



# TOWN HALL AND BURGESS- KIMBALL MEMORIAL PARK CONCEPT SITE PLAN REPORT

TOWN OF MILTON

FEBRUARY 2023



**DELAWARE ENGINEERING, D.P.C.**

CIVIL AND ENVIRONMENTAL ENGINEERING  
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## EXECUTIVE SUMMARY

In 2021, the Town of Milton undertook a comprehensive, multi-phase facilities assessment and planning project. This report builds from the facilities condition assessment and preliminary design report for construction of a new Highway Department Facility at 459 Rowland Street, completed as part of this project, and is focused on planning for the future of the Town Hall and Burgess-Kimball Memorial Park Site with an address of 503 Geyser Road, in the heart of the Town Center district. A public engagement process included stakeholder interviews, attendance at community events, an online community survey flyers, and Town Board and Planning Board involvement. This process, documented in this report and its appendices, revealed a While survey respondents travel outside of Milton to recreate, many visited the Town's parks; respondents commonly leave Milton for playgrounds and walking trails, representing an opportunity to meet these needs in the Town. In terms of the future of the Town Hall and Burgess-Kimball Memorial Park Site, there was strong support for providing additional public and recreation amenities, such running trails, pavilions or picnic areas, and playgrounds. There was mixed support for other types of uses, such as commercial development, though restaurants and other similar businesses received support. Additional housing development was not supported. An Opportunities Map, derived from the condition assessment process and Planned highway Department relocation, is included to illustrate unconstrained areas of the Site. Based on the Opportunities Map, two Alternative Conceptual Site Plans showing different configurations and space allocations among various site elements, including active recreation, passive recreation, public facilities and amenities, open space, commercial/mixed-use development, connectivity, accessibility, and mobility. Next steps, planning-level cost estimates, and potential funding sources are summarized in an Implementation Matrix.



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## PROJECT BACKGROUND AND HISTORY

In 2021, the Town of Milton sought assistance to undertake a comprehensive, multi-phase facilities assessment and planning project. Over the past decade, the Town has actively made investments in and studied its needs for various Town facilities, including Town Hall and the Highway Department facilities. This project was intended as an extension of those efforts and, rooted in a detailed condition evaluation, to develop an integrated plan for the Town's facilities to support capital planning and to ensure efficient delivery of Town services. An inclusive, transparent, public engagement process was also envisioned as an integral component of this multi-phase effort.

In the first phase, the objectives were to assess the condition of the Town's existing structures and facilities and make recommendations as to repairs or other investments needed to address life cycle, programmatic, structural, and other issues identified during the assessment. Of particular emphasis was the Town Highway Department, and the condition assessment revealed that the facilities supporting the Highway Department located at 503 Geyser Road (also the site of Town Hall) were either functionally or structurally obsolete and, ultimately, in need of replacement. As part of a second phase, a preliminary design study was conducted pursuant to condition assessment and recommendations for these facilities, and the preliminary design report focused on construction of a new Highway Department Facility at the 459 Rowland Street site, which the Town had previously acquired.

With the relocation of the Highway Department Facilities, a third phase of the project centered on planning for the future of the 503 Geyser Road site (hereinafter, the "Town Hall-Burgess Kimball Memorial Park Site" or "the Site"). In this phase, the results of the condition assessment, space made available by relocation of the highway facilities and operation, and public and stakeholder input were used to conduct a concept site planning process for the future of the Town Hall-Burgess Kimball Memorial Park Site. An Opportunities Map depicting those portions of the Site available for development and investment was developed. From the Opportunities Map, two conceptual site plans, Alternative 1 and Alternative 2, were prepared. Finally, a Next Steps section includes planning-level cost estimates and provides potential next steps in order for the Town to make progress toward turning the concepts these plans put forward into projects and investment in the Site, which lies at the heart of Milton's Town Center.

This report summarizes the results of this third phase, including concept plans for the Town Hall-Burgess Kimball Memorial Park Site and it documents the process producing these results.

## **PUBLIC ENGAGEMENT PROCESS AND SUMMARY**

Involving and engaging the public was viewed as an integral component of the development of the Concept Site Plan. This section describes the various means by which the Town engaged with constituents and summarizes feedback and input received. The next section traces key themes encountered across the entire public engagement process.

### **PUBLIC ENGAGEMENT HIGHLIGHTS AND KEY THEMES**

- Residents appear to regularly recreate outside of Milton, most frequently for hiking and biking. Of all the activities residents leave Milton to engage in, Hiking, Sports, Walking/Trails, Swimming, and Bicycling account for 54%.
- Residents also appreciate and use facilities in the Town, such as walking trails, playgrounds, and pavilions.
- Taken together, feedback received suggests that the Town's existing recreation facilities can be improved upon by making investments in existing amenities and strategically adding new amenities. For example, survey respondents (n = 288) were split about whether the Town's existing recreation facilities are meeting their needs, with 52% stating no and 48% yes. Feedback received from both survey respondents and stakeholders indicates support for maintaining and adding more capacity of existing facilities.
- Residents have clearer opinions about what outdoor vs. indoor amenities they would like to see in the Town of Milton. Outdoor amenities that were "very important" to a majority (>50%) of respondents included walking or running trails, pavilions or picnic areas, playgrounds, and splash pads or pools. In contrast, pools were indoor amenities that were "very important" to 43%.
- Support for redevelopment focused on commercial uses and new businesses varied. On the one hand, less than a fifth of respondents disagreed or strongly disagreed that it is more important to add new businesses and jobs to our community. Restaurants were an important conceptual use, ranking in the top 5 for 66% of respondents. But respondents also indicated that commercial and business development should occupy a smaller portion of the site and be a lower priority.
- Survey responses also show very little support for housing development. In response to one questions, respondents said only 6% of the site's land area should be dedicated to

housing. As well, 67% of survey respondents indicated that they disagree or strongly disagree that it is more important to build more housing for our community as part of redevelopment.

- Although recreation, open space, and green development should be priorities, survey respondents indicated an openness for a mix of uses. When asked to choose two statements among six that most closely represented their stance for the future of the site, 35% of respondents said that a mix of housing, businesses, and open space should be equal priorities on the site.

### **OCTOBER 9, 2022 THE WAY WE WERE CAR SHOW**

Project Team attendance at the event served several purposes, including interacting with members of the public about the project, launching the online Community Survey, and providing ways for event attendees to share their ideas for the future of the site. Specifically, attendees were asked to place “sticky” notes with their ideas on a Map of the Existing Site; during conversations with attendees, Project Team members also wrote down ideas and placed sticky notes on the map. In addition, a second foam board with nine images depicting future land uses, development opportunities, and design concepts for attendees to indicate their preferences and feedback (the Visual Preference Board).

In total, 38 stickies were placed, 32 on the Map and 6 on the Visual Preference Board. A detailed synopsis of responses is provided in Appendix A. Input received fell across a number of different categories and is summarized in the following table.

*Table 1. Summary by category of Map and Visual Preference Board feedback*

Category	Contribution
Events	Farmers Market
	Outdoor music will bring me to Milton
	Outdoor music!
	Yard sale
	Parties
Indoor Recreation	Indoor play spaces
Open Space	Expand parkland
Outdoor Recreation	Bike rental
	Jogging paths
	Multi-use fields
	Outdoor exercise equipment
Parkland Amenities	Accessible paths
	Biking trails
	Dog Park
	Keep [Rowland St] Playground

Category	Contribution
	Keep Pavilions
	Racetrack
	Separate bike trails
Public Facilities	Cooling/heating center
	Community Center
Redevelopment	Brewery
	Build to street/0' setback
	Casino
	Commercial/services to support residential
	If mixed use, make sure commercial exists
	Mixed Use Buildings
	Restaurants!
Sports Facilities	Frisbee golf
	Pickleball
Transportation/ Connectivity	Address fence as barrier to park pedestrian access
	Bike share
	Connection [between the east and west ball field areas]
	Connection to Adjacent Businesses
	Connection to Saratoga West [neighborhood to the south]
	Crosswalk [on Rowland St]
	Sidewalks [along Rowland St]

A number of contributions addressed accessibility and mobility relating to the site and how it is connected to adjacent neighborhoods and businesses. Sidewalks along Rowland Street and crosswalks were mentioned several times. A number of parkland amenities were also mentioned, including dog parks, biking and walking trails and paths. Ideas related to redevelopment opportunities broadly revolved around mixed uses, with a focus on commercial uses. Space for a variety of events, including outdoor music, was desired. Accommodating outdoor recreation pursuits and sports activities were also mentioned.

### **PROJECT WEBSITE: REIMAGINEMILTON.ORG**

A project website, [www.reimagineilton.org](http://www.reimagineilton.org), was created in order to provide information to the public about the project and publicize the community survey. An image of the website is included as Appendix B.

### **COMMUNITY SURVEY**

An online survey instrument consisting of 20 questions was developed with two broad aims: 1) understanding community members' recreation activities and needs and 2) gauging desired future land uses and site elements with regard to the future Municipal Complex and Burgess-Kimball site. The survey was developed using SurveyMonkey and

launched on October 9, 2022 (to coincide with the Project Team's tabling at The Way We Were Car Show). A copy of the survey instrument and detailed responses are included as Appendix C.

The survey was publicized on the Town's website, via the Town's social media accounts, and on the ReimagineMilton website. Handout Cards (a copy is included as Appendix D) were distributed at the October 9, 2022 event and made available at Town Hall afterward. In the months of November 2022 and December 2022, Town staff distributed approximately 500 Door Hangers (see Appendix D) to neighborhoods in Milton. Both the Handout cards and Door Hangers were intended to help publicize the project and the Community Survey.

A total of 285 responses were recorded, with 96% of respondents indicating that they live in the Town of Milton, with almost 65% of those stating that they've lived in Milton for more than 10 years. About a 20% indicated that they've lived in Milton for between 1 and 5 years. About 36% of respondents indicated that they shop or play in Town. This remainder of this section presents a summary of the two prongs of the survey.

### **Recreation Activities and Needs**

- Walking or running (77%), biking (41%), visiting playgrounds (41%), hiking (39%), playing sports (37%), swimming (30%), and canoeing or kayaking (25%) were the most common activities respondents engaged in. In the Other category, respondents also specified pickleball (6 respondents), snowshoeing (4 respondents), and dog walking/parks (4 respondents).
- Eighty-two percent of respondents visit the Town's parks with over half stating that they visit for the playgrounds and walking trails. At least 30% of respondents stated that they visit the Town's parks to spend time with family (48%), exercise (41%), and to socialize (30%).
- Only 11% of respondents had never visited a Town of Milton park in the past year, with more than 50% visiting between 6 and 24 times.
- Respondents were divided as to whether the Town's recreation facilities meet their needs, with 49% stating Yes and 51% stating No.
- Most respondents appear to use area recreation facilities in addition to those in Milton. A majority of respondents (65%) state that they travel outside the Town to use recreational facilities; about 24% stated that they "always" do.
- When asked to rate the top three activities they engage in outside of Milton, respondents indicated hiking (top 1 and 2 activities) and biking (third most important activity). Table 1, below, shows all 730 responses broken down into various categories. Hiking, Sports,



Walking/Trails, Swimming, and Bicycling, which account for 54% of the activities people leave Milton to undertake.

*Table 2. Open-ended responses to activities engaged in outside of Milton*

Category	Number of Mentions	Percent
Hiking	94	13%
Sports	87	12%
Walking/Trails	80	11%
Swimming	72	10%
Bicycling	61	8%
Playgrounds	45	6%
Other	35	5%
Boating/Paddling	29	4%
Water Activities	26	4%
Snow Sports	24	3%
Dog-Related	23	3%
Exercise	20	3%
Entertainment/Food	18	2%
Picnic	16	2%
Hunting/Fishing	16	2%
Events	14	2%
Nature	14	2%
None	14	2%
Other Parks	11	2%
Shopping	8	1%
Youth-Oriented	6	1%
Socializing	6	1%
Camping	6	1%
Indoor Recreation	5	1%
Grand Total	730	100%

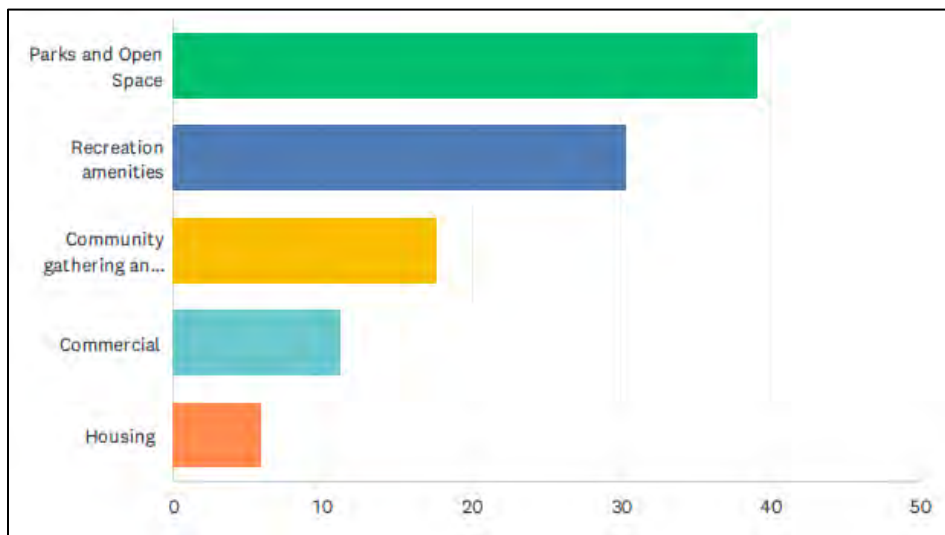
- With regard to outdoor amenities: Over half of respondents indicated that walking or running trails, playgrounds, pavilions/picnic areas, and splash pad/pool were very important outdoor amenities. Conversely, football and lacrosse fields were “not important” to a majority of respondents. Sports fields and courts, in general, generated more mixed responses, with similar percentages also stating that these amenities are somewhat important. Other responses mentioned disc golf, bathrooms, and sidewalks.
- With regard to indoor amenities: Pools were very important to 43% of respondents, but other indoor amenities generated more mixed responses, though majorities (>50%) said

that pickle ball courts, tennis courts, volley ball courts, and ice hockey rinks were “not important.” Indoor playgrounds were mentioned most frequently of write-in responses.

- The write-in, open-ended responses echoed input received from other questions. A number of comments related to the seasonality of needs and opportunities. Number of responses were focused on connectivity, access, and mobility, with bicycling and pedestrian facilities identified as both recreation and transportation needs. Several responses indicated that costs and fiscal responsibility should be attended to.

## Future Site Plan

- Respondents overwhelmingly ranked residential development as the lowest priority use site of the Municipal Complex and Burgess-Kimball site. Outdoor recreational facilities (i.e., soccer, lacrosse, football, etc. fields), Indoor recreational facilities (i.e., soccer, tennis, ice hockey etc.), and restaurant(s) were the ranked top three conceptual site uses.
- Fifty-one percent of respondents strongly agreed that it is more important to provide additional recreation opportunities, with 85% agreeing or strongly agreeing. Thirty-six percent strongly agreed that it is more important to limit development and maximize open space. On the other hand 67% disagreed or strongly disagreed with building more housing on the site.
- When asked about the proportion of the site that should be devoted to various uses, on average, Parks and Open Space should be about 40% and Recreation Amenities 30%, as shown in the figure below:



*Figure 1. Average percentage of future site plan to be devoted to various uses*

- Thirty-five percent of respondents said that a mix of housing, businesses, and open space should be equal priorities on the site. Residents expressed support for the Town to actively encourage redevelopment of the site. New business and housing were the lowest priorities.

- When asked to provide additional open-ended responses, common themes were to minimize the role of housing, create more recreation opportunities, and preserve community character. One response sums it up well: "This whole area has become saturated with residential development already, I feel this should be at the bottom of the list of options. A place for residents to gather for recreation, entertainment and social events should be encouraged, there are fewer and fewer rural areas left, I would love to have it keep a smalltown feel."

## Stakeholder Interviews

The Project Team conducted outreach to various stakeholder groups. This section summarized feedback received.

### *Ballston Area Community Center (BACC) and Ballston Area Recreation Commission (BARC)*

Members of the Project Team also engaged with members of community organizations BACC and BARC. BACC is a not-for-profit corporation serving youth, ages 5 to 18, who live in the Ballston Spa School District and surrounding area and provides a variety of youth-oriented programming. BACC's Executive Director, Colleen Russo, indicated that additional community space for various indoor activities, such as sports and programming for both the young and seniors, is needed. Investment in the Town's existing playground amenities is also a need. A summary of this discussion is included as Appendix E. Project Team members also corresponded with BARC Executive Director, Nora Osuchowski. BARC provides low cost recreational programs to families in the Ballston Spa School District and surrounding area. In an email, Ms. Osuchowski indicated that "indoor gym space, athletic fields and a community room. During the winter months there is never enough space anywhere to run sports activities and classes. And field space is also something that fills up quickly the rest of the year. There are so many club organizations and adult rec programs and they never have enough space."

### *Land Development Community*

On October 13, 2022, the Project Team met with land development community stakeholders involved in both housing and commercial development and active in both the Town and the wider region. Meeting notes are presented in Appendix F. With respect to the future of the site, the thrust of the feedback provided revolved around making investments in existing and new community amenities and open space. Paraphrasing

one comment, "The Town has an important asset in the ~20 acre site, and if I had that land I wouldn't sell it."

With regard to redevelopment, other input focused on making sure any projects fit into the Town Center planning concept, which has been in place for over 15 years; making sure that any development or projects are of the highest quality; and to create a community hub of activity. The group generally agreed that Town hall should remain on the site as part of the anchor.

## **PUBLIC MEETINGS**

The Town conducted the following public meetings as part of the public engagement process:

- December 28, 2022 Town Board Meeting – As part of the Town's Facilities Planning Initiative, the Town Board heard a presentation from the Project Team. This presentation focused on the need for and design requirements of the new Highway Department Facility. The Opportunities Map was presented to the Town Board in the context of the planned and recommended relocation of the Highway Department facility to the Rowland Ave site. A copy of the slide deck presented at that meeting is included as Appendix G.
- March 8, 2023 Planning Board report and recommendation [*anticipated*]
- March 22, 2023 Town Board Presentation [*anticipated*]

The Facilities Committee led the development of this document. Upon the conclusion of the public engagement process, as outlined above, it is anticipated this document will be offered to the Town Board for the Board to consider its adoption.

## **OPPORTUNITIES MAP**

Building from the analysis and recommendations detailed in the Condition Assessment and New Highway Facility reports, elements of the existing Municipal Complex and Burgess-Kimball site that both will remain as is or are planned to be developed were mapped. The resulting "Opportunities Map" represents the first step in planning for the future of the Municipal Complex and Burgess-Kimball site.

