> <th>Type:</th> <th>Failure</th> <th>Failure</th> <th>Approval</th> <th>Initial</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> No Plans Required</td> <td>____</td> <td>____</td> <td>Footing</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> All</td> <td>____</td> <td>____</td> <td>Footing Bonding</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> Footing</td> <td>____</td> <td>____</td> <td>Foundation</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> Foundation</td> <td>____</td> <td>____</td> <td>Slab</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> Frame</td> <td>____</td> <td>____</td> <td>Frame</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> Other</td> <td>____</td> <td>____</td> <td>Truss Sys./Bracing</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3">Joint Plan Review Required:</td> <td>Barrier-Free</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> Elec.</td> <td><input type="checkbox"/> Plumb.</td> <td><input type="checkbox"/> Fire</td> <td>Insulation</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> Elevator</td> <td colspan="2"></td> <td>Finishes -Base Layer</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3">SUBCODE APPROVAL</td> <td>Finishes -Final</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td><input type="checkbox"/> CO</td> <td><input type="checkbox"/> CCO</td> <td><input type="checkbox"/> CA</td> <td>Energy</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3">Date: _____</td> <td>Mechanical</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3">Approved by: _____</td> <td>TCO</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3"></td> <td>Other</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3"></td> <td>Final</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> <tr> <td colspan="3"></td> <td>Barrier-Free</td> <td>____</td> <td>____</td> <td>____</td> <td>____</td> </tr> </tbody> </table> </div> <div style="margin-top: 10px;"> <p>B. 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U.C.C. F110
(rev. 07/03)

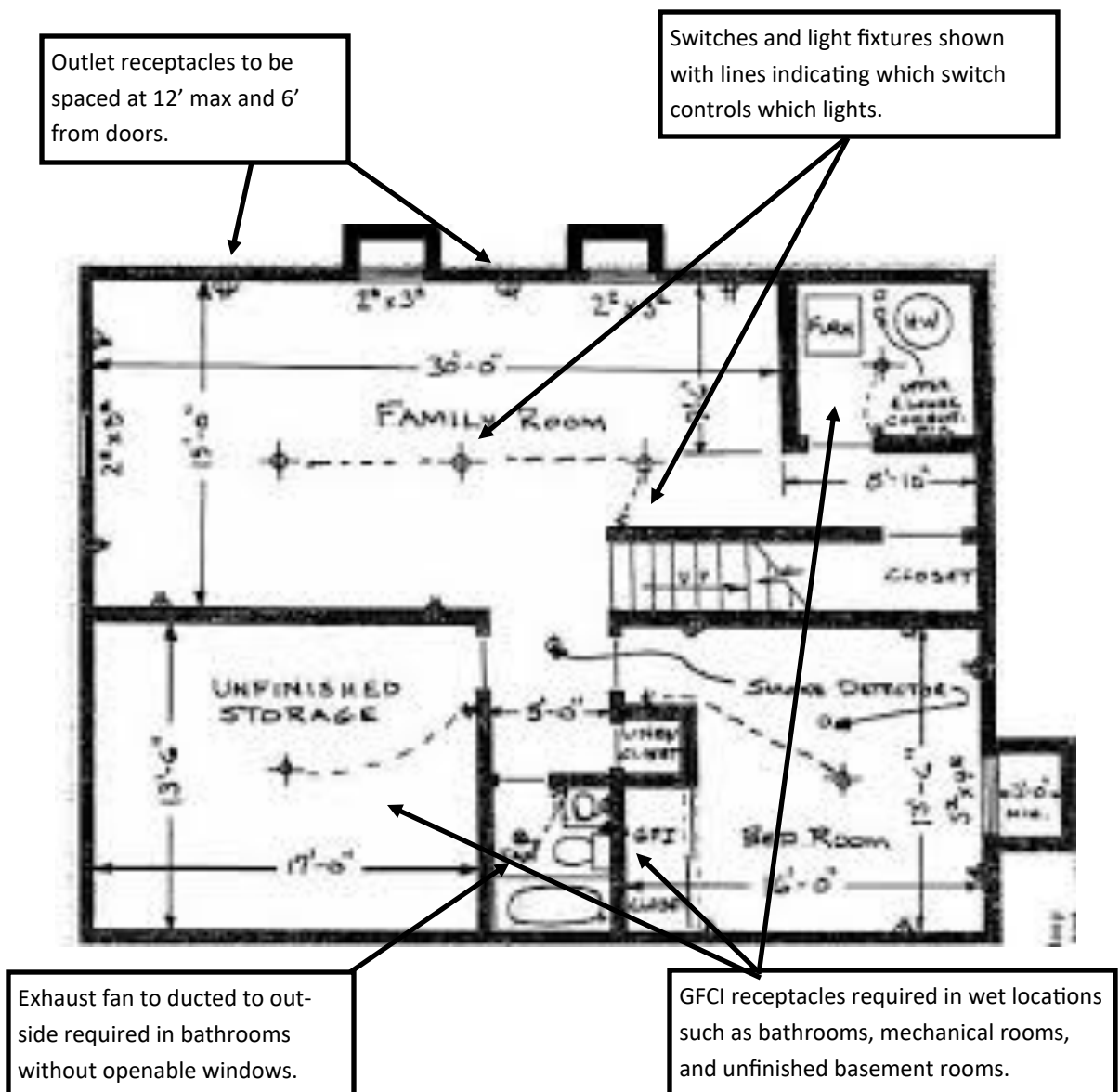
1 White = Inspector Copy
3 Pink = Office Copy