To develop the Opportunities Map, areas involving planned or required development were first identified. In the next step, those facilities shown to be in good condition and currently meeting the Town's needs were also identified. The resulting list, which





Opportunities  
Map

LEGEND  
Parcel Boundary  
Town Boundary

Prepared by: Delonius Engineering, LLC  
Date: August 2022  
Source: ESRI, Satellite Imagery, NYS GIS Prog. Office





represents constraints to future site plan in the sense that these elements will consume space and/or will remain in place, includes the following site elements:

- Town Hall and Planned Expansion – The Condition Assessment showed the existing Town Hall and Town Court facilities to be in good condition. In addition, the Town indicated that the future site plan should provide for a roughly 50% expansion of the existing Town Hall facility.
- Geyser Road and Rowland Street Intersection Realignment – The Town has identified the need to accommodate potential modifications to this intersection. Geyser Road and Rowland Street intersect at a skewed angle, and this condition presents various safety and mobility issues, including for certain movements for trucks through the intersection. This portion of Geyser Road is classified as a rural minor arterial, and Rowland Street classified as a rural major collector; both roadways are on the federal-aid highway network.
- Ambulance Facility – The Milton Community Emergency Corps has acquired 1.7 acres located in the northwesterly portion of the Municipal Complex and Burgess-Kimball site. A new ambulance garage will be constructed on what currently is a CDTA Park and Ride Facility.
- CDTA Park and Ride Facility – The Town desires that the CDTA Park and Ride facility be retained. The Ambulance Facility site plan would provide access to Geyser Rd through a shared curb cut to the west, and the Park and Ride facility's approximate size of 80 spaces would be retained by shifting its location immediately to the east.
- Pavilions and Restrooms Facility – The two existing pavilions, the 1990 Pavilion #1 (East) and 1990 Pavilion #2 (West), as well as the 1993 Bathroom/Storage Facility situated in between were found to be in good condition, meeting the Town's needs, and would remain in their current locations.

In addition to this list, it should be noted that the Geyser Road Playground equipment was found to be in good overall condition. Given the relative ease with which the equipment can be relocated on the site, this area was identified as unconstrained. Another constraint is the existing 100' wide utility easement to National Grid running along the southerly line of the Site and then southwesterly, through the Woodthrush Park parcel to Skylark Drive. The easement lands appear to contain natural gas distribution and/or transmission lines

The foregoing list of "constraints" were mapped as shown on the following figure. Blue overlay indicates planned development and orange overlay indicates existing development to remain. Subtracting these polygons from the existing site, the Opportunities Map illustrates parts of the site for which future site planning can be

undertaken. Finally, using image editing software, the existing Highway Department Facilities were also eliminated from the map to show underlying opportunities in these areas once the Department relocates to the new facility.

## CONCEPTUAL SITE PLAN

Two Conceptual Site Plans were developed using information, documented in this report, from the public and stakeholder engagement processes, consultation with the Facilities Committee, and the Opportunities Map. The two plans share several common elements, as detailed in Table 3.

*Table 3. Conceptual site plan elements*

Site Element	Description	Example(s)
Active recreation	A structured individual or team activity that requires the use of special facilities, courses, fields, or equipment	Tennis courts; dog park
Passive recreation	Minimally developed areas for uses not requiring prepared facilities, such as wildlife observation, walking, and biking	Natural surface trail
Public Facilities and Amenities	Structures and other improvements, typically with a vertical construction component, for community or civic uses	Town Hall; Recreation Center
Open Space	Undeveloped or green space which can have complementary passive recreation facilities	Forested areas and corridors
Commercial/Mixed-Use Development	Spaces allocated to private development,	Restaurants; shops; second story dwelling units

Site Element	Description	Example(s)
	some of which can have a residential component	
<b>Connectivity, Accessibility, and Mobility</b>	Movement of people through the site and ability to travel to destinations within and beyond the site	Shared-use path for internal, non-motorized traffic; crosswalks connecting to adjacent neighborhoods and businesses

### CONCEPTUAL SITE PLAN ALTERNATIVES

This section details two alternative site plans developed through the foregoing process. Both concepts leverage the adjacent Town-owned lands to the south and west to provide both connectivity to the Wood Thrush Court neighborhood and additional natural surface trails. In addition, both concepts provide for construction of a link between the site and neighborhoods to the south, to be constructed along Rowland Street, intended for non-motorized traffic.

#### **Alternative 1**

This alternative emphasizes Active Recreation, Public Amenities, and non-motorized Connectivity while preserving and increasing access to Open Space. Limited Commercial/Mixed-Use

development is incorporated. Town Hall expansion and other community facility development would be sited to frame and emphasize the importance of the Rowland-Geyser intersection as a point of arrival in Town and a focal point of the Town Center area.

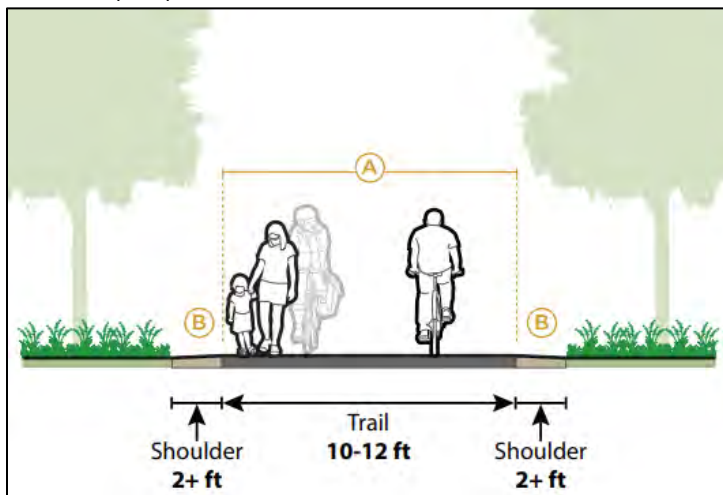


Figure 2. Example shared use path cross section (Source: Sullivan County, NY Trail Design Guidelines, 2019)





Prepared by: Delaware Engineering, DPC  
Date: January 2023  
Source: ESRI, Saratoga County, NYS GIS Prog. Office

0 55 110 220 330 Feet





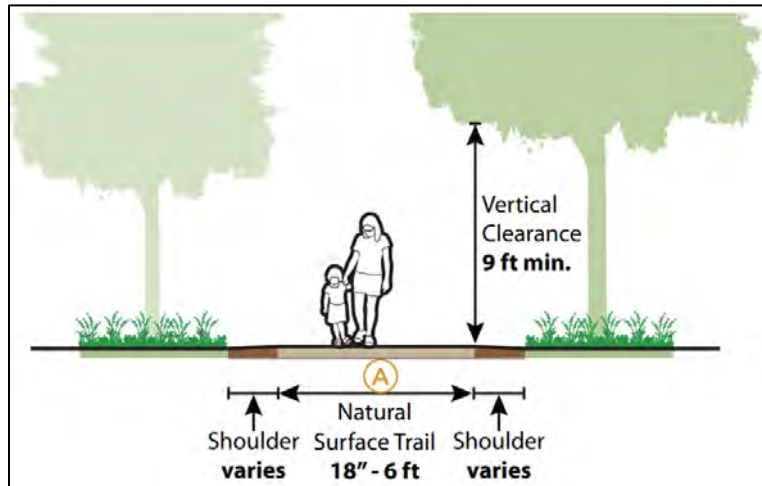


Figure 3. Example natural surface trail cross section (Source: Sullivan County, NY Trail Design Guidelines, 2019)

Another important feature of this concept is creation of a formal non-motorized circulation system anchored by a shared use path, which is intended to provide mobility and accessibility within the site and between the site and surrounding destinations and trip generators. A secondary network of natural surface paths, which could range from single-track paths or be

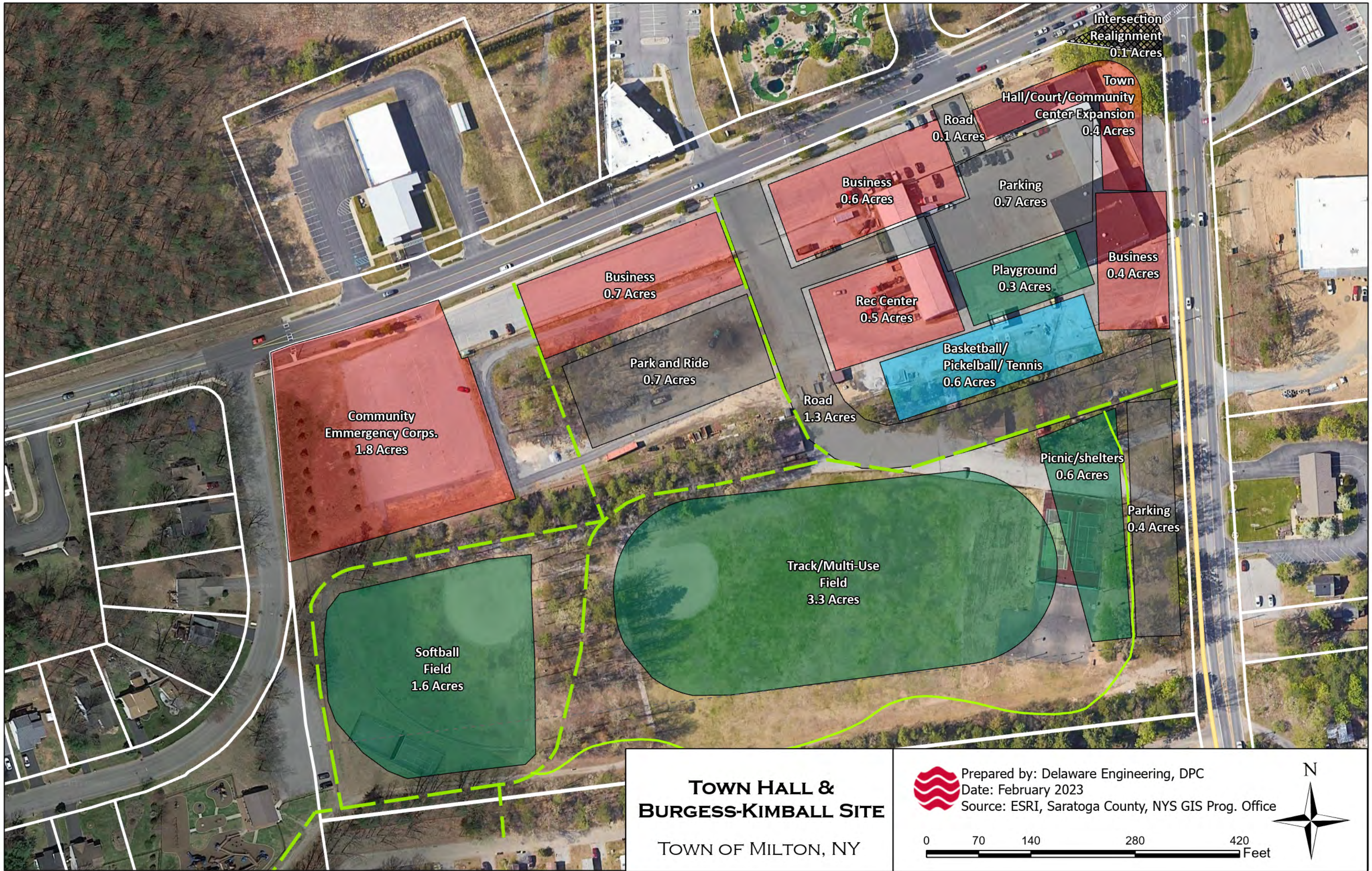
improved to a 6' tread width comprised of hard surface, Example cross sections are shown in Figure 3 and Figure 2. An approximately 0.6 acre park would be provided adjacent to and framed by an expanded Town Hall. Substantial increases in Active Recreation areas include: a Track/Multi-Use Field, Dog Park, and a relocated playground, tennis court, and basketball court. A portion of the site, along Geyser Road, would be devoted to commercial/mixed-use development.

## Alternative 2


Like Alternative 1, Alternative 2 would strengthen Active Recreation and Connectivity but with a greater focus on Public Facilities and Commercial/Mixed-Use areas. A roadway designed with non-motorized users in mind that would connect Geyser Road and Rowland Street would also increase multi-modal Connectivity and accessibility.

A central feature of this plan involves construction of a new roadway through the site. The road design should accommodate and address the needs of all road users. An example cross section is provided in **Error! Reference source not found.**, below. Other treatments, such as cross-walks and driveway crossings of any sidewalks or shared use paths should also be considered.







**TOWN HALL &  
BURGESS-KIMBALL SITE**  
TOWN OF MILTON, NY



Prepared by: Delaware Engineering, DPC  
Date: February 2023  
Source: ESRI, Saratoga County, NYS GIS Prog. Office

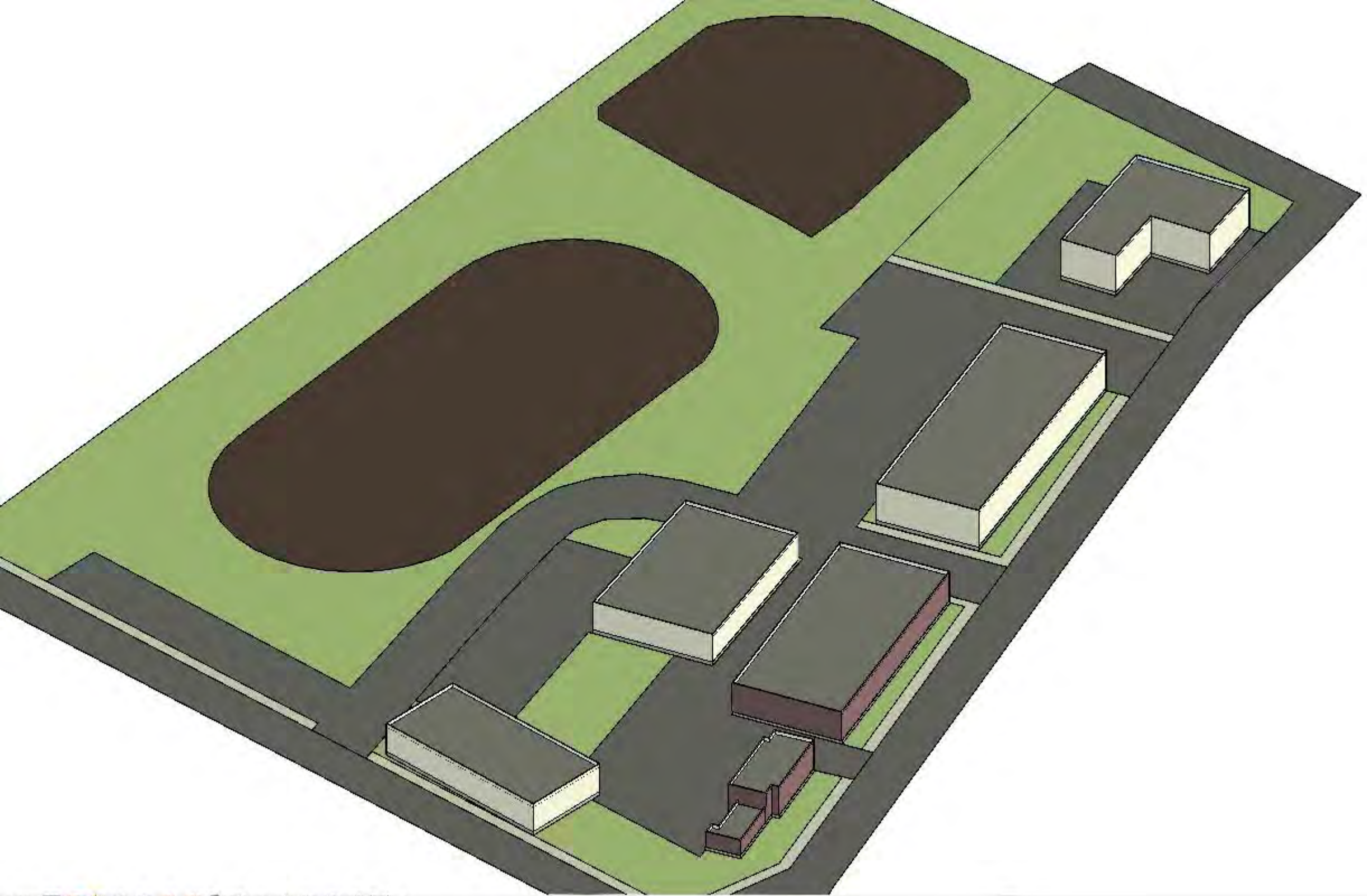


N



0 70 140 280 420 Feet





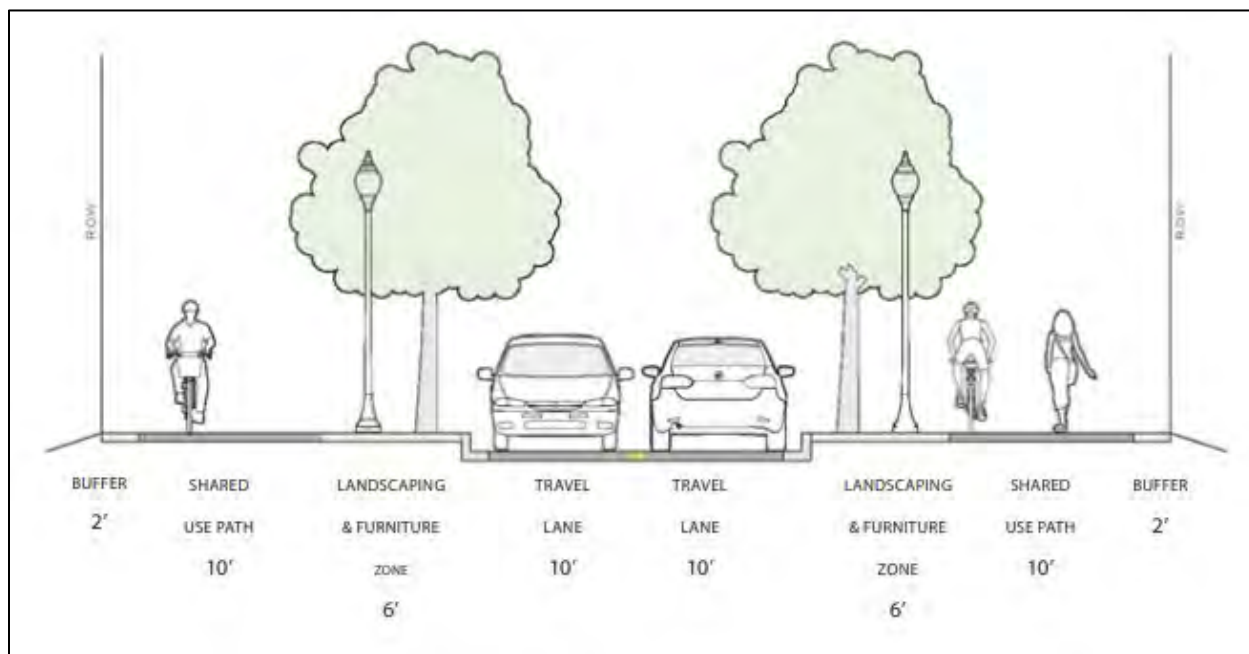


Figure 4. Example 56' park boulevard cross section (source: City of Gaithersburg, MD)

In addition, this plan also involves development of a Town Rec Center. Among the sites suggested as a model is the Town of Malta's David R. Meager Malta Community Center. From a programming standpoint, Malta's facility addresses a range of needs, from a full size gymnasium, fitness programs, and multi-purposes/meeting rooms, to a café area, public access computers and internet, and support for emergency needs, like meals and

a food pantry. At about 25,000 square feet, the facility also supports the Town's Parks and Rec Department and a branch of the Round Lake Library.



*Figure 5. Town of Malta David R. Meager Malta Community Center (source: Town of Malta)*

The areas shown for future Commercial/Mixed-Use development are situated within the Town's Town Center Zoning District. Existing Design Guidelines applicable to this District address walkability, relationship of buildings to the street, and set forth a number of architectural, landscaping, and other design principles designed to promote a compact,

human-scale urban form. The Town can also apply these principals when developing portions of the site itself, such as the Community and Rec Center.

### **OTHER RECOMMENDED SITE PLAN ELEMENTS AND CONSIDERATIONS**

An important part of Connectivity is the ability for those visiting the site to navigate within and understand what is available there. The concept of Wayfinding addresses the ability of people to get from point A to point B but also encompasses how safe people feel in a space and can encourage visitors to discover unknown or unfamiliar parts of the site. While static signage is perhaps the most familiar aspect of a wayfinding system, others include: digital information provided through, e.g., smartphones; printed materials available from Town Hall or area businesses; and people-to-people interactions of the sort that having Town Hall on the site can facilitate. Marketing and branding can also reinforce and be part of any wayfinding system.<sup>1</sup>

While intended to support a regional trails network, the Capital District Trails Plan, developed by the Capital District Transportation Committee, provides a branding and

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<sup>1</sup> See Katie Osborn, PAS MEMO, "Wayfinding: The Design of Getting Lost and Found," *American Planning Assn.*, March/April 2018.

marketing strategy illustrating some of the four wayfinding elements. In addition, Sullivan County, NY, has assembled wayfinding guidelines in their *Trail Design Guidelines*. Excerpts of these two documents with relevant information are included as Appendix I.

Especially with respect to future public and recreation facilities, the Town can implement a concession program to enhance recreation offerings, help fund these offerings, and develop a source of revenue. Concessions involve a grant for private use of Town-owned property for a fee. In these arrangements, a licensing fee is typically charged for, e.g., use of space, as a ratio of business activities occurring under a license (e.g., a percentage of gross receipts), etc. Concession contracting would be governed by Town and NYS procurement rules as well as the NYS Finance Law.

## **NEXT STEPS**

To assist the Town in taking steps to develop the site plan, planning level cost estimates and funding sources have been developed for site plan elements the Town can or would take a lead role in developing, funding, and implementing, and this information is included as Table 4. Also included is a description of next steps. The remainder of this section discusses details relevant to the other site plan elements.

### **EARLY WIN PROJECTS**

In order to build on the momentum created by the conceptual site planning process, described above, as well as the planned relocation of the Highway Department Facility, undertaking projects that have a high impact but which carry a lower cost and/or level of effort to complete – “early win” projects – can demonstrate progress, set the stage for future development of the Site, and – perhaps most importantly – result in tangible improvements in the short term.

One such project is a wayfinding program and system. As a starting point, developing a unifying branding concept, mapping, and installing kiosks and signage would help





*Figure 6. Looking northeast from Skylark Drive toward Burgess-Kimball Memorial Park (Source: maps.google.com)*

announce to the public both that the Site is a destination, what is available on the site, and help visitors navigate the space.

Another early win project is development of additional trails and paths within the site. A combination of natural surface, or single-track, walking trails and an accessible shared use

path linking the Burgess-Kimball Memorial Park to Skylark Drive, to the south, would increase mobility and accessibility within the site, and increase recreation amenities. As Figure 6 shows, there have been some improvement at Skylark Drive; additional signage would help further define the public purpose of the space. Strategic connectivity and recreation enhancements like these, together with enhanced signage and branding form an impactful first step toward the future of the Site.

### **PRIVATE DEVELOPMENT**

Both concept site plans provide for a level of private development in the future of the site. There are several approaches the Town can take to facilitate this development. Under one approach, the Town would essentially transfer (either by sale, lease, or license) rights to develop these areas to the private sector. The private sector would be responsible for all permitting, construction, and assume a primary role in shaping the development; the Town would participate mainly as a landlord or as a seller in the land transaction. Another approach involves the Town conducting further planning and, possibly, environmental review and permitting (e.g., preparing a generic environmental impact statement), in order to facilitate private development. The private sector would get involved with the “shovel ready” site(s) upon completion of this planning and permitting process. A third option, building from shovel ready site approach, is for the Town to take a more active role in shaping the development through, e.g., issuing a detailed request for proposals for future development of these parts of the Site. Such an RFP could contain specific parameters for, e.g., the types of uses, the physical design of the spaces to be created, the program of use of the space, etc.


Table 4. Implementation matrix

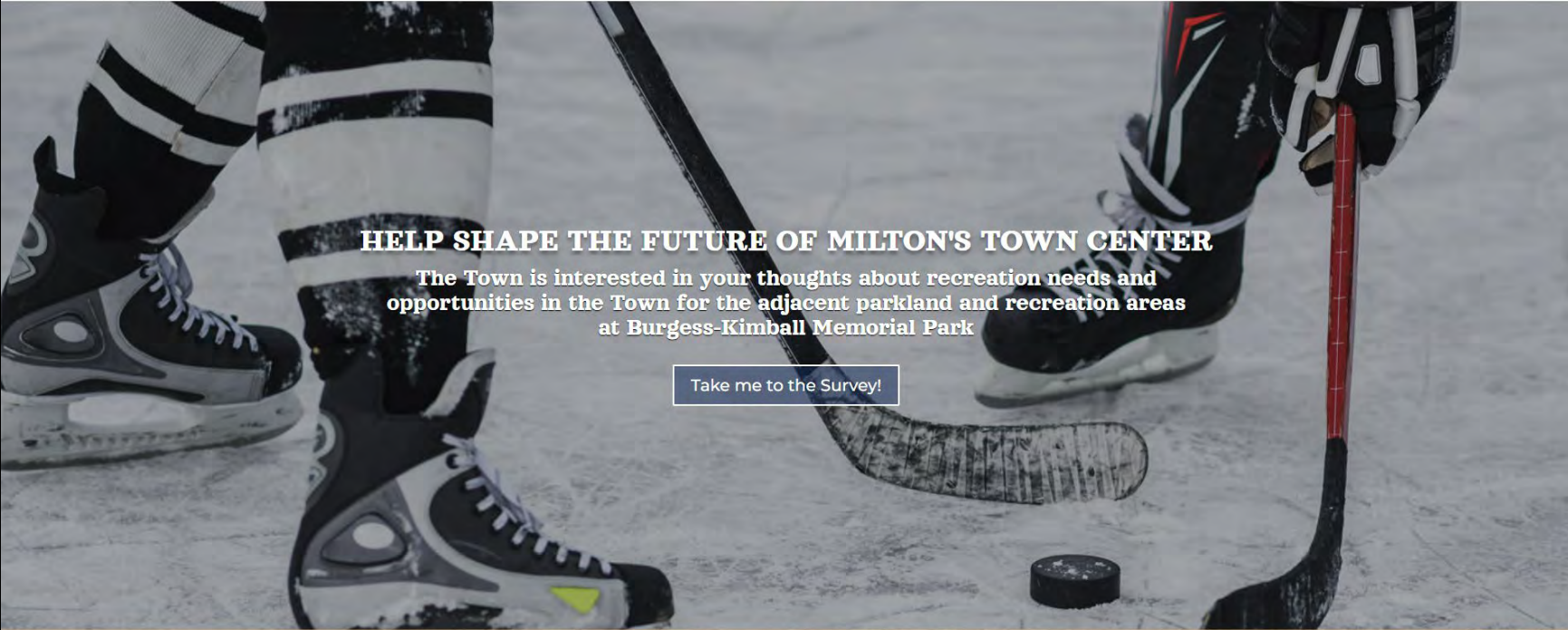
Conceptual Site Plan Element	Concept Plan		Cost Basis	Quantity	Conceptual Cost Estimate	Funding Source(s)	Next Step(s)
	Alt. 1	Alt. 2					
Sidewalk along Rowland Street between Margaret Drive and existing sidewalk terminus (roughly 1,600 feet south of Rowland-Geyser intersection)	•	•	\$75 per linear foot	1,960 linear feet	\$147,000	CDTC; NYSDOT; Private Developers; Own-Source	Seek grant funding through CDTC's regional transportation improvement program (TIP) or the CFA process; Ensure coordination with Planning Board with respect to site plans and other proposed projects along this corridor
Crosswalk with RRFBs at Margaret Drive and Rowland Street	•	•	\$20,000 per installation	1	\$20,000	CDTC; NYSDOT; Private Developers; Own-Source	Seek grant funding through CDTC's regional transportation improvement program (TIP) or the CFA process; Ensure coordination with Planning Board with respect to site plans and other proposed projects along this corridor
10' asphalt multi-use path	•	•	\$100 per linear foot	3,900 linear feet	\$390,000	CDTC; NYSDOT; NYS Parks; Own-Source	Prepare feasibility study and engineers estimate for future proposed shared-use path network and connection points; use own forces to implement strategic portions of this network
Natural surface trails	•	•		3,710 linear feet		NYS Parks; Own-Source	Develop scope and cost estimate and seek grant funding; alternatively, use own forces or volunteer efforts to construct
New boulevard with multi-use path		•	\$400 per linear foot	900 linear feet	\$360,000	NYSDOT; Own-Source; Private Developers	Prepare feasibility study and engineers estimate to aid in seeking funding; add proposed roadway to the Town's official street map; seek funding from public and private sources
New multi-use field	•	•	Total		\$1,750,000	Own-Source; public/private partnership; user fees	Outreach to area athletic clubs and other potential partners; prepare feasibility study
Turf			\$3 per square foot	60,000 square feet	\$180,000		
400 meter track			\$10 per square foot	157,00 square feet	\$1,570,000		
Softball field		•	\$1.50 per square foot	65,000 square feet	\$97,500	Own-Source; user fees	Outreach to area athletic clubs and other potential partners; prepare feasibility study
New parking areas	•		\$10 per square foot	70,000 square feet	\$700,000	Private Developers; Own-Source	Coordinate provision of parking with successive phases or projects, including with any private sector development
New parking areas		•	\$10 per square foot			Private Developers; Own-Source	Coordinate provision of parking with successive phases or projects, including with any private sector development
New hard surface courts	•	•	\$10 per square foot	21,780 square feet	\$217,800	Private Developers; Own-Source	Coordinate with successive phases or projects, including with any private sector development; alternatively, use own forces to construct
Town Hall Expansion	•	•	\$400 per square foot	4,500 square feet	\$1,800,000	Own-Source	Conduct needs assessment; prepare preliminary design report
Rec Center/Community Center		•	\$400 per square foot	13,000 square feet	\$5,200,000	Own-Source; user fees	Conduct needs assessment and engage public; prepare preliminary design report
Geyser-Rowland intersection improvements	•	•	Estimate	1	\$750,000	CDTC; Private Developers; Own-Source	Prepare feasibility study and engineers estimate to aid in seeking funding; seek funding from public and private sources
Wayfinding	•	•	Estimate	1		Own-Source	Prepare wayfinding system report

## **Appendix A – October 9, 2022 The Way We Were Car Show Detailed Feedback**

Participant Feedback	Entered On	Category
Dog Park	Site Existing Conditions Map	Parkland Amenities
Dog Park	Site Existing Conditions Map	Parkland Amenities
If mixed use, make sure commercial exists	Site Existing Conditions Map	Redevelopment
Farmers Market	Site Existing Conditions Map	Events
Brewery	Site Existing Conditions Map	Redevelopment
Bike rental	Site Existing Conditions Map	Outdoor Recreation
Cooling/heating center	Site Existing Conditions Map	Public Facilities
Bike share	Site Existing Conditions Map	Transportation/Connectivity
Build to street/0' setback	Site Existing Conditions Map	Redevelopment
Commercial/services to support residential	Site Existing Conditions Map	Redevelopment
Community Center: Yard Sale, Parties	Site Existing Conditions Map	Public Facilities; Events
Mixed Use Buildings	Site Existing Conditions Map	Redevelopment
Indoor play spaces	Site Existing Conditions Map	Indoor Recreation
Crosswalk [on Rowland St]	Site Existing Conditions Map	Transportation/Connectivity
Keep [Rowland St] Playground	Site Existing Conditions Map	Parkland Amenities
Keep [Rowland St] Playground	Site Existing Conditions Map	Parkland Amenities
Racetrack	Site Existing Conditions Map	Parkland Amenities
Expand parkland	Site Existing Conditions Map	Open Space
Casino	Site Existing Conditions Map	Redevelopment
Jogging paths	Site Existing Conditions Map	Outdoor Recreation
Outdoor exercise equipment	Site Existing Conditions Map	Outdoor Recreation
Multi-use fields	Site Existing Conditions Map	Outdoor Recreation
Pickleball	Site Existing Conditions Map	Sports Facilities
Frisbee golf	Site Existing Conditions Map	Sports Facilities
Accessible paths	Site Existing Conditions Map	Parkland Amenities
Connection [between the east and west ball field areas]	Site Existing Conditions Map	Transportation/Connectivity
Connection to Saratoga West [neighborhood to the south]	Site Existing Conditions Map	Transportation/Connectivity
Address fence as barrier to park pedestrian access	Site Existing Conditions Map	Transportation/Connectivity
Sidewalks [along Rowland St]	Site Existing Conditions Map	Transportation/Connectivity
Sidewalks [along Rowland St]	Site Existing Conditions Map	Transportation/Connectivity
Sidewalks [along Rowland St]	Site Existing Conditions Map	Transportation/Connectivity
Connection to Adjacent Businesses	Site Existing Conditions Map	Transportation/Connectivity
Keep Pavilions	Visual Preference	Parkland Amenities
Outdoor music!	Visual Preference	Events
Outdoor music will bring me to Milton	Visual Preference	Events
Biking trails	Visual Preference	Parkland Amenities
Separate bike trails	Visual Preference	Parkland Amenities
Restaurants!	Visual Preference	Redevelopment

## Appendix B – ReimagineMilton.com Website

Town of Milton Website Survey  Participation Resources



**HELP SHAPE THE FUTURE OF MILTON'S TOWN CENTER**

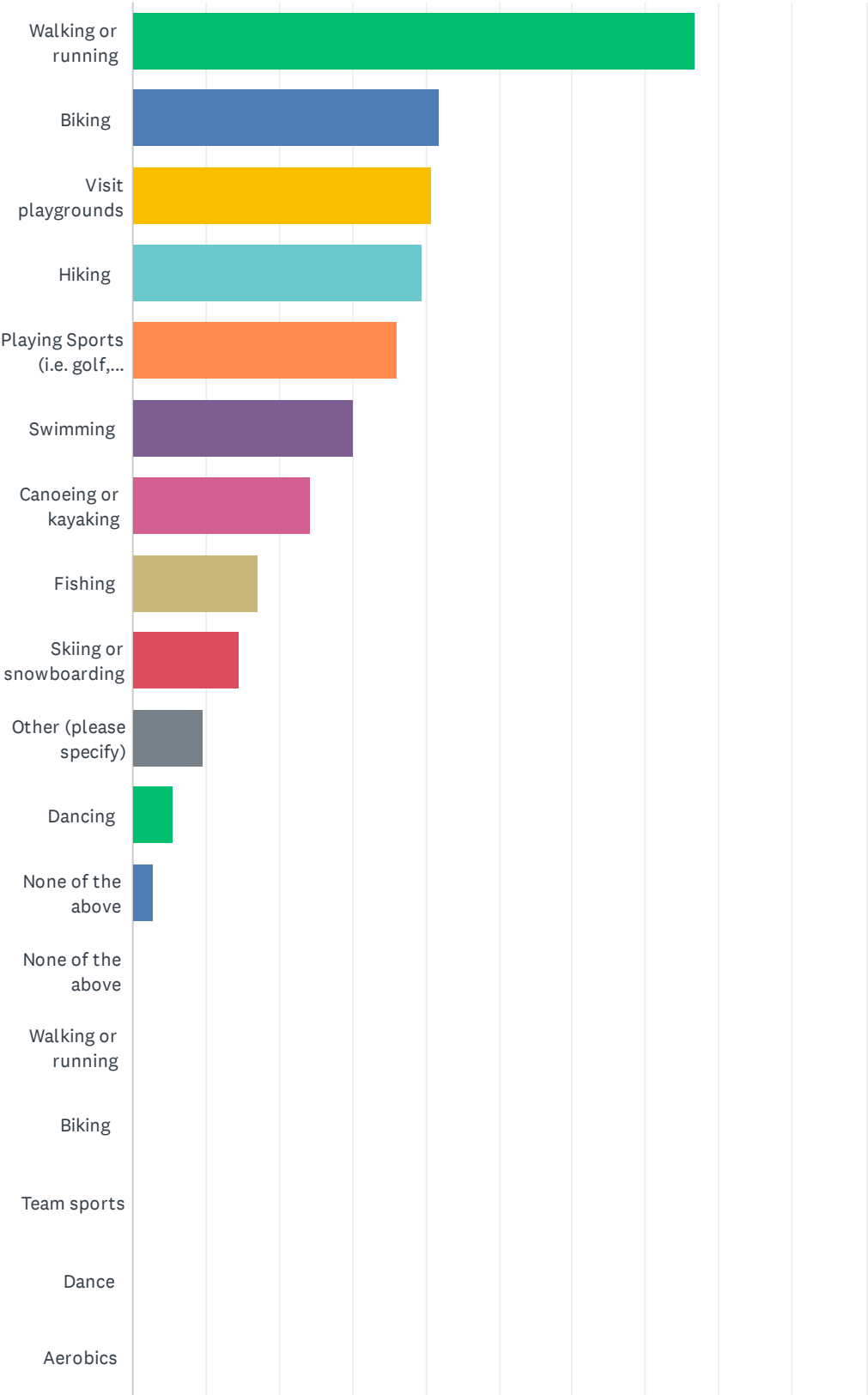
The Town is interested in your thoughts about recreation needs and opportunities in the Town for the adjacent parkland and recreation areas at Burgess-Kimball Memorial Park

[Take me to the Survey!](#)

## Appendix C – Online Community Survey: Responses

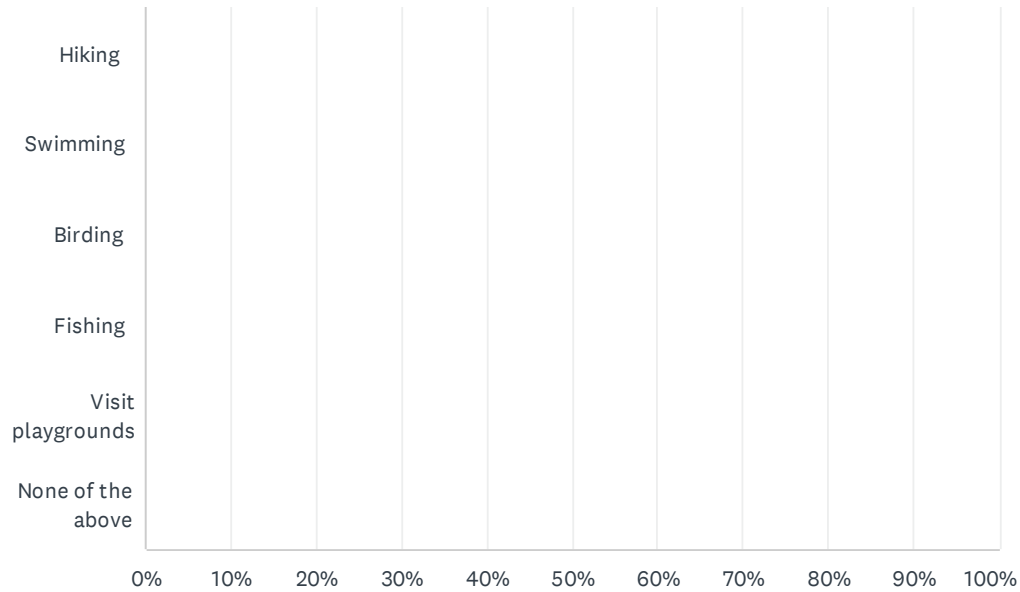
# Q1 What do you and/or members of your household do most often for recreation?