2 Canary = Office Copy
4 Gold = Applicant Copy

ELECTRICAL

WARNING: Due to the inherent risks involved with working with electricity, depending on your comfort level and experience, we would highly recommend that you hire a professional, NJ licensed, electrical contractor to help design and install the electrical components in your project. A licensed electrical contractor can fill out the electrical permit form for you and place their raised seal on your design or on a design that they draw up based on your input. The design can also be made by a NJ licensed design professional such as an architect or engineer. If, however, you feel that you are experienced and knowledgeable enough to do your own electrical work, you are allowed to do so provided that you are doing the work in your own primary residence. Just bear in mind that it is not the duty of the electrical inspector to train or instruct you as to the proper way to complete your project, and you are assuming all responsibility and liability should your project have any mishaps.


The locations of outlet receptacles, switches, and permanent light fixtures should be identified on your plan drawing, as in the example below.



FILLING OUT YOUR ELECTRICAL APPLICATION

When filling out the Electrical Subcode Technical Section (UCC F120), there are key sections that must be completed.

1. If using a professional contractor, make sure that the contractor's license number, registration number, Federal Employment ID number, and raised professional seal are included in Section A. If not using a contractor, put "self" as the contractor
2. In Section B, include just the Estimated Cost of Electrical Work.
3. Make sure you or your contractor sign Section C.
4. In the box in Section D, simply write a two to six word description of your project such as "Finished Basement". Check the box for "Rehabilitation" under type of work. Count up all of the electrical elements on your plan and place those numbers on the quantity table.
5. Don't forget to include at least two copies of your plan drawings with your application showing the locations of all electrical elements. If your electrical contractor prepared the drawing, make sure their raised seal is on the drawing.