Answered: 289    Skipped: 0





## Help Shape the Future of Milton's Town Center



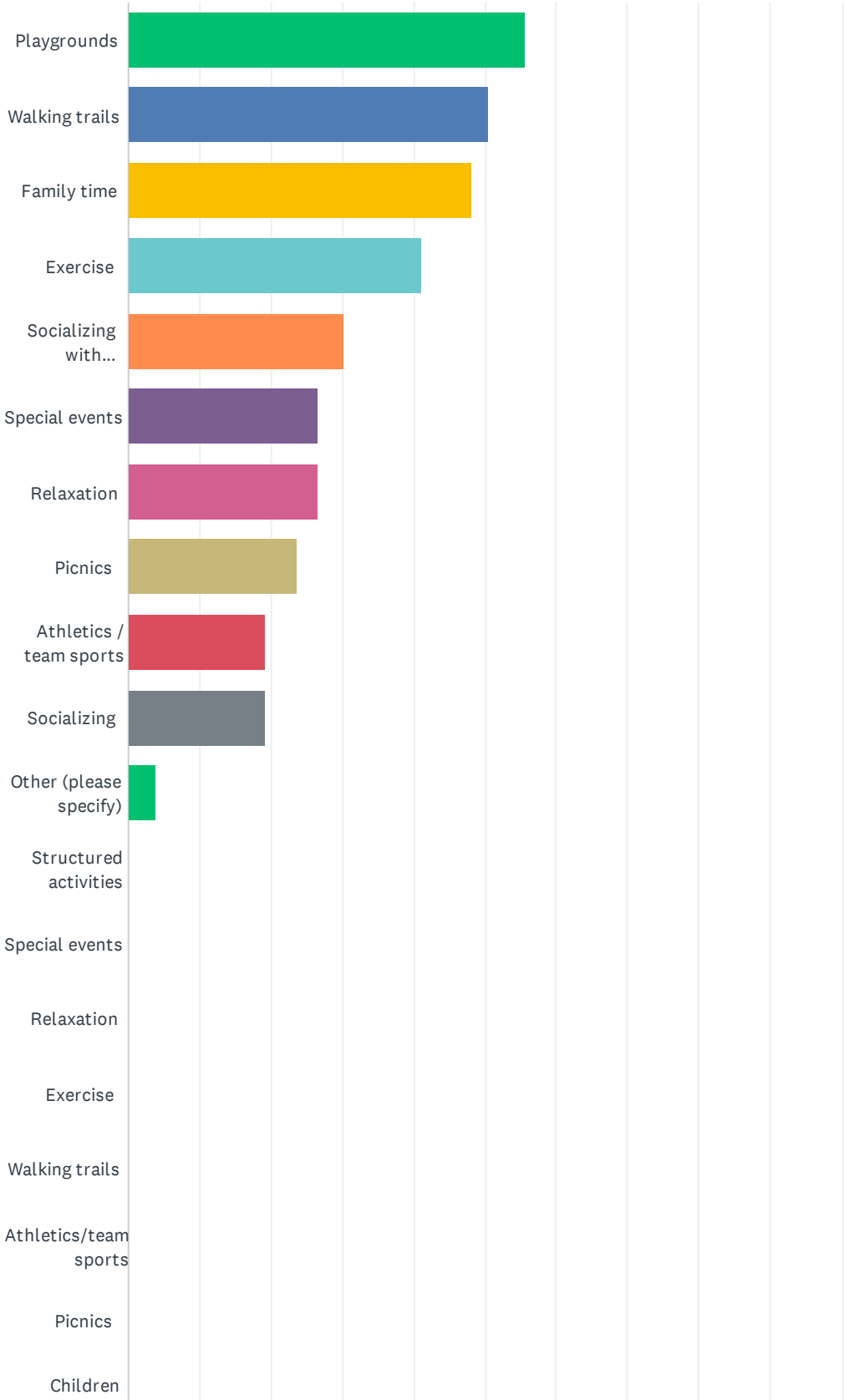
#	OTHER (PLEASE SPECIFY)	DATE
1	Sailboating	1/6/2023 12:25 PM
2	Dog friendly activities	12/30/2022 8:37 AM
3	Pickleball	11/22/2022 12:08 PM
4	Yoga	11/21/2022 10:47 PM
5	Metabolic	11/21/2022 8:19 PM
6	Pickleball	11/21/2022 6:45 PM
7	Travel, Read, Attend the Theater	11/21/2022 6:35 PM
8	Picnic	11/3/2022 7:07 PM
9	Pickleball	11/2/2022 8:54 PM
10	Camp	11/2/2022 7:55 PM
11	Walk dogs	11/2/2022 4:24 PM
12	Snow shoeing	10/31/2022 5:47 PM
13	RC car Races & camping	10/30/2022 11:24 PM
14	snowshoeing	10/30/2022 6:35 PM
15	Camping	10/30/2022 5:59 PM
16	Dog park	10/30/2022 8:23 AM
17	Pickleball	10/29/2022 10:11 PM
18	Snowshoe	10/29/2022 1:59 AM
19	Pavilions and gazebos	10/28/2022 6:34 PM
20	Car shows	10/28/2022 3:45 PM
21	Horseback riding	10/28/2022 7:36 AM
22	disc golf	10/28/2022 1:55 AM
23	camping	10/27/2022 8:21 PM

## Help Shape the Future of Milton's Town Center

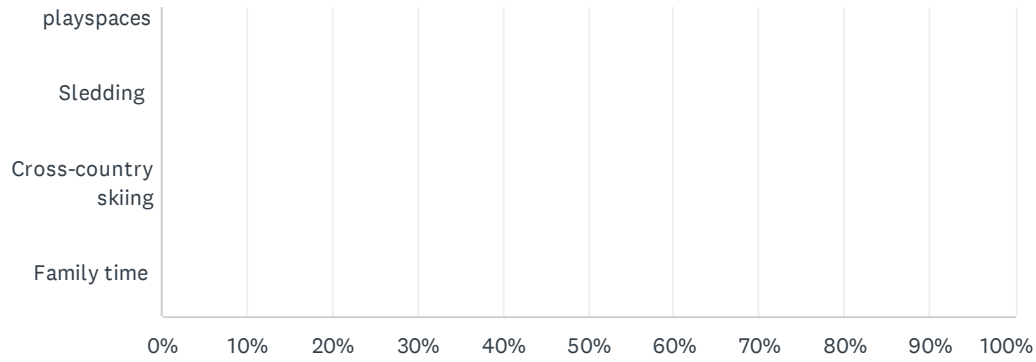
24	Walk our dog	10/27/2022 4:44 PM
25	Pickleball, Aerobic exercise, Snowshoe	10/15/2022 11:20 AM
26	Walk dogs and bring them to fenced in dog parks	10/14/2022 5:55 PM
27	Aviation at the Saratoga County Airport; rod & gun club; radio & electronics; performing classical music	10/11/2022 2:36 PM
28	Pickleball Pickleball Pickleball	10/8/2022 5:15 PM

Q3 If YES, Why do you visit the Town's parks?

Answered: 241    Skipped: 48



## Help Shape the Future of Milton's Town Center



#	OTHER (PLEASE SPECIFY)	DATE
1	n/a	11/12/2022 6:03 PM
2	Snow shoeing	10/31/2022 5:47 PM
3	When my daughter was young	10/30/2022 7:04 AM
4	Cheer/football practices	10/29/2022 10:10 PM
5	Dog walking	10/29/2022 6:02 AM
6	throwing disc golf discs	10/28/2022 1:55 AM
7	Bird watching	10/14/2022 11:32 AM
8	No; we do manly things; that's stuff is for women and children	10/11/2022 2:36 PM
9	dog walking	10/10/2022 8:09 AM

## Q7 If you travel outside of the Town of Milton to use recreational facilities, please share the top 3 activities you travel for.

Answered: 289    Skipped: 0

ANSWER CHOICES	RESPONSES
Activity 1	100.00% 289
Activity 2	88.24% 255
Activity 3	69.55% 201

#	ACTIVITY 1	DATE
1	Ice skating	1/13/2023 1:04 PM
2	Swimming	1/6/2023 12:25 PM
3	Hiking	1/6/2023 7:20 AM
4	Skiing	12/30/2022 8:37 AM
5	Hiking	12/7/2022 4:18 PM
6	Kayaking	12/1/2022 1:13 PM
7	Shopping	11/27/2022 1:37 PM
8	More interesting playgrounds	11/26/2022 7:42 AM
9	Pickleball	11/25/2022 9:40 AM
10	Pickle ball	11/24/2022 9:39 PM
11	Hiking	11/24/2022 10:00 AM
12	Playground	11/24/2022 5:46 AM
13	Running	11/22/2022 9:48 PM
14	Swim	11/22/2022 8:08 PM
15	Swimming	11/22/2022 5:20 PM
16	Hiking in the state park	11/22/2022 2:24 PM
17	Pickleball	11/22/2022 12:08 PM
18	biking	11/22/2022 10:24 AM
19	Playgrounds	11/22/2022 9:31 AM
20	Hiking	11/21/2022 10:47 PM
21	Playgrounds	11/21/2022 9:06 PM
22	State Parks	11/21/2022 8:33 PM
23	Running	11/21/2022 8:19 PM
24	hunting	11/21/2022 7:49 PM
25	Cycling	11/21/2022 7:05 PM
26	Swim lessons	11/21/2022 6:59 PM
27	Pickleball	11/21/2022 6:45 PM



## Help Shape the Future of Milton's Town Center

28	Bike path	11/21/2022 6:41 PM
29	Beach	11/21/2022 6:35 PM
30	fishing	11/21/2022 6:25 PM
31	Playgrounds	11/21/2022 6:19 PM
32	Saratoga State park	11/21/2022 6:04 PM
33	Swimming pool	11/21/2022 5:51 PM
34	Fishing	11/21/2022 5:30 PM
35	Walking	11/21/2022 5:29 PM
36	Playground	11/19/2022 4:29 PM
37	Baseball	11/16/2022 9:18 AM
38	Dog walks	11/15/2022 4:54 PM
39	Walking trails	11/15/2022 1:55 PM
40	Soccer	11/15/2022 10:20 AM
41	Hiking/walking	11/14/2022 11:08 PM
42	Hiking	11/14/2022 4:28 PM
43	water park	11/13/2022 5:00 PM
44	Walking	11/13/2022 6:33 AM
45	Ice skating	11/12/2022 6:03 PM
46	Trail walking	11/12/2022 2:44 PM
47	Swimming	11/12/2022 10:50 AM
48	Playground	11/12/2022 9:38 AM
49	Ice Hockey	11/12/2022 9:35 AM
50	Updated playgrounds	11/12/2022 9:26 AM
51	Playgrounds	11/12/2022 6:23 AM
52	Playgrounds	11/12/2022 6:22 AM
53	Walking	11/12/2022 3:24 AM
54	Practice at east side rec	11/11/2022 9:27 PM
55	Tennis	11/11/2022 9:09 PM
56	Restaurant/Bars	11/11/2022 8:58 PM
57	Hiking	11/11/2022 8:36 PM
58	walk/hike	11/11/2022 8:14 PM
59	Hiking	11/11/2022 8:12 PM
60	Playground	11/11/2022 8:09 PM
61	hiking trails	11/10/2022 4:48 PM
62	Snowboarding	11/9/2022 5:24 PM
63	none	11/6/2022 11:21 AM
64	Basketball	11/5/2022 6:44 PM
65	Kayaking	11/5/2022 6:38 PM

## Help Shape the Future of Milton's Town Center

66	Parks	11/5/2022 2:23 PM
67	Swimming	11/5/2022 11:19 AM
68	Splash pad	11/5/2022 5:01 AM
69	Hiking	11/4/2022 11:16 PM
70	Swimming	11/4/2022 10:49 PM
71	Dog park	11/4/2022 7:38 PM
72	Boating	11/4/2022 5:18 PM
73	Hiking	11/4/2022 5:06 PM
74	biking	11/4/2022 4:16 PM
75	Snow sports	11/4/2022 4:07 PM
76	Socializing	11/4/2022 9:36 AM
77	Walking trail	11/4/2022 9:01 AM
78	Tennis	11/4/2022 8:57 AM
79	Biking	11/4/2022 7:36 AM
80	Walking	11/4/2022 7:29 AM
81	Tennis	11/3/2022 11:59 PM
82	Walking trails	11/3/2022 9:32 PM
83	hiking	11/3/2022 9:22 PM
84	Swimming	11/3/2022 9:09 PM
85	Canoeing kayaking	11/3/2022 8:37 PM
86	Clifton park	11/3/2022 8:26 PM
87	Try other trails/parks	11/3/2022 8:17 PM
88	Cleaner playgrounds	11/3/2022 7:07 PM
89	Swimming	11/3/2022 5:31 PM
90	Dog park	11/3/2022 4:32 PM
91	Senior trips	11/3/2022 11:59 AM
92	Splashpad	11/3/2022 6:22 AM
93	Walking	11/3/2022 5:53 AM
94	Swimming	11/3/2022 5:02 AM
95	Splash pad	11/3/2022 12:11 AM
96	Dog walking	11/2/2022 11:01 PM
97	Splash pad	11/2/2022 10:23 PM
98	Walking	11/2/2022 8:54 PM
99	Walking trails	11/2/2022 8:10 PM
100	Swimming	11/2/2022 7:55 PM
101	Skiing	11/2/2022 7:42 PM
102	Walk my dogs	11/2/2022 4:24 PM
103	Swimming	11/2/2022 4:10 PM

## Help Shape the Future of Milton's Town Center

104	Bicycle Riding	11/2/2022 3:44 PM
105	Hiking	11/2/2022 7:58 AM
106	Soccer	11/2/2022 7:51 AM
107	Kayaking	11/2/2022 6:38 AM
108	Bike ride	11/1/2022 6:49 PM
109	Hiking	11/1/2022 6:16 PM
110	Swimming	11/1/2022 5:40 PM
111	Pickleball	11/1/2022 4:33 PM
112	Hiking	11/1/2022 11:52 AM
113	Hiking	11/1/2022 11:40 AM
114	Skate park	11/1/2022 5:40 AM
115	Pickleball	10/31/2022 10:25 PM
116	Horse riding trails	10/31/2022 9:22 PM
117	Boating	10/31/2022 8:22 PM
118	Outdoor recreation	10/31/2022 8:07 PM
119	Hiking	10/31/2022 5:47 PM
120	Swimming	10/31/2022 3:10 PM
121	Swimming	10/31/2022 2:10 PM
122	Mixed use recreation trails	10/31/2022 12:44 PM
123	swimming	10/31/2022 9:59 AM
124	Volleyball	10/31/2022 9:25 AM
125	Ice hockey	10/31/2022 7:09 AM
126	Pavilion and rest rooms for picnics	10/30/2022 11:24 PM
127	Parks	10/30/2022 10:06 PM
128	playground	10/30/2022 8:02 PM
129	Basketball courts	10/30/2022 7:28 PM
130	Swimming	10/30/2022 7:09 PM
131	Dog agility	10/30/2022 6:35 PM
132	Camping	10/30/2022 5:59 PM
133	Hiking	10/30/2022 5:27 PM
134	Walk	10/30/2022 5:09 PM
135	Hiking	10/30/2022 3:59 PM
136	Soccer	10/30/2022 3:32 PM
137	swimming	10/30/2022 3:28 PM
138	Park	10/30/2022 9:38 AM
139	Playgrounds	10/30/2022 8:39 AM
140	Playgrounds	10/30/2022 8:26 AM
141	Playgrounds	10/30/2022 8:25 AM

## Help Shape the Future of Milton's Town Center

142	Trails	10/30/2022 8:23 AM
143	Splash pads	10/30/2022 8:07 AM
144	Dog Parks	10/30/2022 7:04 AM
145	Swimming	10/30/2022 2:49 AM
146	Pickleball	10/29/2022 10:11 PM
147	Gym	10/29/2022 10:10 PM
148	Hiking	10/29/2022 9:20 PM
149	Fishing	10/29/2022 8:38 PM
150	Playgrounds	10/29/2022 8:16 PM
151	walking/running	10/29/2022 8:07 PM
152	walking	10/29/2022 6:58 PM
153	Nature Trails	10/29/2022 6:42 PM
154	Trails	10/29/2022 6:32 PM
155	None	10/29/2022 6:19 PM
156	Hiking	10/29/2022 6:09 PM
157	Playgrounds	10/29/2022 5:39 PM
158	Biking	10/29/2022 4:13 PM
159	Hiking	10/29/2022 12:12 PM
160	Swimming	10/29/2022 9:15 AM
161	More space	10/29/2022 7:35 AM
162	Music	10/29/2022 7:26 AM
163	Bowling	10/29/2022 7:18 AM
164	Trail walking/running	10/29/2022 6:19 AM
165	Dog parks	10/29/2022 6:02 AM
166	Hiking	10/29/2022 5:33 AM
167	Hiking	10/29/2022 1:59 AM
168	Horseback riding and training my horse.	10/28/2022 11:28 PM
169	Dog park	10/28/2022 10:00 PM
170	Canoeing	10/28/2022 10:00 PM
171	Lake	10/28/2022 9:08 PM
172	Dancing	10/28/2022 7:56 PM
173	Disc golf	10/28/2022 7:51 PM
174	Swimming	10/28/2022 7:46 PM
175	Playgrounds	10/28/2022 7:36 PM
176	Pickleball	10/28/2022 7:33 PM
177	Trail running	10/28/2022 7:16 PM
178	Walking in nature	10/28/2022 7:11 PM
179	Swimming	10/28/2022 6:34 PM



## Help Shape the Future of Milton's Town Center

180	Walking	10/28/2022 5:32 PM
181	Playgrounds	10/28/2022 4:57 PM
182	Organizational picnics	10/28/2022 4:31 PM
183	walking	10/28/2022 4:29 PM
184	Mountain biking	10/28/2022 4:14 PM
185	Hiking	10/28/2022 3:45 PM
186	playgrounds	10/28/2022 3:27 PM
187	hiking	10/28/2022 3:15 PM
188	Swimming	10/28/2022 2:42 PM
189	hiking	10/28/2022 1:56 PM
190	n/a	10/28/2022 12:39 PM
191	shopping	10/28/2022 11:05 AM
192	Playgrounds	10/28/2022 10:51 AM
193	movies	10/28/2022 10:44 AM
194	Recreation	10/28/2022 9:57 AM
195	Team Sports	10/28/2022 9:41 AM
196	Ymca	10/28/2022 8:19 AM
197	Swimming	10/28/2022 7:45 AM
198	Playground	10/28/2022 7:36 AM
199	Softball	10/28/2022 7:17 AM
200	Hunting	10/28/2022 6:42 AM
201	Shopping	10/28/2022 6:35 AM
202	walking in the state park	10/28/2022 1:55 AM
203	Walking trails	10/28/2022 12:20 AM
204	Pet park	10/27/2022 11:36 PM
205	Hiking	10/27/2022 11:34 PM
206	Playgrounds	10/27/2022 10:23 PM
207	Hiking	10/27/2022 9:21 PM
208	swimming	10/27/2022 8:21 PM
209	Walking paths	10/27/2022 7:50 PM
210	Tennis	10/27/2022 7:47 PM
211	Ymca	10/27/2022 7:35 PM
212	Nature walks	10/27/2022 7:06 PM
213	Hiking	10/27/2022 6:31 PM
214	N/A	10/27/2022 5:58 PM
215	Pickleball	10/27/2022 5:51 PM
216	Fishing	10/27/2022 5:13 PM
217	Bike trails	10/27/2022 5:04 PM

## Help Shape the Future of Milton's Town Center

218	0	10/27/2022 4:57 PM
219	Walking our dog	10/27/2022 4:44 PM
220	Jogging	10/27/2022 4:19 PM
221	Hiking	10/27/2022 4:10 PM
222	Hiking trails	10/27/2022 3:56 PM
223	Hiking trails	10/27/2022 3:44 PM
224	Swimming/water sprinklers	10/27/2022 3:42 PM
225	Hiking	10/27/2022 3:37 PM
226	Splash pad	10/27/2022 3:36 PM
227	Tennis league	10/27/2022 3:25 PM
228	Mountain biking	10/27/2022 3:00 PM
229	KAYAKING	10/27/2022 2:58 PM
230	Dog parks	10/27/2022 12:32 PM
231	Swimming	10/24/2022 12:41 PM
232	Splash Pad	10/20/2022 8:59 AM
233	Swimming	10/19/2022 7:12 PM
234	Golf	10/18/2022 6:20 PM
235	Walking	10/16/2022 10:08 AM
236	Hiking	10/15/2022 11:32 AM
237	Pickleball	10/15/2022 11:20 AM
238	skiing	10/15/2022 9:15 AM
239	Hiking	10/15/2022 7:32 AM
240	Tennis	10/14/2022 10:56 PM
241	hiking	10/14/2022 6:24 PM
242	trail running	10/14/2022 6:21 PM
243	Saratoga Dog Park	10/14/2022 5:55 PM
244	Hiking	10/14/2022 4:29 PM
245	Hike	10/14/2022 2:37 PM
246	Walking	10/14/2022 12:58 PM
247	Gym	10/14/2022 12:37 PM
248	Kayaking	10/14/2022 11:38 AM
249	Bird watching	10/14/2022 11:32 AM
250	team sports	10/14/2022 11:03 AM
251	Exercise	10/14/2022 9:40 AM
252	Dog walking	10/13/2022 6:38 PM
253	Beaches	10/13/2022 5:53 PM
254	Hikes	10/13/2022 5:36 PM
255	History	10/13/2022 4:09 PM

## Help Shape the Future of Milton's Town Center

256	Dog park	10/12/2022 7:27 PM
257	biking	10/12/2022 9:52 AM
258	Biking	10/11/2022 5:58 PM
259	Hiking	10/11/2022 3:59 PM
260	walking	10/11/2022 3:23 PM
261	nothing	10/11/2022 2:36 PM
262	Entertainment	10/11/2022 11:40 AM
263	Hiking trails	10/10/2022 9:49 PM
264	Pool	10/10/2022 7:08 PM
265	None	10/10/2022 5:51 PM
266	Hiking	10/10/2022 5:39 PM
267	hiking/walking	10/10/2022 5:14 PM
268	hiking/walking	10/10/2022 5:14 PM
269	Hiking	10/10/2022 10:17 AM
270	woods hiking	10/10/2022 8:09 AM
271	Running	10/9/2022 8:44 PM
272	Running	10/9/2022 4:36 PM
273	Swimming	10/9/2022 4:07 PM
274	Softball fields	10/8/2022 5:59 PM
275	Kayak	10/8/2022 5:20 PM
276	pickleball	10/8/2022 5:18 PM
277	Pickleball	10/8/2022 5:15 PM
278	Basketball	10/8/2022 4:11 PM
279	do not travel	10/8/2022 10:40 AM
280	Fishing	10/7/2022 10:12 PM
281	Baseball	10/7/2022 9:23 PM
282	Hiking	10/7/2022 9:20 PM
283	Bird watching	10/7/2022 9:17 PM
284	Walking	10/7/2022 8:40 PM
285	Hiking	10/7/2022 8:31 PM
286	Bike path	10/7/2022 6:25 PM
287	Walking	10/7/2022 6:25 PM
288	Walking trails	10/7/2022 6:03 PM
289	Picnics	10/7/2022 4:57 PM
#	ACTIVITY 2	DATE
1	Swimming/splash pads	1/13/2023 1:04 PM
2	Sailboating	1/6/2023 12:25 PM
3	Walking	1/6/2023 7:20 AM

## Help Shape the Future of Milton's Town Center

4	Mountain Biking	12/30/2022 8:37 AM
5	Kyacking	12/7/2022 4:18 PM
6	Snowboarding	12/1/2022 1:13 PM
7	Spa services	11/27/2022 1:37 PM
8	Hiking	11/26/2022 7:42 AM
9	Tennis	11/25/2022 9:40 AM
10	Walking	11/24/2022 10:00 AM
11	Hiking	11/24/2022 5:46 AM
12	Outdoor music	11/22/2022 9:48 PM
13	Soccer	11/22/2022 8:08 PM
14	Tennis	11/22/2022 5:20 PM
15	Swimming	11/22/2022 2:24 PM
16	Hiking	11/22/2022 12:08 PM
17	hiking	11/22/2022 10:24 AM
18	Hiking	11/22/2022 9:31 AM
19	Snow shoe	11/21/2022 10:47 PM
20	Splash pads	11/21/2022 9:06 PM
21	Tennis/pickle ball	11/21/2022 8:19 PM
22	fishing	11/21/2022 7:49 PM
23	Running	11/21/2022 7:05 PM
24	Child activities	11/21/2022 6:59 PM
25	Walking track	11/21/2022 6:45 PM
26	canoeing	11/21/2022 6:41 PM
27	International travel	11/21/2022 6:35 PM
28	going to shop in Wilton all the time	11/21/2022 6:25 PM
29	Youth activities	11/21/2022 6:19 PM
30	Malta Tech park	11/21/2022 6:04 PM
31	Walking	11/21/2022 5:51 PM
32	Swimming	11/21/2022 5:30 PM
33	Hiking	11/21/2022 5:29 PM
34	Walking trail	11/19/2022 4:29 PM
35	Hockey	11/16/2022 9:18 AM
36	Hiking	11/15/2022 4:54 PM
37	Pickle Ball	11/15/2022 1:55 PM
38	Fishing	11/15/2022 10:20 AM
39	Bird watching	11/14/2022 11:08 PM
40	Walking	11/14/2022 4:28 PM
41	walking trails	11/13/2022 5:00 PM



## Help Shape the Future of Milton's Town Center

42	Tennis	11/13/2022 6:33 AM
43	Swimming	11/12/2022 6:03 PM
44	Bike trails	11/12/2022 2:44 PM
45	Hiking	11/12/2022 10:50 AM
46	Swimming	11/12/2022 9:35 AM
47	Picnic facilities	11/12/2022 9:26 AM
48	Walking	11/12/2022 6:23 AM
49	Walking/biking trails	11/12/2022 6:22 AM
50	Biking	11/12/2022 3:24 AM
51	Practice at the rec center	11/11/2022 9:27 PM
52	Park Use	11/11/2022 9:09 PM
53	Swimming	11/11/2022 8:36 PM
54	swim	11/11/2022 8:14 PM
55	Walking	11/11/2022 8:12 PM
56	Fishing	11/11/2022 8:09 PM
57	biking trails	11/10/2022 4:48 PM
58	none	11/6/2022 11:21 AM
59	Playground	11/5/2022 6:44 PM
60	Fishing	11/5/2022 6:38 PM
61	Disc golf	11/5/2022 2:23 PM
62	Swimming	11/4/2022 11:16 PM
63	Fishing	11/4/2022 10:49 PM
64	Sports	11/4/2022 5:18 PM
65	walking	11/4/2022 4:16 PM
66	Grand kids playing	11/4/2022 9:36 AM
67	Playground w more variety of equipment	11/4/2022 9:01 AM
68	Softball	11/4/2022 8:57 AM
69	Walking	11/4/2022 7:36 AM
70	Biking	11/4/2022 7:29 AM
71	Hiking	11/3/2022 11:59 PM
72	Bike trails	11/3/2022 9:32 PM
73	snowshoeing	11/3/2022 9:22 PM
74	Hiking	11/3/2022 9:09 PM
75	Mountain biking	11/3/2022 8:37 PM
76	Saratoga	11/3/2022 8:26 PM
77	See friends at other rec sites	11/3/2022 8:17 PM
78	More family friendly playgrounds	11/3/2022 7:07 PM
79	Walking trails	11/3/2022 5:31 PM

## Help Shape the Future of Milton's Town Center

80	Playgrounds that are larger for pre-teens	11/3/2022 4:32 PM
81	Dog park	11/3/2022 6:22 AM
82	Kayaking	11/3/2022 5:53 AM
83	Camping	11/3/2022 5:02 AM
84	Different playground	11/3/2022 12:11 AM
85	Sporting activities	11/2/2022 11:01 PM
86	Sports	11/2/2022 10:23 PM
87	Biking	11/2/2022 8:54 PM
88	Concerts in the park	11/2/2022 8:10 PM
89	Camping	11/2/2022 7:55 PM
90	Biking	11/2/2022 7:42 PM
91	Sit in the park	11/2/2022 4:24 PM
92	Beach	11/2/2022 4:10 PM
93	Disc Golf	11/2/2022 3:44 PM
94	Basketball	11/2/2022 7:58 AM
95	Bleachers - places to sit	11/2/2022 7:51 AM
96	Walking	11/2/2022 6:38 AM
97	Sports	11/1/2022 6:49 PM
98	Nature Trails	11/1/2022 6:16 PM
99	Walking	11/1/2022 5:40 PM
100	Splash pad	11/1/2022 4:33 PM
101	Kayaking	11/1/2022 11:52 AM
102	Play grounds	11/1/2022 11:40 AM
103	Hiking/walking trails	11/1/2022 5:40 AM
104	Baseball batting cage	10/31/2022 10:25 PM
105	Picnicking	10/31/2022 8:22 PM
106	Meeting soaces	10/31/2022 8:07 PM
107	Playgrounds	10/31/2022 5:47 PM
108	Walking trails	10/31/2022 3:10 PM
109	Trails	10/31/2022 2:10 PM
110	Swimming pools	10/31/2022 12:44 PM
111	farmers markets	10/31/2022 9:59 AM
112	Swimming	10/31/2022 9:25 AM
113	Rollerskating	10/31/2022 7:09 AM
114	Kids and adults events	10/30/2022 11:24 PM
115	Walking trails	10/30/2022 10:06 PM
116	pool	10/30/2022 8:02 PM
117	walking trails	10/30/2022 7:28 PM

## Help Shape the Future of Milton's Town Center

118	Splash pads	10/30/2022 7:09 PM
119	hiking	10/30/2022 6:35 PM
120	Fishing	10/30/2022 5:59 PM
121	Walking	10/30/2022 5:27 PM
122	Hike	10/30/2022 5:09 PM
123	Biking	10/30/2022 3:59 PM
124	Hiking	10/30/2022 3:32 PM
125	splash pad	10/30/2022 3:28 PM
126	Food	10/30/2022 8:39 AM
127	Swimming	10/30/2022 8:26 AM
128	Walking/Hiking	10/30/2022 8:25 AM
129	Picnic	10/30/2022 8:23 AM
130	Hiking	10/30/2022 8:07 AM
131	Golf courses	10/30/2022 7:04 AM
132	Basketball	10/30/2022 2:49 AM
133	Bike trails- Malta	10/29/2022 10:11 PM
134	Restaurants	10/29/2022 10:10 PM
135	Biking	10/29/2022 9:20 PM
136	Swimming	10/29/2022 8:38 PM
137	Biking	10/29/2022 8:16 PM
138	biking	10/29/2022 8:07 PM
139	sightseeing	10/29/2022 6:58 PM
140	Water access (lake/pond/river)	10/29/2022 6:42 PM
141	Biking	10/29/2022 6:32 PM
142	None	10/29/2022 6:19 PM
143	Playgrounds	10/29/2022 6:09 PM
144	Parties/gatherings	10/29/2022 5:39 PM
145	Walking	10/29/2022 4:13 PM
146	Biking	10/29/2022 12:12 PM
147	Trails	10/29/2022 9:15 AM
148	Scenic views	10/29/2022 7:35 AM
149	Camping	10/29/2022 7:26 AM
150	Swimming	10/29/2022 7:18 AM
151	Swimming	10/29/2022 6:19 AM
152	Picnicing	10/29/2022 5:33 AM
153	Snowshoeing	10/29/2022 1:59 AM
154	Frisbee park	10/28/2022 10:00 PM
155	Skiing	10/28/2022 10:00 PM

## Help Shape the Future of Milton's Town Center

156	Biking/hiking trails	10/28/2022 9:08 PM
157	Walking	10/28/2022 7:56 PM
158	Walking trails	10/28/2022 7:51 PM
159	Boating	10/28/2022 7:46 PM
160	Water play/swimming	10/28/2022 7:36 PM
161	Farmers market	10/28/2022 7:33 PM
162	Hiking	10/28/2022 7:16 PM
163	Access to water sports	10/28/2022 7:11 PM
164	Family events	10/28/2022 6:34 PM
165	Swimming	10/28/2022 5:32 PM
166	Kayaking	10/28/2022 4:57 PM
167	Hiking/walking	10/28/2022 4:14 PM
168	Car shows	10/28/2022 3:45 PM
169	splash pad	10/28/2022 3:27 PM
170	swimming	10/28/2022 3:15 PM
171	New trails	10/28/2022 2:42 PM
172	walking	10/28/2022 1:56 PM
173	Safe running paths- no sidewalks on Rowland for safe running	10/28/2022 10:51 AM
174	theme parks	10/28/2022 10:44 AM
175	Indoor Recreation	10/28/2022 9:41 AM
176	Sports	10/28/2022 7:45 AM
177	Softball	10/28/2022 7:17 AM
178	fishing	10/28/2022 6:42 AM
179	Recreation	10/28/2022 6:35 AM
180	disc golf	10/28/2022 1:55 AM
181	Biking	10/28/2022 12:20 AM
182	Downhill Skiing	10/27/2022 11:34 PM
183	Splash pad	10/27/2022 10:23 PM
184	Playgrounds	10/27/2022 9:21 PM
185	Biking	10/27/2022 7:47 PM
186	Splash pad	10/27/2022 7:35 PM
187	Bird watching	10/27/2022 7:06 PM
188	Walking	10/27/2022 6:31 PM
189	N/A	10/27/2022 5:58 PM
190	Canoeing	10/27/2022 5:13 PM
191	0	10/27/2022 4:57 PM
192	Walking	10/27/2022 4:44 PM
193	Hiking	10/27/2022 4:19 PM



## Help Shape the Future of Milton's Town Center

194	Biking trails	10/27/2022 3:56 PM
195	Fishing	10/27/2022 3:44 PM
196	Dog friendly	10/27/2022 3:42 PM
197	Biking	10/27/2022 3:37 PM
198	Swimming	10/27/2022 3:36 PM
199	Yoga	10/27/2022 3:25 PM
200	Hiking	10/27/2022 3:00 PM
201	HIKING	10/27/2022 2:58 PM
202	Concerts / Plays	10/24/2022 12:41 PM
203	More Swings	10/20/2022 8:59 AM
204	Other playgrounds	10/19/2022 7:12 PM
205	Hiking	10/18/2022 6:20 PM
206	Tennis	10/16/2022 10:08 AM
207	Golf	10/15/2022 11:32 AM
208	Biking	10/15/2022 11:20 AM
209	hiking	10/15/2022 9:15 AM
210	Walking new trails	10/15/2022 7:32 AM
211	Mountain Biking	10/14/2022 10:56 PM
212	nature walking	10/14/2022 6:24 PM
213	street running	10/14/2022 6:21 PM
214	trails	10/14/2022 4:29 PM
215	Walk	10/14/2022 2:37 PM
216	Biking	10/14/2022 12:58 PM
217	Swimming	10/14/2022 11:38 AM
218	playgrounds	10/14/2022 11:03 AM
219	Swimming	10/14/2022 9:40 AM
220	Socializing	10/13/2022 6:38 PM
221	Hiking	10/13/2022 5:53 PM
222	Beaches/ swimming	10/13/2022 5:36 PM
223	Arts	10/13/2022 4:09 PM
224	Variety	10/12/2022 7:27 PM
225	walking	10/12/2022 9:52 AM
226	walking	10/11/2022 5:58 PM
227	Swimming	10/11/2022 3:59 PM
228	biking	10/11/2022 3:23 PM
229	Restaurant	10/11/2022 11:40 AM
230	Swimming	10/10/2022 9:49 PM
231	Different trails	10/10/2022 7:08 PM

## Help Shape the Future of Milton's Town Center

232	None	10/10/2022 5:51 PM
233	Boating/lakes	10/10/2022 5:39 PM
234	Cycling	10/10/2022 5:14 PM
235	Cycling	10/10/2022 5:14 PM
236	Biking	10/10/2022 10:17 AM
237	dog walking	10/10/2022 8:09 AM
238	Better playgrounds	10/9/2022 8:44 PM
239	Biking	10/9/2022 4:36 PM
240	Disc golf	10/9/2022 4:07 PM
241	Playgrounds	10/8/2022 5:59 PM
242	Hiking	10/8/2022 5:20 PM
243	hiking	10/8/2022 5:18 PM
244	Walking	10/8/2022 5:15 PM
245	do not travel	10/8/2022 10:40 AM
246	Hiking	10/7/2022 10:12 PM
247	Tennis	10/7/2022 9:23 PM
248	Dog Park	10/7/2022 9:20 PM
249	Sunset view	10/7/2022 9:17 PM
250	Running	10/7/2022 8:40 PM
251	Swimming	10/7/2022 8:31 PM
252	Tennis	10/7/2022 6:25 PM
253	Hiking	10/7/2022 6:25 PM
254	Playgrounds with shade	10/7/2022 6:03 PM
255	Swim	10/7/2022 4:57 PM
#	ACTIVITY 3	DATE
1	Hiking	1/13/2023 1:04 PM
2	Hiking	1/6/2023 12:25 PM
3	Biking	1/6/2023 7:20 AM
4	Boating	12/30/2022 8:37 AM
5	Skiing	12/7/2022 4:18 PM
6	Walking path	12/1/2022 1:13 PM
7	Dining	11/27/2022 1:37 PM
8	Biking	11/26/2022 7:42 AM
9	Biking	11/25/2022 9:40 AM
10	Canoeing	11/24/2022 10:00 AM
11	Biking	11/24/2022 5:46 AM
12	Swimming	11/22/2022 9:48 PM
13	Splash pad	11/22/2022 8:08 PM