USE ELECTRICITY UNIFORM CONTRACT CODE STATE		ELECTRICAL SUBCODE TECHNICAL SECTION				Date Received Control #		Date Issued Permit #	
A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.						C. CERTIFICATION IN LIEU OF OATH			
Block _____ Lot _____ Qualification Code _____						I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.			
Work Site Location _____						Applicant's Signature/Contractor's Seal and Signature _____			
Owner in Fee _____						<input type="checkbox"/> Licensed Elec. Contractor <input type="checkbox"/> Certif'd Landscape Irrigation Contr'r <input type="checkbox"/> Exempt Applicant			
Address _____						D. TECHNICAL SITE DATA			
Tel (_____) _____						QTY.	SIZE	ITEMS	FEE (Office Use Only)
Contractor _____						_____	_____	Lighting Fixtures	_____
Address _____						_____	_____	Receptacles	_____
Tel (_____) _____ FAX (_____) _____						_____	_____	Switches	_____
Contractor License No. _____						_____	_____	Detectors	_____
Federal Emp. No. _____						_____	_____	Light Poles	_____
B. ELECTRICAL CHARACTERISTICS						_____	_____	Motors—Fract. HP	_____
Use Group Present _____ Proposed _____						_____	_____	Emergency & Exit Lights	_____
<input type="checkbox"/> Pole/Pad # _____ <input type="checkbox"/> Temporary <input type="checkbox"/> Other _____						_____	_____	Communications Points	_____
Building Occupied as _____ Utility Co. _____						_____	_____	Alarm Devices/F.A.C. Panel	_____
Est. Cost of Elec. Work \$ _____						_____	_____	TOTAL NUMBERS	\$ _____
JOB SUMMARY (Office Use Only)						_____	_____	Pool Permit/with UW Lights	_____
PLAN REVIEW		Date	Initial	INSPECTIONS		Dates (Month/Day)			
<input type="checkbox"/> No Plans Required				Type:	Failure	Failure	Approval	Initial	
Joint Plan Review Required:				Rough	_____	_____	_____	_____	
<input type="checkbox"/> Building <input type="checkbox"/> Plumbing				Barrier-Free	_____	_____	_____	_____	
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator				Trench	_____	_____	_____	_____	
<input type="checkbox"/> Elec. Plans Approved				Temp. Serv.	_____	_____	_____	_____	
Date: _____				Constr. Serv.	_____	_____	_____	_____	
Approved by: _____				TCO	_____	_____	_____	_____	
				Other	_____	_____	_____	_____	
				Service	_____	_____	_____	_____	
				Final	_____	_____	_____	_____	
				Barrier-Free	_____	_____	_____	_____	
SUBCODE APPROVAL				Temp. Cut-in-Card Date Issued	_____				
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA				Final Cut-in-Card Date Issued	_____				
Date: _____				Annual Pool Inspection	_____				
Approved by: _____				Date of Grounding and Bonding	_____				
				Certification	_____				
U.C.C. F120 (rev. 07/03) 1 White = Inspector Copy 2 Canary = Office Copy 3 Pink = Office Copy 4 Gold = Applicant Copy									
								Administrative Surcharge \$ _____	
								Minimum Fee \$ _____	
								State Permit Surcharge Fee \$ _____	
								TOTAL FEE \$ _____	



Remember, working with electricity can be very dangerous to yourself and to your family. Only those who have received proper training should attempt to install electrical wiring or equipment.