## Help Shape the Future of Milton's Town Center

14	Hiking	11/22/2022 5:20 PM
15	Saratoga walking/biking path	11/22/2022 2:24 PM
16	Running	11/22/2022 12:08 PM
17	swimming	11/22/2022 10:24 AM
18	Swimming	11/22/2022 9:31 AM
19	Yoga	11/21/2022 10:47 PM
20	Soccer	11/21/2022 8:19 PM
21	hiking	11/21/2022 7:49 PM
22	Hiking	11/21/2022 7:05 PM
23	Tennis	11/21/2022 6:45 PM
24	hiking	11/21/2022 6:41 PM
25	Culture/Arts	11/21/2022 6:35 PM
26	Sports practices/tournaments	11/21/2022 6:19 PM
27	Congress park	11/21/2022 6:04 PM
28	Kayaking	11/21/2022 5:51 PM
29	Boating	11/21/2022 5:30 PM
30	Biking trails	11/19/2022 4:29 PM
31	Golf	11/15/2022 4:54 PM
32	Entertainment	11/15/2022 1:55 PM
33	Ice rink	11/15/2022 10:20 AM
34	Picnics	11/14/2022 11:08 PM
35	Skiing	11/14/2022 4:28 PM
36	dog parks	11/13/2022 5:00 PM
37	Football	11/12/2022 6:03 PM
38	Canoeing	11/12/2022 9:35 AM
39	Splash pad	11/12/2022 9:26 AM
40	Food	11/12/2022 6:23 AM
41	Food/shopping	11/12/2022 6:22 AM
42	Relaxing	11/12/2022 3:24 AM
43	Other playgrounds	11/11/2022 9:27 PM
44	Walking/biking	11/11/2022 9:09 PM
45	dog walks	11/11/2022 8:14 PM
46	Special Events	11/11/2022 8:09 PM
47	water recreation	11/10/2022 4:48 PM
48	noine	11/6/2022 11:21 AM
49	Tennis	11/5/2022 6:44 PM
50	Picnics/parties	11/5/2022 6:38 PM
51	Golf	11/5/2022 2:23 PM

## Help Shape the Future of Milton's Town Center

52	Ice skating	11/4/2022 11:16 PM
53	Walking	11/4/2022 10:49 PM
54	Sports	11/4/2022 5:18 PM
55	swimming	11/4/2022 4:16 PM
56	Relaxy	11/4/2022 9:36 AM
57	Hiking	11/4/2022 7:36 AM
58	Hiking	11/4/2022 7:29 AM
59	Sledding	11/3/2022 11:59 PM
60	xcountry skiing	11/3/2022 9:22 PM
61	Skiing	11/3/2022 9:09 PM
62	See petting zoo/farm animals	11/3/2022 8:17 PM
63	Nicer playgrounds	11/3/2022 7:07 PM
64	Walking/biking trails	11/3/2022 4:32 PM
65	Ice skating	11/3/2022 5:02 AM
66	Zoo	11/3/2022 12:11 AM
67	Special events	11/2/2022 11:01 PM
68	Playground	11/2/2022 10:23 PM
69	Picnic	11/2/2022 8:54 PM
70	Picnics	11/2/2022 8:10 PM
71	Picnics	11/2/2022 7:55 PM
72	Hiking	11/2/2022 7:42 PM
73	Boating	11/2/2022 4:10 PM
74	Hiking	11/2/2022 3:44 PM
75	Swimming	11/2/2022 7:58 AM
76	Ability to have cell service	11/2/2022 7:51 AM
77	Biking	11/2/2022 6:38 AM
78	Picnic	11/1/2022 6:49 PM
79	Swimmers	11/1/2022 6:16 PM
80	Trails	11/1/2022 4:33 PM
81	Playground	11/1/2022 11:52 AM
82	Historical	11/1/2022 11:40 AM
83	Tennis	11/1/2022 5:40 AM
84	Splash pad	10/31/2022 10:25 PM
85	Socialize	10/31/2022 8:22 PM
86	Shopping	10/31/2022 8:07 PM
87	Picnics	10/31/2022 5:47 PM
88	Dog park	10/31/2022 3:10 PM
89	Better playgrounds	10/31/2022 2:10 PM

## Help Shape the Future of Milton's Town Center

90	hiking path	10/31/2022 9:59 AM
91	Swimming	10/31/2022 7:09 AM
92	Splash pad	10/30/2022 11:24 PM
93	Running	10/30/2022 10:06 PM
94	Biking	10/30/2022 7:09 PM
95	walking	10/30/2022 6:35 PM
96	Retail	10/30/2022 5:59 PM
97	Sports	10/30/2022 3:59 PM
98	Running	10/30/2022 3:32 PM
99	Swimming	10/30/2022 8:25 AM
100	Basketball	10/30/2022 8:23 AM
101	Paved walking trail	10/30/2022 8:07 AM
102	Archery	10/30/2022 2:49 AM
103	Golf	10/29/2022 10:11 PM
104	Indoor recreational space	10/29/2022 10:10 PM
105	Nature	10/29/2022 9:20 PM
106	cross country skiing	10/29/2022 8:07 PM
107	I enjoy exploring different parks and finding quiet places to read and listen to nature	10/29/2022 6:42 PM
108	Swimming	10/29/2022 6:32 PM
109	None	10/29/2022 6:19 PM
110	swimming	10/29/2022 6:09 PM
111	Hiking/fishing/trails	10/29/2022 5:39 PM
112	Skiing	10/29/2022 12:12 PM
113	More activity	10/29/2022 7:35 AM
114	Kayaking	10/29/2022 7:26 AM
115	Ninja zone	10/29/2022 7:18 AM
116	Outdoor music	10/29/2022 6:19 AM
117	Swimming	10/28/2022 9:08 PM
118	Shopping	10/28/2022 7:56 PM
119	Skiing	10/28/2022 7:46 PM
120	Track/exercise	10/28/2022 7:36 PM
121	Bike riding	10/28/2022 7:33 PM
122	Biking	10/28/2022 7:16 PM
123	Pleasant open space	10/28/2022 7:11 PM
124	Relaxation	10/28/2022 6:34 PM
125	Biking	10/28/2022 5:32 PM
126	Biking	10/28/2022 4:57 PM
127	Outdoor food and beverage	10/28/2022 4:14 PM



## Help Shape the Future of Milton's Town Center

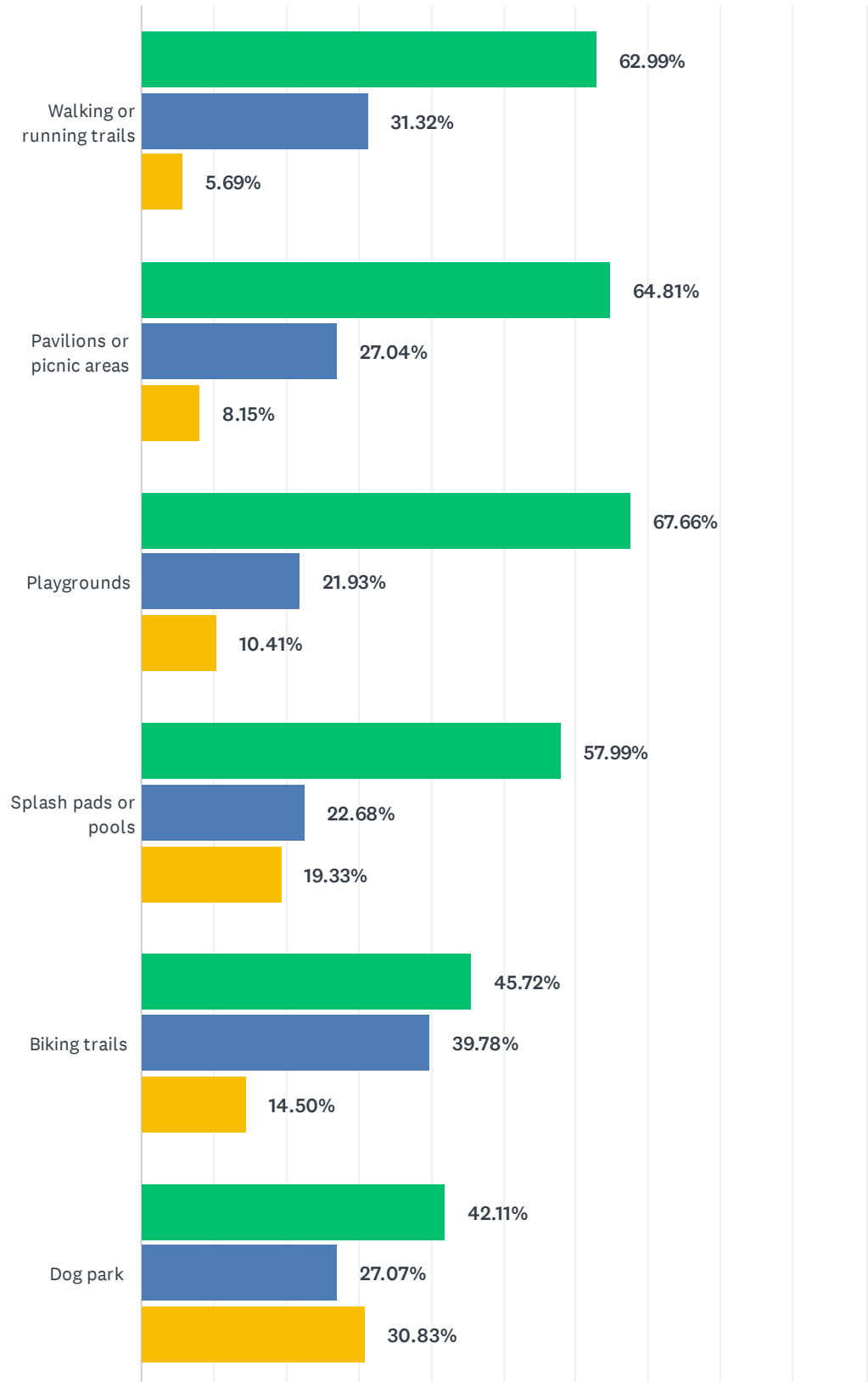
128	Walking	10/28/2022 3:45 PM
129	rope/zip line	10/28/2022 3:27 PM
130	camping	10/28/2022 3:15 PM
131	Dog park	10/28/2022 2:42 PM
132	biking	10/28/2022 1:56 PM
133	vacation	10/28/2022 10:44 AM
134	Skiing	10/28/2022 9:41 AM
135	Indoor recreation activities	10/28/2022 7:45 AM
136	Basketball	10/28/2022 7:17 AM
137	travel	10/28/2022 6:42 AM
138	Playground	10/28/2022 6:35 AM
139	picnics and rv'ing	10/28/2022 1:55 AM
140	Swimming	10/28/2022 12:20 AM
141	Cross country skiing	10/27/2022 11:34 PM
142	Hiking	10/27/2022 10:23 PM
143	Splash pad	10/27/2022 9:21 PM
144	Cross Country Skiing	10/27/2022 7:47 PM
145	Bike trails	10/27/2022 7:35 PM
146	Exercise	10/27/2022 7:06 PM
147	N/A	10/27/2022 5:58 PM
148	Mountain Hiking	10/27/2022 5:13 PM
149	0	10/27/2022 4:57 PM
150	Hiking	10/27/2022 4:44 PM
151	Walking	10/27/2022 4:19 PM
152	Running paths	10/27/2022 3:56 PM
153	Rollerblading/bike path	10/27/2022 3:42 PM
154	Snow shoeing	10/27/2022 3:37 PM
155	Trails	10/27/2022 3:36 PM
156	Tennis lesson	10/27/2022 3:25 PM
157	Swimming	10/27/2022 3:00 PM
158	DINING	10/27/2022 2:58 PM
159	Biking	10/24/2022 12:41 PM
160	Kids play climbing equipment	10/20/2022 8:59 AM
161	Walking	10/19/2022 7:12 PM
162	Water activities	10/18/2022 6:20 PM
163	biking	10/16/2022 10:08 AM
164	Biking	10/15/2022 11:32 AM
165	Swimming	10/15/2022 11:20 AM

## Help Shape the Future of Milton's Town Center

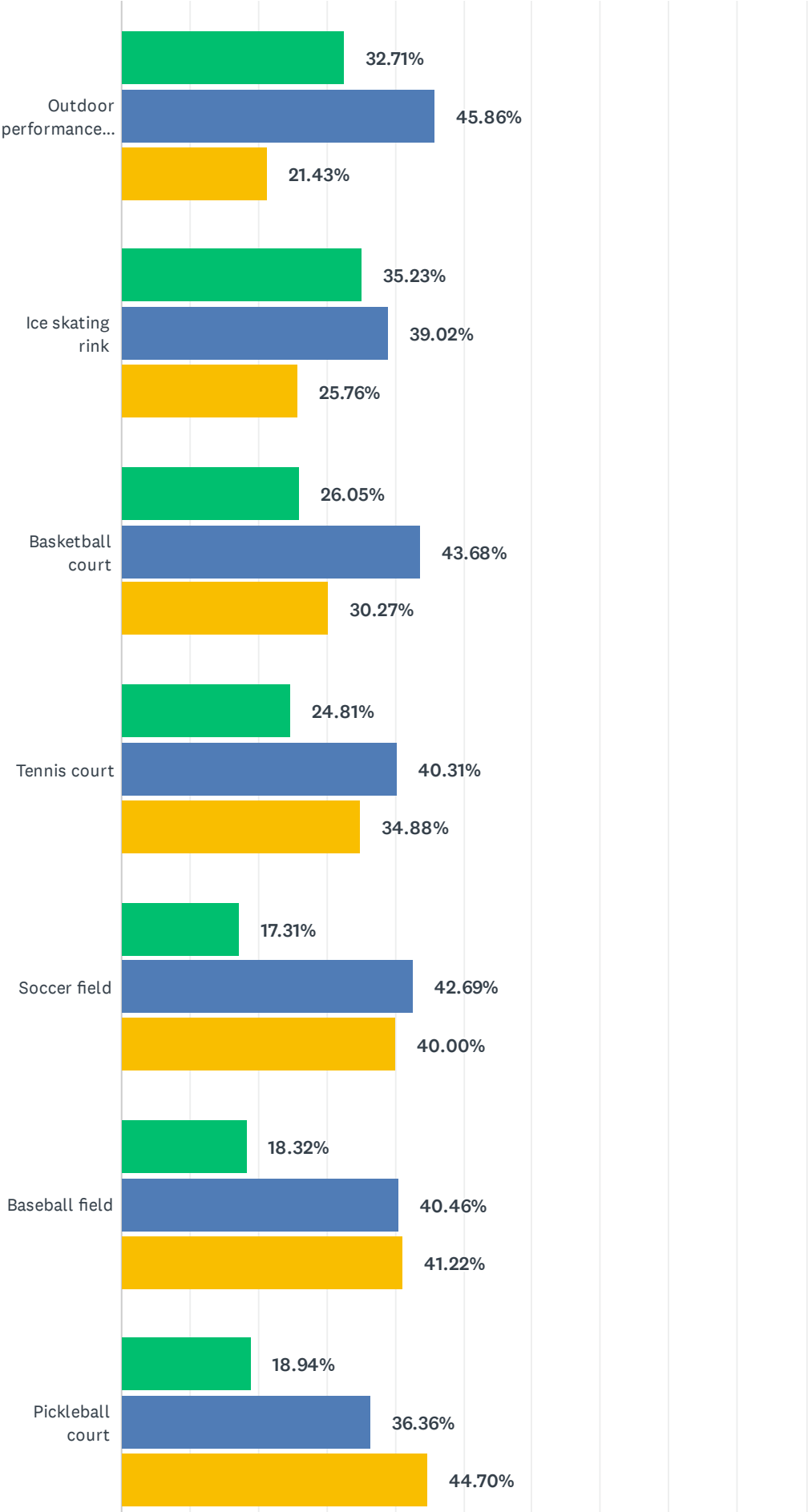
166	Skiing	10/15/2022 7:32 AM
167	Hiking	10/14/2022 10:56 PM
168	scenic beauty	10/14/2022 6:24 PM
169	walking	10/14/2022 4:29 PM
170	Socializing with friends	10/14/2022 12:58 PM
171	Bike trails	10/14/2022 11:38 AM
172	hiking	10/14/2022 11:03 AM
173	Boating	10/14/2022 9:40 AM
174	Listen to music	10/13/2022 6:38 PM
175	Shopping	10/13/2022 5:36 PM
176	Water activities	10/12/2022 7:27 PM
177	swimming	10/12/2022 9:52 AM
178	picnic	10/11/2022 5:58 PM
179	Shopping	10/11/2022 11:40 AM
180	Kayaking	10/10/2022 9:49 PM
181	None	10/10/2022 5:51 PM
182	Camping	10/10/2022 5:39 PM
183	kayaking/canoeing	10/10/2022 5:14 PM
184	kayaking/canoeing	10/10/2022 5:14 PM
185	Kayaking	10/10/2022 10:17 AM
186	Community events	10/9/2022 8:44 PM
187	Swimming	10/9/2022 4:36 PM
188	Skiing	10/9/2022 4:07 PM
189	Skating	10/8/2022 5:59 PM
190	Biking	10/8/2022 5:20 PM
191	biking	10/8/2022 5:18 PM
192	Hiking	10/8/2022 5:15 PM
193	do not travel	10/8/2022 10:40 AM
194	Hunting	10/7/2022 10:12 PM
195	Flag Football	10/7/2022 9:23 PM
196	Socializing	10/7/2022 9:20 PM
197	Wildlife photography	10/7/2022 9:17 PM
198	Hiking	10/7/2022 8:40 PM
199	Boating	10/7/2022 8:31 PM
200	Picnics	10/7/2022 6:25 PM
201	Community events	10/7/2022 6:03 PM

# Q8 What OUTDOOR amenities would you like to see in the Town of Milton?

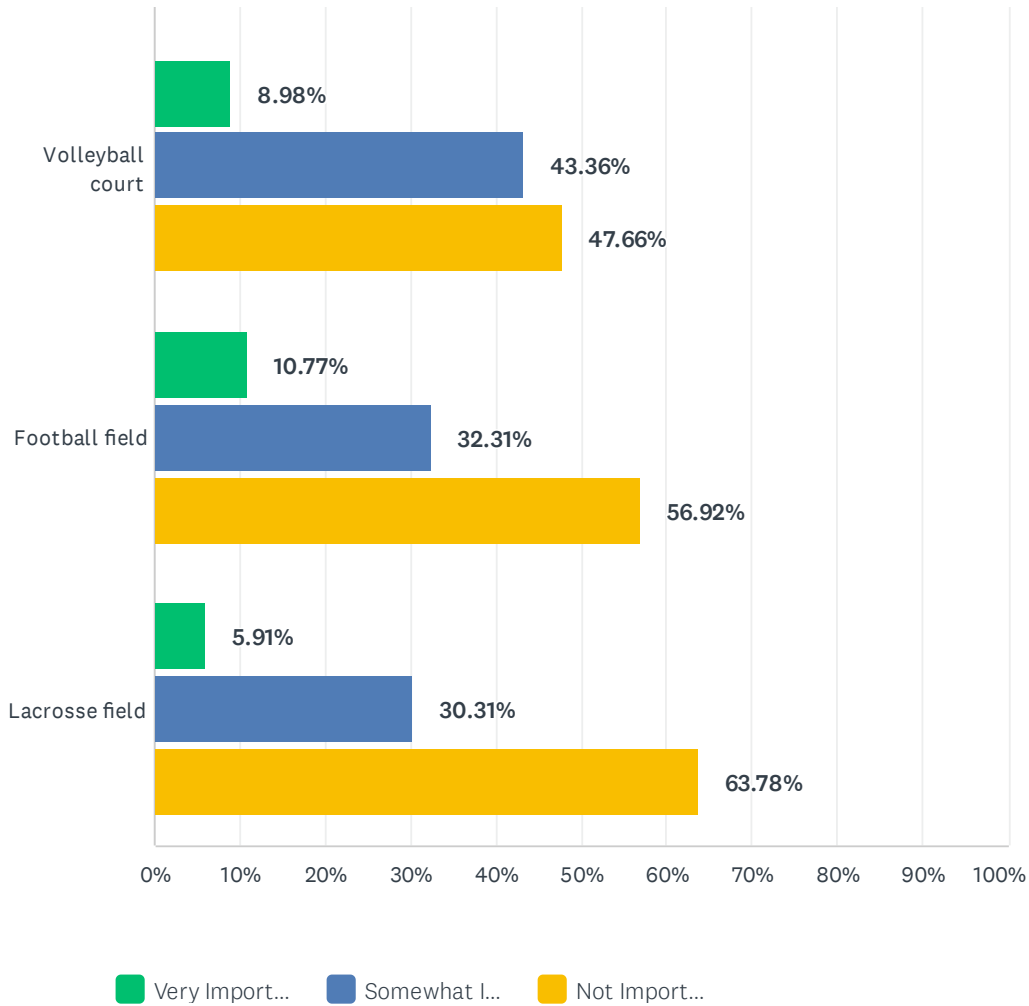
Answered: 288    Skipped: 1



Help Shape the Future of Milton's Town Center



## Help Shape the Future of Milton's Town Center



#	OTHER (PLEASE SPECIFY)	DATE
1	Many parks in Colorado have outdoor spaces built into playgrounds as adult workout areas. We need this in our area to preserve fitness and aging for our population.	11/26/2022 7:42 AM
2	Connect stone church to geyser road trail	11/24/2022 5:46 AM
3	Would like sidewalks on Rowland st	11/22/2022 2:24 PM
4	we need to keep our town about recreational activities because without that we have nothing	11/21/2022 7:49 PM
5	We have all of these things very close by; no need to spend money recreating them.	11/21/2022 6:35 PM
6	Disc golf	11/5/2022 2:23 PM
7	bike lanes!! I'd like to have the option to bike down Rowland safely to the park complex	11/4/2022 4:16 PM
8	Skateboard and roller blading half pipe and skating rink	11/3/2022 5:02 AM
9	Bathrooms	11/3/2022 12:11 AM
10	Horseback riding trails	10/31/2022 9:22 PM
11	Nice restrooms- open later	10/30/2022 11:24 PM
12	Disc golf	10/29/2022 10:11 PM
13	Quiet, peaceful, place to park/ sit and listen to nature to relax. The burgess and kimball town park is surrounded by exterior noise from the traffic and the highway department. Sometimes I leave bc the noise level is too loud.	10/29/2022 6:42 PM



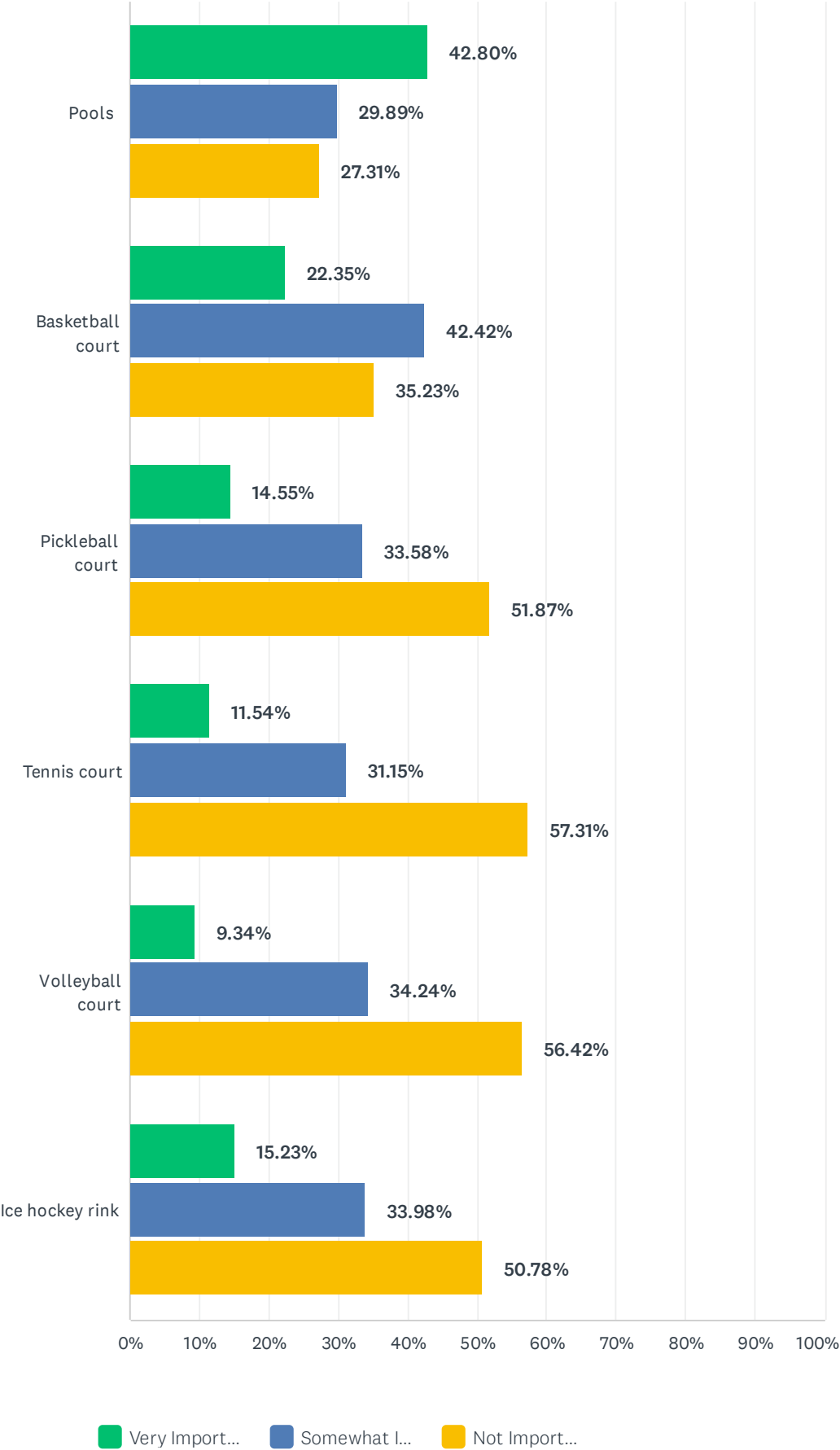
## Help Shape the Future of Milton's Town Center

14	Hiking trails	10/29/2022 1:59 AM
15	Indoor and outdoor public gathering space. Retain the Milton Community Center for the BASC.	10/28/2022 11:28 PM
16	ACCESSIBLE playgrounds. Suzanne's playground is amazing but bc it's the only accessible one in the area it's too busy for those with mobility needs!	10/28/2022 4:57 PM
17	Softball field	10/28/2022 7:17 AM
18	Gun shop	10/28/2022 6:42 AM
19	disc golf course	10/28/2022 1:55 AM
20	DOG PARK. RESTAURANTS	10/18/2022 6:20 PM
21	fitness trail	10/14/2022 6:24 PM
22	expand the runways at the Saratoga County Airport and expand gun firing ranges in teh Town	10/11/2022 2:36 PM
23	Large pavilion	10/11/2022 11:40 AM

## Q9 What INDOOR amenities would you like to see in the Town of Milton?

Answered: 281   Skipped: 8

Help Shape the Future of Milton's Town Center



## Help Shape the Future of Milton's Town Center

#	OTHER (PLEASE SPECIFY)	DATE
1	Indoor soccer	11/21/2022 8:19 PM
2	maybe a town sponsored firing range also	11/21/2022 7:49 PM
3	Indoor track.	11/21/2022 6:41 PM
4	Again, part of the beauty of living here is that these things are all close by. Milton should maintain it's rural character.	11/21/2022 6:35 PM
5	Indoor playgrounds	11/12/2022 9:26 AM
6	Entertaining spaces	11/2/2022 7:55 PM
7	Indoor baseball facility is desperately needed, we drive to Latham several times a week for baseball facilities at All Star Academy	11/2/2022 7:58 AM
8	movie theater?	10/31/2022 9:22 PM
9	A splash pad , Gaga ball pit	10/30/2022 11:24 PM
10	Bathrooms; a quiet place to read or work on a laptop with cozy furniture	10/29/2022 6:42 PM
11	An indoor playground/play gym would be amazing for the cooler months	10/28/2022 4:57 PM
12	Indoor space to rent to host fall and winter activities, parties or other social events	10/28/2022 7:45 AM
13	Indoor space for kids to play/ sensory gym?	10/28/2022 7:36 AM
14	bandstand	10/28/2022 6:42 AM
15	can't think of any that we, personally need. others might	10/14/2022 6:24 PM
16	Expand the runways at the airport; more gliders and commercial aviation training	10/11/2022 2:36 PM

## Q10 Please provide any thoughts or ideas about recreational opportunities and/or challenges in the Town of Milton.

Answered: 134 Skipped: 155

#	RESPONSES	DATE
1	Teen centric spaces, summer destination activities like splash pad/water feature park would be great attraction for young families. Ice skating rink indoor would be awesome so don't have to drive to Saratoga.	1/13/2023 1:04 PM
2	A place where families can go too	1/6/2023 7:20 AM
3	Connecting the amenities we have would be nice.	12/30/2022 8:37 AM
4	Need to be sure to fund our recreation budget sufficient to meet the needs of our facilities. No sense in having facilities if they are not maintained and kept up.	12/7/2022 4:18 PM
5	Outdoor gym space for adults. We need to encourage physical activity at all ages.	11/26/2022 7:42 AM
6	When my kids were young we loved our playgrounds. We would love to see more for older kids and adults.	11/25/2022 9:40 AM
7	It would be nice to update the kimball burgess playground into a really nice place for families. Also if you could extend the trail along geyser into Milton and onto Stone Church Rd. for biking and access to town center.	11/24/2022 5:46 AM
8	Pool/Swimming!!! Splash pad	11/22/2022 8:08 PM
9	Consider adding sidewalks or bike trail in Rowland st to connect to recreational areas and existing sidewalks.	11/22/2022 2:24 PM
10	Would love to get several Pickleball courts here. If we sign up to play in Saratoga we automatically get put on the waiting list as Milton residents	11/22/2022 12:08 PM
11	Replace football with another field sport. Make sure the turf is better cared for and suitable for sports.	11/22/2022 9:31 AM
12	Would love bike lanes/paths adjacent to/on Rowland linking the Milton town hall area to downtown Ballston Spa! Much like the sidewalks/bike path on Geyser.	11/21/2022 8:19 PM
13	we have no hunting land also.maybe a gun range do not.get rid of our playgrounds	11/21/2022 7:49 PM
14	Lack of sidewalks and pedestrian/bike paths	11/21/2022 7:05 PM
15	We find it very difficult to find affordable swim lessons. This is a safety issue for the towns children.	11/21/2022 6:59 PM
16	Town is seriously lacking in recreational facilities causing us to pay other towns to use their facilities	11/21/2022 6:45 PM
17	The Town should be considering how it is going to proceed forth with making Town Hall, and our entire community, more accessible. Opportunities to planfully do so, and to perhaps use CARES ACT funding for some of it, were lost.	11/21/2022 6:35 PM
18	Having an updated community center like the Town of Malta would be wonderful. We've signed up for childrens classes, and they have a nice library. Indoor and outdoor sports complexes would also be very nice!	11/21/2022 6:19 PM
19	Better bathrooms	11/21/2022 5:51 PM
20	The town needs to focus on provide opportunities for rec. for resident needs.	11/16/2022 9:18 AM
21	.	11/12/2022 6:03 PM
22	I live in Rowland's Hollow. Would like to be able to walk to the town center, park, and shopping.	11/12/2022 10:50 AM



## Help Shape the Future of Milton's Town Center

If a sidewalk on Rowland St is not feasible, how about a walking/ bike trail along the airport perimeter fence?

23	Limited resources. Decisions are made by Councilman who have no interest in exercise. Don't ask for input unless you plan to actually do something. Fix town hall.	11/12/2022 9:38 AM
24	When winter hits it is hard to find indoor options for small children	11/12/2022 9:26 AM
25	Indoor Playground or winter activities for kids	11/12/2022 6:23 AM
26	An area for a small local farmers market	11/12/2022 3:24 AM
27	Indoor facilities for teams to practice in would be great!!!!	11/11/2022 9:27 PM
28	It would be nice to have food service like some of the parks in space do, or at least vending machines	11/11/2022 8:58 PM
29	Splash pad and pools would be amazing	11/11/2022 8:36 PM
30	Something that can appeal to all families, not just families with children. Need to make this more of a community area, to make everyone locally connect. Not drive to Saratoga or Ballston Spa instead.	11/11/2022 8:14 PM
31	More hiking/walking trails would be great. Would need adequate available parking to accommodate usage.	11/10/2022 4:48 PM
32	Need more inside facilities for seniors, inside croquet games, pickle ball courts, bocce ball courts, and shuffleboard courts	11/6/2022 11:21 AM
33	An indoor recreation center would attract people who currently go to Saratoga for the YMCA facilities....especially when there are so many young adults that enjoy going but transportation isn't available. A lot of homes are being built and families are moving in. Oh and WHY ARE WE THE ONLY TOWN WHO DOESN'T GET A HOUSEHOLD GARBAGE DAY. Even if it were an option to sign up and pay a fee ahead we would do it. We live right on the line for the village. Every year we see them picking it up and we have to rent a truck and drive it to exit 16. Ijs since you hours are asking.	11/5/2022 6:38 PM
34	Disc golf course	11/5/2022 2:23 PM
35	The town needs a pool and walking/running paths. Perhaps using the BoyHaven site would be an idea?	11/5/2022 11:19 AM
36	Milton is a beautiful place positioned between two communities that have a lot going on. It would be wonderful if residents could be more connected to both Ballston Spa and Saratoga. The addition of sidewalks and bike lanes to connect to already-existing pedestrian amenities in our neighboring towns would make this a wonderful place to live. Currently, it is not safe to walk or bike down Rowland, though I see many people using the road for biking/walking. I see children, elderly, and people with disabilities using Rowland as a pedestrian thoroughfare. Surely we can do better to provide a safe space for our neighbors to access what Milton and the surrounding communities have to offer.	11/4/2022 4:16 PM
37	More areas for organized events indoors. We have a long "cold" season.	11/4/2022 9:36 AM
38	Not walkable.	11/3/2022 9:32 PM
39	Prioritize sports we have in our school system.	11/3/2022 9:09 PM
40	A pool	11/3/2022 8:26 PM
41	Now that this list mentioned it, an indoor year-round pool would be wonderful to have!	11/3/2022 8:17 PM
42	Some of the playgrounds are really run down (esp the one next to town hall). Suzanne's playground is very nice. A splash play area at a playground would be nice! With picnic tables and a pavilion with bathrooms.	11/3/2022 7:07 PM
43	A dog park similar to Greenfield Dog Park would be awesome!!! Walking trails that are multi-purpose for running and biking and possibly tie in with geyser rd and nature preserve would be a huge plus. A pool would be a bonus and an updated playground for pre-teens.	11/3/2022 4:32 PM
44	Very important to keep the park as a community gathering place	11/3/2022 11:59 AM
45	Would like to see the walkway come down to Stone Church Rd	11/2/2022 8:54 PM

## Help Shape the Future of Milton's Town Center

46	Possibly modify the existing walking trails off Rowland St or creating new trails that would include fitness stations for those who want to do a little more than just walk for exercise.	11/2/2022 8:10 PM
47	It would be nice to have an area to bring the community together more.	11/2/2022 7:55 PM
48	Plan for all ages, not just families with kids. Thank you.	11/2/2022 7:42 PM
49	Would be awesome to have indoor facility due to long winters!	11/2/2022 4:10 PM
50	I would personally love to see more paved or gravel bike trails in Milton, the roads around here aren't always conducive to safe cycling, especially for older folks and young children.	11/2/2022 3:44 PM
51	The cell service is awful.	11/2/2022 7:51 AM
52	A sidewalk along Geyser Road, along the Airport, would allow the west side neighborhood access to the town center	11/2/2022 6:38 AM
53	I fear the amount of available space is not there to build and construct the infrastructure necessary to increase the recreational opportunities in the town of Milton without purchasing overpriced properties	11/1/2022 6:16 PM
54	Need horseback riding trails	10/31/2022 9:22 PM
55	The town does not have a place we're the residents can go to cool off a splash pad would be good for as ages.	10/30/2022 11:24 PM
56	ADA complaint playgrounds — accessible and areas geared toward children with special needs! A splash pad would be great!	10/30/2022 10:06 PM
57	Limited areas to walk dogs	10/30/2022 7:28 PM
58	I would love to see a splash pad or pool in the town of Milton. We do use the ballston spa pool and love the affordable swim lessons there, So if I had to choose one, I'd pick a splash pad.	10/30/2022 7:09 PM
59	Shows	10/30/2022 8:23 AM
60	Sit down restaurants would be great, especially with entertainment	10/30/2022 7:04 AM
61	Dedicated football space for community with Lighting. Updating basketball court/tennis area-add pickle ball and functional lighting. Add disc golf	10/29/2022 10:11 PM
62	Better lighting at the Burgess Kimball Park for evening practices.	10/29/2022 10:10 PM
63	Thanks for asking!!	10/29/2022 9:20 PM
64	Preserving some open space is important. Connecting Kimball Park to the multi-use path on Geyser Rd. down to the Spa Park would be nice.	10/29/2022 8:07 PM
65	The noise level is the biggest issue for me. And no dogs in the park. My dog is 14 and does not do dog parks. We live on Rowland street and it would be nice to have a place to take her for a short walk. Too many people or other dogs is not a safe place for her. We travel to parks in other communities that offer nature trails and such where she can explore and not become overwhelmed with a crowd.	10/29/2022 6:42 PM
66	Would like to see biking/walking trails	10/29/2022 6:32 PM
67	Additional lighting at Burgess Kimball park through the football season. Bathroom facilities improved with mirrors and opened earlier and later in season. Additional activities throughout the year for community building- picnics/ barbecues, kids activities.	10/29/2022 5:39 PM
68	Extending the geyser road biking and walking path would be great. As well as working with adjacent towns/city to connect the sim smith trail from ballston spa to spa state park and beyond.	10/29/2022 12:12 PM
69	N/A	10/29/2022 5:33 AM
70	Has there been any demand for additional recreational facilities in the Town or is this survey the first solicitation of input.?	10/28/2022 11:28 PM
71	It would be nice to have a safe playground area, cooking spots and bathrooms available. We love this location and just wish it had more to offer throughout the year. Ice skating would be	10/28/2022 7:36 PM

## Help Shape the Future of Milton's Town Center

AMAZING! Permanent lights for evening football/sports and community events would encourage more to gather. Easy walking trail to additional parking off of geyser would be helpful and safer too. We love this location for our summer camp too! Easy for us to get to but would love sidewalks on Rowland to encourage safer routes to get home.