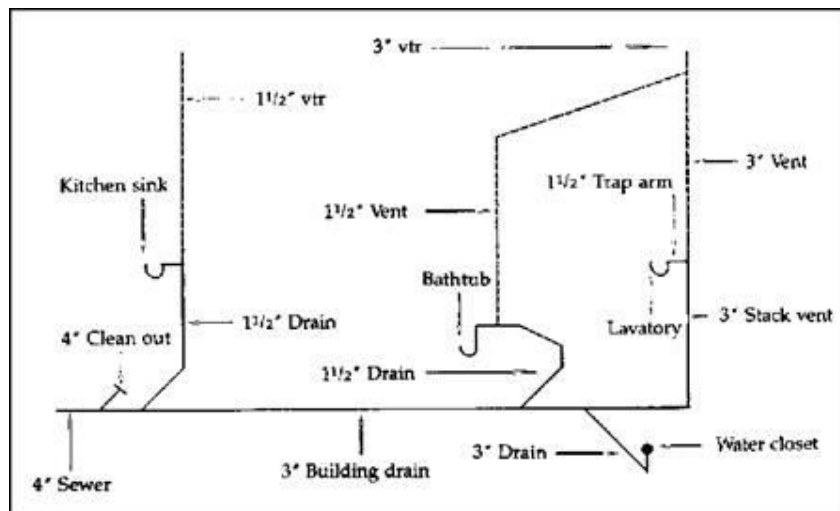
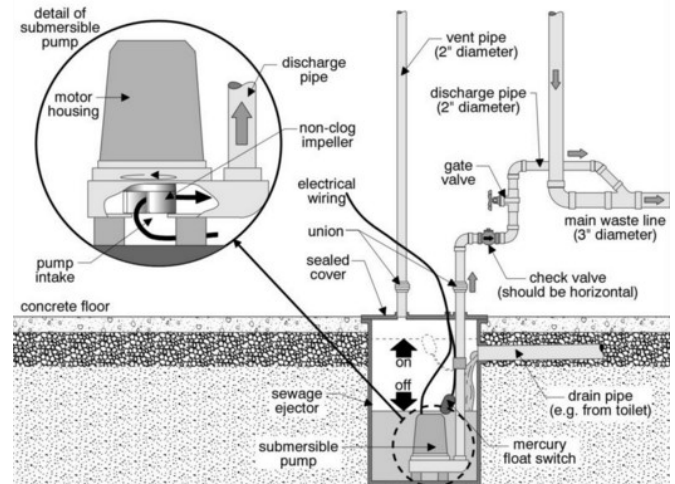
PLUMBING

WARNING: Similar to electrical, depending on your comfort level and experience, we would highly recommend that you hire a professional, NJ licensed, plumbing contractor to help design and install the plumbing components in your project. A licensed plumbing contractor can fill out the plumbing permit form for you and place their raised seal on your design or on a design that they draw up based on your input. The design can also be made by a NJ licensed design professional such as an architect or engineer. If, however, you feel that you are experienced and knowledgeable enough to do your own plumbing work, you are allowed to do so provided that you are doing the work in your own primary residence. Just bear in mind that it is not the duty of the plumbing inspector to train or instruct you as to the proper way to complete your project, and you are assuming all responsibility and liability should your project have any mishaps.

Adding a Bathroom

Including plumbing fixtures such as bathrooms or sinks into your project is a very popular option for many finished basements. In many cases, however, the main sewer or septic drain for the home is going to be located above the basement floor which requires some kind of pump to get the effluent out of the house. There are special toilets on the market today that have built-in macerators and pumps or you could install a small pump below a bar sink if you aren't adding a bathroom. Another option is to install a sewage ejection pump below your basement floor like the one pictured to the right.


Adding plumbing will also require submission of a "riser diagram". The example below represents a simple drain diagram showing the sizes of the pipes and the materials to be used. If you are not comfortable drawing a riser diagram, your licensed plumber can draw one for you and submit it with your application.




FILLING OUT YOUR PLUMBING APPLICATION

When filling out the Plumbing Subcode Technical Section (UCC F130), there are key sections that must be completed.

1. If using a professional contractor, make sure that the contractor's license number, registration number, Federal Employment ID number, and raised professional seal are included in Section A. If not using a contractor, put "self" as the contractor.
2. In Section B, include just the Estimated Cost of Plumbing work. Also, please indicate whether your water and sewer is public or private.
3. Make sure you or your contractor sign Section C.
4. In Section D, "Technical Site Data", count up all of the plumbing elements on your plan and place those numbers on the quantity table. And, in case you didn't know, a "Water Closet" is a toilet and a "Lavatory" is a bathroom sink.
5. If required, include at least two copies of your riser diagrams with your application showing the type and sizes of the plumbing pipes. If your plumbing contractor prepared the drawing, make sure their raised seal is on the drawing and on the application.



**PLUMBING SUBCODE
TECHNICAL SECTION**



Date Received _____
Control # _____

Date Issued _____
Permit # _____

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block _____ Lot _____ Qualification Code _____
 Work Site Location _____
 Owner in Fee _____
 Address _____
 Tel (_____) _____
 Contractor _____
 Address _____
 Tel (_____) _____ FAX (_____) _____
 Contractor License No. _____
 Federal Emp. No. _____

B. PLUMBING CHARACTERISTICS

Use Group Present _____ Proposed _____
 Building Sewer Size _____ Public Sewer _____ Private Septic _____
 Water Service Size _____ Public Water _____ Private Well _____
 Est. Cost of Plumbing Work \$ _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW

☐ No Plans Required

Joint Plan Review Required:

☐ Building ☐ Electric

☐ Fire ☐ Elevator

☐ Plumbing Plans Approved

Date: _____

Approved by: _____

SUBCODE APPROVAL

☐ CO ☐ CCO ☐ CA

Date: _____

Approved by: _____

INSPECTIONS Type:	Dates (Month/Day)			
	Failure	Failure	Approval	Initial
Slab				
Rough				
Water				
Sewer				
Fixtures				
Gas Equipment				
Gas Piping				
LPGas Tank				
Fuel Oil Piping				
Solar				
TCO				

D. TECHNICAL SITE DATA (List of all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
_____	Water Closet	\$ _____
_____	Urinal/Bidet	_____
_____	Bath Tub	_____
_____	Lavatory	_____
_____	Shower	_____
_____	Floor Drain	_____
_____	Sink	_____
_____	Dishwasher	_____
_____	Drinking Fountain	_____
_____	Washing Machine	_____
_____	Hose Bibb	_____
_____	Water Heater	_____
_____	Fuel Oil Piping	_____
_____	Gas Piping	_____
_____	LPGas Tank	_____
_____	Steam Boiler	_____
_____	Hot Water Boiler	_____
_____	Sewer Pump	_____
_____	Interceptor/Separator	_____
_____	Backflow Preventer	_____
_____	Greasetrap	_____
_____	Sewer Connection	_____
_____	Water Service Connection	_____
_____	Stacks	_____
_____	Other	_____
_____	Other	_____

Administrative Surcharge \$ _____

Minimum Fee \$ _____

State Permit Surcharge Fee \$ _____

TOTAL FEE \$ _____

U.C.C. F130
(rev. 01/04)

1 White = Inspector Copy
3 Pink = Office Copy

2 Canary = Office Copy
4 Gold = Applicant Copy

FIRE PROTECTION

Typically, a Fire Protection permit application is not required for most finished basement projects. However, if you intend to create an additional bedroom in your basement, you will need a Fire permit for the additional smoke and carbon monoxide alarms that are required. Also, if your home has a private septic system, you will need county approval for the potential additional strain on your existing system.

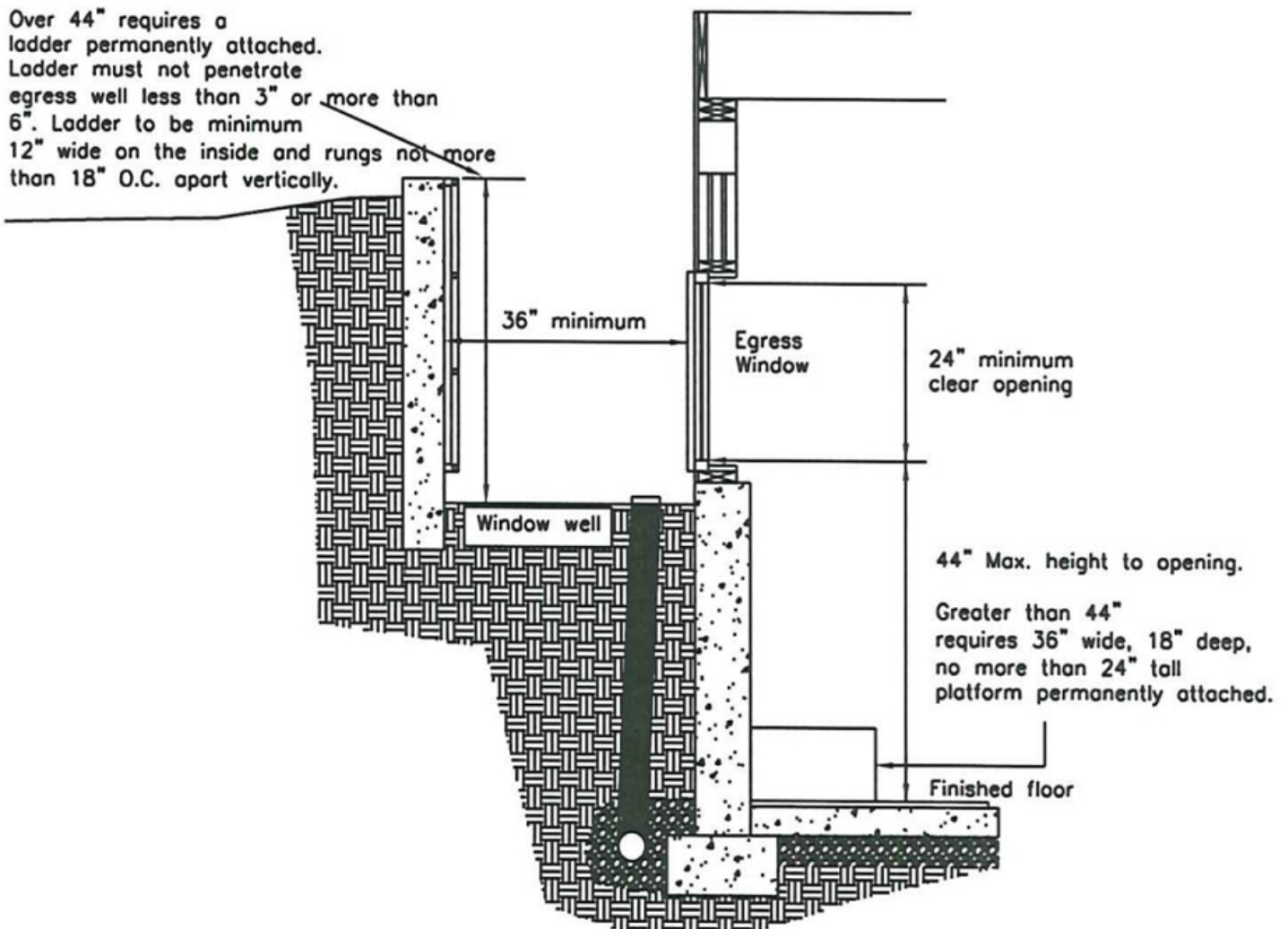
Every room in a basement being used as a bedroom must have a way to escape directly to the outdoors in the event of a fire. Most residential homes are not designed to have bedrooms in the basement, and if the only way to escape the house from the basement is using the interior basement stairs, people could become easily trapped at great risk to their lives.

The solution is to install an emergency escape window well into the foundation of the home. See the illustration below. Of course, cutting a large opening in your foundation will have structural implications so it is highly advisable to consult a NJ licensed structural engineer for a design.

SMOKE/ CARBON MONOXIDE ALARMS

Smoke alarms are required in each sleeping room, outside and in the immediate vicinity of each sleeping room (such as a hallway) and at least one unit on each level of the home including basements and habitable attics. Smoke alarms are not required in crawl spaces or unfinished attics.

Carbon monoxide alarms are required in homes that have fuel-burning appliances and/ or an attached garage. They are to be located outside and in the immediate vicinity of each sleeping room (such as a hallway). CO alarms are not required anywhere else in the home. Combination smoke/ CO alarms may be installed in lieu of two separate units where both smoke and carbon monoxide alarms are required.



FILLING OUT YOUR FIRE PROTECTION APPLICATION

When filling out the Fire Protection Subcode Technical Section (UCC F140). there are key sections that must be completed.

1. If using a professional contractor, make sure that the contractor's license number, registration number, Federal Employment ID number, and raised professional seal are included in Section A. If not using a contractor, put "self" as the contractor. Alarm systems are typically installed by either a specialized alarm system contractor or a NJ licensed electrical contractor.
2. In Section B, include just the Estimated Cost of Fire protection portion of the work. If installing an emergency escape window well as discussed on the previous page, the cost of that work will go on the Building Technical Subcode Section.
3. Make sure you or your contractor sign Section C.
4. In the box in Section D, simply write "Finished Basement". Under "Alarm Systems", place the number of smoke and carbon monoxide alarms included in the scope of your project.
5. Don't forget to include at least two copies of your plan drawings with your application showing the locations of all alarms. If your electrical contractor prepared the drawing, they can place the smoke and CO alarms on the electrical plans.

FIRE PROTECTION SUBCODE TECHNICAL SECTION		Date Received Control # Date Issued Permit #																																																																																																																																
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B. FIRE PROTECTION CHARACTERISTICS Use Group: Present _____ Proposed _____ Fuel Storage Tank: Constr. Class: Present _____ Proposed _____ Fuel Type: [] Flammable OR [] Combustible Heating System: [] New OR [] Modification to Existing Capacity _____ OR [] Conversion OR [] Replacement Location of Panel: _____ Fuel Type: [] Gas [] Oil [] Electric [] Solar Fire Alarm System: [] New OR [] Existing Other _____ Fire Suppression/Standpipe System: Location: _____ [] New OR [] Existing Location of Main Control Valve: _____ Total Cost of Fire Protection Work \$ _____																																																																																																																																		
C. CERTIFICATION IN LIEU OF OATH I hereby certify that I am the (agent of) owner of record and am authorized to make this application. Applicant sign/Contractor sign and seal here: _____ Print name here: _____ [] Certified Contractor [] Exempt Applicant																																																																																																																																		
D. TECHNICAL SITE DATA DESCRIPTION OF WORK: Water Supply Source _____ Method of Alarm/Suppression System Supervision _____																																																																																																																																		
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PLAN REVIEW, INSPECTIONS, AND CLOSING YOUR PERMIT

UNDERSTANDING THE PROCESS

PLAN REVIEW

Once you have finished filling out all of your forms and completed all of your drawings and plans, you may now submit your application to the Construction office for review. According to the New Jersey Uniform Construction Code, (NJAC 5:23-2.16(a)) the Construction office has twenty (20) business days to review your application and, if it is found to be deficient in any way, to respond in writing specifically what needs to be corrected to bring the application into compliance. Once a written re-submittal is received by the Construction office, a response to the re-submittal will be made within seven (7) business days.

If your application is denied, the response letter from each of the different plans examiners will likely contain questions for clarification and/ or code references that justify their denial. If your application is denied, here is what you should do:

First, try looking up the codes cited in the response on the internet. Just about all of the codes and standards that are used in the State of New Jersey are available for free searching and viewing on the internet. See the last page of this publication for the links to the various code books.

If you still are unsure as to what the plans examiner is asking for, by all means, call the Construction Office during regular business hours. We are here to help.

ISSUANCE OF YOUR PERMIT

After plan review is complete and your permit has been approved, you will be notified by the construction office. You will be informed as to how much your permit fee will be at this time. Permit fees are determined by the Fee Schedule which is adopted via an ordinance by each municipality under the guidelines set forth by the NJ Uniform Construction Code (NJAC 5:23-4.17). Permit fee schedules are available to the public through your local construction office and can be found on the township's website.

Construction permits are issued from your local Construction office during regular business hours. Work on your project should not get started until your permit has been paid for and issued.

Along with your paperwork will be a yellow placard that contains your permit number and a brief description of the project the permit is for. Please place this yellow placard in a window that faces the front of your property for the duration of your project.



PLAN REVIEW, INSPECTIONS, AND CLOSING YOUR PERMIT

UNDERSTANDING THE PROCESS

INSPECTIONS

Finally, after your permit has been approved, paid for, and picked up, construction may begin. You will need to stop at certain points so that our inspectors can make sure you are on the right track and that the minimum code requirements are being met.

When scheduling inspections, be sure to have your permit number and your work site address ready and allow at least 24 hours notice. Unfortunately, schedulers are unable to set rigid appointment times due to the nature and volume of inspections that are performed throughout the township but we do have qualified professional inspectors who are available Monday, Wednesday, and Friday from 8 am to 12 pm.

The following are the most common inspections that will be required for the average Finished Basement project and are scheduled in this order:

1. Rough Electrical, Rough Fire Protection, and/or Rough Plumbing
2. Building Framing
3. Building Insulation
4. Building/ Electrical above ceiling (if installing a suspended ceiling)
5. Building, Electrical, Fire Protection, and/or Plumbing Finals

This is not an exhaustive list of inspections and additional inspections may also need to be scheduled such as footings, foundations, concrete slabs, under-slab plumbing or electrical, etc. A complete list of inspections is available from the construction office.

CLOSING YOUR PERMIT

Once your project is completed, it is important to remember to schedule your Final inspections. You should not occupy, move furniture into, or otherwise use the Finished Basement until the Final inspections have been approved for your own safety. Also, if you are using a professional contractor, you are within your legal rights to withhold final payment to your contractor until all Final inspections have been approved.

After all Final inspections are approved, the permit will be automatically closed by the construction office and a **Certificate of Approval** is generated. If you would like a copy of the Certificate of Approval, a PDF copy can be emailed to you or you can request a hard copy at the construction office.

FINAL THOUGHTS...

ZONING

Most finished basement projects will not require approval from the Zoning Department. However, if you are adding an additional emergency escape window, access stairs, or anything else that effects the footprint of the house, then you will need a zoning application. Also, if you are adding a bedroom in the basement and you are on a private septic system, you will need Burlington County Board of Health approval to assure that your present septic system is capable of handling the number of occupants living in the home.

INTERNATIONAL RESIDENTIAL CODE 2018 (NJ EDITION)

The IRC 2018 is the adopted code for single family homes in the State of New Jersey. If you are designing your own project, it is a good idea to look up the codes as you are making your design.

A read-only version of this code book can be viewed at [2018 International Residential Code, New Jersey Edition | ICC Digital Codes \(iccsafe.org\)](https://www.iccsafe.org/digital-codes).

The plumbing code is the National Standard Plumbing Code 2018 and that can be viewed at [2018 NSPC New Jersey Edition \(iapmo.org\)](https://www.iapmo.org).

The electric code is the National Electric Code (NFPA 70) and that can be viewed at [NFPA 70®: National Electrical Code®](https://www.nfpa.org).

UNIFORM CONSTRUCTION CODE (UCC) FOR THE STATE OF NEW JERSEY

The Uniform Construction Code is the administrative code for all construction projects throughout the State. This very lengthy book contains all the rules and regulations regarding permits, governance, fees, enforcement, rehabilitation, licensing, etc. If you need to look up a specific regulation (such as a comment in a plan review) you can view this publication at [NJ Department of Community Affairs](https://www.nj.gov/community-affairs).

HIRE A DESIGN PROFESSIONAL

If you don't feel comfortable designing your own finished basement or if your vision for your project is more complicated than you can handle, you can always hire a NJ licensed Architect to do it for you. The advantage of hiring a design professional is that their drawings may be submitted with your application and you don't have to draw the designs yourself. Plus, you can take advantage of a professional who has years of experience and may be able to incorporate design elements that you may not have thought of.