72	I am not aware of what Milton parks even exist.	10/28/2022 7:11 PM
73	Having spaces for performances would open the park to be the center of the town with car shows, flea markets, farmers markets, etc	10/28/2022 6:34 PM
74	Please be sure to consider disabled people in the planning.	10/28/2022 5:32 PM
75	We would love to see a sidewalk/trail down Middleline Road to connecting areas so we could access the community without having to drive! It would make everything more accessible.	10/28/2022 4:57 PM
76	There aren't a lot of spaces for sports. I would absolutely love tennis courts.	10/28/2022 4:31 PM
77	Trying to cross Rowland and Geyser is like taking your life in your hands. That intersection needs pedestrian crossing and the speed brought down to 30 mph.	10/28/2022 4:29 PM
78	The recreation should be tied to local businesses. For example, walking/biking paths that lead to restaurants/bars/stores, getting people to associate a business with a recreation ( example: a restaurant with outdoor seating becomes a destination for a post bike ride/ run meal/beverage.	10/28/2022 4:14 PM
79	Car shows and events to bring community out food truck rally craft shows flea market	10/28/2022 3:45 PM
80	We need more space for organized sports or activities for youth, families and seniors. Create a Recreation Department that could evolve into something similar to Town of Wilton - growing as budget allows. The Village Pool gets Town monies but doesn't let Town residents get in free - why is that? Instead of adding new recreation facilities/fields at the Town Center - create this at Woods Hollow (might need to purchase this from the Village or renegotiate the lease) which could be used for a large baseball/softball complex and multi-use indoor facility - this brings teams to the area as revenue for tournaments. There is room for these along with the hiking/fishing trails at Woods Hollow. Town Center playgrounds haven't been upgraded much in last ten years - desperately needs security lighting to reduce vandalism and upgrades. The youth sports teams ( Pop Warner, Miss Scotties, Ballston Spa Soccer, Pickleball etc. should be contacted for feedback on what they need for the future ) Dream Big and then make a plan. The Town of Milton finally has funds (Federal Covid ARPA Funds) that can kick start this. Review what other larger towns do - Clifton Park, Wilton, etc. and copy their success. Hire a Recreation Coordinator year round parttime to start - he/she will energize the Town Center with family activities/coordinate sports field useage/encourage new activities and plan for future growth.	10/28/2022 3:27 PM
81	more walking areas along the kaydersossas, such as along rock city rd, etc	10/28/2022 1:56 PM
82	Baseball fields in the park could use an overhaul.	10/28/2022 12:39 PM
83	just hope my town tax does not increase - again!	10/28/2022 11:05 AM
84	There are no sidewalks connecting neighborhoods on Rowland to the playground or burgess kimball park.	10/28/2022 10:51 AM
85	In general it is difficult to plan activities during the colder months in the town of milton	10/28/2022 10:44 AM
86	Currently there is no recreation in Milton, so there is a lot of opportunity	10/28/2022 9:41 AM
87	I hate to compare, but we take our kids to wear side rec for football and the skate park. I feel something like that would be great!	10/28/2022 8:19 AM
88	Please do not get rid of the playground, pavilions or existing outdoor space at Burgess-Kimball park. This is my family's favorite playground and we host our son's birthday party and family reunions nearly every year at the pavilion.	10/28/2022 7:45 AM
89	Playground that isn't broken and is accessible to kids of all abilities. Also an outdoor area for kids to cool off in the summer.	10/28/2022 7:36 AM
90	The current softball fields are a mess. They could be fixed and travel teams would pay a lot of money to use them. An indoor facility for winter workouts would also bring in money. We currently use Gavin park and pay Wilton.	10/28/2022 7:17 AM

## Help Shape the Future of Milton's Town Center

91	green space	10/28/2022 6:42 AM
92	Build a trail connector to spa state park	10/28/2022 12:20 AM
93	I would like to see more bicycle friendly/safety elements. For example I ride my bike from my house to the Hannaford. I live on Birchtree lane and can take an alternative route through Milton Oaks. I come out into the commuter parking lot across from the fire house and then have to cross busy Geyser road which feels dangerous at times. It would be helpful to have a pedestrian controlled light and cross walk so that pedestrians and cyclist could safely cross the road to get to Hannaford.	10/27/2022 7:47 PM
94	More family center	10/27/2022 7:35 PM
95	More walking trails	10/27/2022 6:31 PM
96	I feel walking paths and /or tracks would be a great addition.	10/27/2022 5:13 PM
97	Ample space is limited for sports field expansion.....	10/27/2022 5:04 PM
98	No comment	10/27/2022 4:57 PM
99	An indoor basketball court would be amazing to use during the winter months!	10/27/2022 4:19 PM
100	Local swimming pool with lessons would be amazing	10/27/2022 3:36 PM
101	Tennis is my main activity. At one time, Milton had the only lit tennis courts around. The courts fell into such bad condition due to lack of maintenance that they became unsafe to play on. I would like to see these restored to playing condition and continue to be lit to allow night play. We have plenty of walking available in Wood's Hole( if people would keep their dogs leashed) Aby bike trails would require kids riding on Rowland, Greenfield and Geyser Roads to get to the Park and that isn't a safe idea. There are enough public pools in the area. Hockey, baseball and other " field" sports are expensive to maintain. Sure we can build indoor structures, but where will the money come from to maintain and staff them? Volunteers are not easy to come by are may not be the most reliable. What about liability on these places? How do they benefit our aging population? I don't expect to see 70 year old playing volleyball. I think before moving forward with any of this, you need to weigh the costs, benefits and ongoing expenses before making any decisions. Ultimately, taxpayers WILL wind up footing bills here. Be careful with OUR money, please.	10/27/2022 3:25 PM
102	Use gurney lane in queensbury as a idea.	10/27/2022 3:00 PM
103	The Town of Milton has over 1600 registered dogs in the Town. We have to travel outside the town to visit dog parks. Having a dog park with other offered town activates would be nice. Indoor rec center Basketball, volleyball multiuse courts.	10/27/2022 12:32 PM
104	I would like the town of Milton to ensure that the recreational opportunities offered are arranged in a way that allow access to other modes of transportation besides cars. I would like to emphasisis walking and biking access to Town Park Facilities.	10/24/2022 12:41 PM
105	Would love a splash pad with more kids playground equipment. We go to Geyser Rd sometimes but it isn't adequate for an afternoon of fun without more to do. Hence, swings, teeter totters, climbing equip, slides like at Suzanne Lyall park	10/20/2022 8:59 AM
106	Dog park	10/18/2022 6:20 PM
107	It would be awesome if the more of the parks were connected by trails/sidewalks. I would love to see Woods Hollow connected to other recreation areas via trails and sidewalks.	10/16/2022 10:08 AM
108	Some activities for group and family exercises programs run by a certified fitness professional. ie. a family yoga program for a few weeks or a relaxation breathing program for different groups in the community or those employed in our community. A walking leader who holds programs for different groups to encourage fitness and relaxation at all levels, weather it be indoor or outdoor.	10/15/2022 11:20 AM
109	Woods Hollow is a wonderful space. I would love to see more natural places to walk and hike in the town of Milton. The tennis court needs some maintenance.	10/15/2022 9:15 AM
110	This survey doesn't mention the most valuable area in the Town of Milton, Woods Hollow. This nature preserve needs new signage, trail markers, EV charging stations, professionally built mountain bike trails, etc. Look to Anchor Diamond Park as a model example!	10/14/2022 10:56 PM

## Help Shape the Future of Milton's Town Center

111	Lack of sidewalks for safe walking. There is only small access to streams aka "Kadeross". There seems to be little concern about visual appeal. We don't need more institutional /sterile designs. The Town of Milton looks very boring.	10/14/2022 6:24 PM
112	Most are lacking clean, well maintained bathroom facilities.	10/14/2022 5:55 PM
113	Could we do a parade or fireworks event in the summer	10/14/2022 11:38 AM
114	Not sure	10/14/2022 9:40 AM
115	Move the playground on Wood Thrush Court to Rowland street.	10/13/2022 6:38 PM
116	Low impact activity for seniors	10/13/2022 4:09 PM
117	Sidewalks or trails from Milton Town Hall to the Nature Preserve and to Rt 29. Recreation Facility for long winters.	10/12/2022 7:27 PM
118	Please don't put a fast food place or gas station on the corner. Try to put something in that looks nice. Thanks!!	10/12/2022 9:52 AM
119	A park should be attractive for out-doorzy people.	10/11/2022 5:58 PM
120	a trail along the kayderossas would be great	10/11/2022 3:23 PM
121	Not needed, there's too much of this stuff already and it costs taxpayers money; we need more businesses, energy production, sewer treatment, water, raw materials for construction like lumber, stone & gravel and manufacturing.	10/11/2022 2:36 PM
122	Well equipped and well maintained sports fields which are aesthetically pleasing. Large covered pavilion which could double as ice skating rink in winter.	10/11/2022 11:40 AM
123	I would love for the town to have a park with the view that the airport has of the mountain/sunset. It's such a beautiful spot in the town but not convenient to recreate at, being at the airport. Is there any available adjacent land for the town (like by the Rock City Falls FD on Geyser Rd.)? Also, building trails along the Kayaderossas Creek, also such a beautiful feature in our town, would be amazing, if possible! If only we had secured the Boyhaven property... it would have offered so much. While we know Rowland's Hollow Nature Preserve well, I think some are intimidated to explore there due to trails not being clearly marked- that is one concern. Another is that Geyser Rd westbound across from Geyser Gate has an awkward shift in the lane/shoulder that takes you by surprise- especially at night. It seems like an easy fix. Thank you for seeking community input.	10/10/2022 5:14 PM
124	I would love for the town to have a park with the view that the airport has of the mountain/sunset. It's such a beautiful spot in the town but not convenient to recreate at, being at the airport. Is there any available adjacent land for the town (like by the Rock City Falls FD on Geyser Rd.)? Also, building trails along the Kayaderossas Creek, also such a beautiful feature in our town, would be amazing, if possible! If only we had secured the Boyhaven property... it would have offered so much. While we know Rowland's Hollow Nature Preserve well, I think some are intimidated to explore there due to trails not being clearly marked- that is one concern. Another is that Geyser Rd westbound across from Geyser Gate has an awkward shift in the lane/shoulder that takes you by surprise- especially at night. It seems like an easy fix. Thank you for seeking community input.	10/10/2022 5:14 PM
125	We have a few really nice playgrounds and recreational areas. It would be great to see a dog park and trails.	10/10/2022 10:17 AM
126	Need woods for hiking	10/10/2022 8:09 AM
127	More affordable housing	10/9/2022 4:07 PM
128	Is this the only thing that the town cares about? What about the elderly who will never use any of these facilities.	10/8/2022 10:40 AM
129	Multiuse baseball and football field with Musco led lighting	10/7/2022 9:23 PM
130	A dog park within the old fields at the Burgess Kimball Park would be great! Also upgraded fenced in tennis courts!	10/7/2022 9:20 PM
131	No parking areas	10/7/2022 9:17 PM
132	I wish we had safe walking trails along Rowland St, Greenfield Ave., Northline Rd. The	10/7/2022 8:40 PM

## Help Shape the Future of Milton's Town Center

shoulders are not big enough to walk on. I don't feel safe walking in Woods Hollow. People let their dogs run unleashed and there have been shady people in there while I've been walking there. The ticks are also really bad in there. But I do love the trail system.

133	Sidewalks to reach these parks from roads on Rowland would be nice.	10/7/2022 6:25 PM
134	How will the ton finance any changes?	10/7/2022 4:57 PM



## Q16 Please provide any additional thoughts or ideas about the redevelopment of the Town Hall Municipal Complex Site.

Answered: 112 Skipped: 177

#	RESPONSES	DATE
1	Development should be done with future needs in mind: alternative/sustainable/low impact energy and with children, teens, young families needs in mind as well as senior citizens. Parking, bike share, EV accessible should also be prioritized as well as connecting trails and pedestrian access.	1/13/2023 1:04 PM
2	Housing is a great idea, however, my concern is the rent/price would be too high for the average resident. The development across the street from me on Hutchins Road rents for over \$2,400 per month! YIKES. I know I could never afford to live there.	1/6/2023 12:25 PM
3	Helping the area grow with residential and commercial should be the goal. More tax revenue, more opportunities	1/6/2023 7:20 AM
4	Maximize the diversity of uses of the site. Get some ratables.	12/7/2022 4:18 PM
5	Solar farm	11/27/2022 1:37 PM
6	Exciting to think of a better Milton.	11/25/2022 9:40 AM
7	The Triebel plaza could be redone for commercial purposes. The kimball site should be kept for community playground/outdoor recreation and open space. Check out the gathering place in Tulsa, OK for inspiration. There is also a lot of residential/mobile home parks that could be cleaned up for residential areas.	11/24/2022 5:46 AM
8	It should be a space for gathering and recreation. Housing and businesses should not be the priority of this area. The camp is very important to us and our children.	11/22/2022 8:08 PM
9	The space should be utilized for open space and recreational facilities.	11/21/2022 8:19 PM
10	be smart with tax payers money	11/21/2022 7:49 PM
11	Bike paths connecting to Saratoga (Geyser Road Trail) and also Zim Smith please!	11/21/2022 7:05 PM
12	We moved here because of its small town vibe. I would hate to lose that.	11/21/2022 6:59 PM
13	This is a very difficult survey to answer with no background; I.e. what type of housing, something for low income / disabled populations? What type of business? I have no need for a mega NAPA, more pizza, etc. But a sit -down restaurant, certain professional services, etc. could be welcome. I am being forced to enter an answer to question 15 and am not happy about that-- this is too important to provide an uninformed answer.	11/21/2022 6:35 PM
14	Pool would be amazing	11/21/2022 5:30 PM
15	Please don't go down the multi-use residential/commercial buildings. They have failed all over the Saratoga region and don't really attract families and anchor businesses that are actually helpful to the community. They are often empty and quickly become eyesores. We have enough apartments and multi family homes in the town. Single family homes, open space, or helpful businesses	11/21/2022 5:29 PM
16	Additional housing is not needed in the town, we are not Ballston Spa or Saratoga Springs. And working in both in public safety we need to focus on Town of Milton residents and provide opportunities for residents. As someone who organizes hockey and baseball teams for local area first responders if hockey and baseball was provided in the town even in a outdoor way I would move all my events to the town. Apartment buildings do not provide a benefit to residents of the town, esp us home owners.	11/16/2022 9:18 AM
17	n/a	11/14/2022 4:28 PM
18	Hockey rink would be great for all ages to enjoy	11/12/2022 6:03 PM

## Help Shape the Future of Milton's Town Center

19	Don't ruin the small business owners with a big box type store. Don't allow political signs at the Hannaford space, regardless who owns the land. What an eye sore.	11/12/2022 9:38 AM
20	We do not need more housing. It's the only space in the area where the community can Gather. Why take the only place away just to create more tax revenue.	11/11/2022 8:14 PM
21	If you are serious about doing this, you should think big. Not just the normal things towns do. Think about the future. Think about people choosing to live their whole lives in the town of Milton. Growing older there and having amenities that make that possible. Recreational, commercial and housing that work together as a whole.	11/10/2022 4:48 PM
22	The residence of The Town Of Milton want our town to remain a small community full of open space. Overdevelopment will cause damage to our small quiet community. Our residence are not interested in living in an overpopulated area such as Clifton Park.	11/9/2022 5:24 PM
23	With the additional influx of senior citizens into the area, a place to have senior sports activities would be great, pickle ball courts, shuffleboard courts, Krochet courts.	11/6/2022 11:21 AM
24	Disc golf	11/5/2022 2:23 PM
25	If the town is hell bent on adding more residential areas, make it AFFORDABLE housing for lower income residents. Having a town with \$750,000 homes when people are living in trailer parks is unacceptable.	11/5/2022 11:19 AM
26	Leave the town alone. Dont become another Malta	11/4/2022 7:38 PM
27	This could be a great addition to our community if done well! If mixed use commercial/residential properties are put in, I'd like to see a lot of the space stay green and not become a large parking lot.	11/4/2022 4:16 PM
28	The property should be kept for town use and not commercialized. It would be great to see expanded athletic fields and playgrounds.	11/4/2022 8:57 AM
29	Wait ten years until inflation crisis is over.	11/3/2022 11:59 PM
30	We may need to construct a new town hall there since ours is outdated and constantly being repaired.	11/3/2022 9:09 PM
31	Community gathering space and indoor/outdoor rec would be great.	11/3/2022 8:17 PM
32	Safe, clean, family friendly Recreational facilities are top priority	11/3/2022 7:07 PM
33	Please bring some restaurants to Milton. No more pizza. Maybe 1 or 2 chains for convenience. Malta is providing for their people. Milton should be too!	11/3/2022 5:31 PM
34	Open space	11/3/2022 11:59 AM
35	Not sure	11/3/2022 5:02 AM
36	Rehab current properties to make them more appealing instead of taking away more land.	11/3/2022 12:11 AM
37	Not really interested in redevelopment if taxes would go up.	11/2/2022 8:54 PM
38	This whole area has become saturated with residential development already, I feel this should be at the bottom of the list of options. A place for residents to gather for recreation, entertainment and social events should be encouraged, there are fewer and fewer rural areas left, I would love to have it keep a smalltown feel.	11/2/2022 8:10 PM
39	Please focus on not raising the tax burden to redevelop this site	11/2/2022 7:55 PM
40	Thank you for the survey. Please keep communication flowing. P	11/2/2022 7:42 PM
41	NA	11/2/2022 4:10 PM
42	LEED certified buildings and environmentally sustainable planning should be used to differentiate our community.	11/2/2022 7:58 AM
43	Making walking and biking access easier and safer.	11/2/2022 6:38 AM
44	I would like to see a mix of restaurants and shopping and open space. The last thing we need are more houses, or apartments built on the site	10/31/2022 9:22 PM

## Help Shape the Future of Milton's Town Center

45	None	10/31/2022 8:07 PM
46	we do not need more housing . there are SO MANY APT COMPLEXES! there is no indoor recreation and outdoor recreation is limited to warm weather. there is no gathering locations either.	10/31/2022 9:59 AM
47	The continued growth and redevelopment of the Town of Milton is very important but it should not be done on the backs of the residents who pay their taxes.	10/30/2022 11:24 PM
48	Development in the community has been very much geared toward housing of families yet most families need to leave the town to be involved in family oriented activity. Any development should not add to the population but to attracting the population to stay in the community spending time and money in Milton.	10/30/2022 10:06 PM
49	Splash pad A building for ice skating Outdoor rec, Biking/walking path Baseball field Possibly a newer playground (same size) we love going to that one because of the shade, but it is lacking baby swings. I would hate to see it go.	10/30/2022 7:09 PM
50	Keep it as is, my son loves the burgess Kimball park are	10/30/2022 8:26 AM
51	When we moved to Milton, we appreciated that it wasn't overdeveloped and would like to keep it that way.	10/30/2022 8:25 AM
52	We just finished renovation on the current building and now we're talking about replacing the whole complex?	10/30/2022 7:04 AM
53	Add parking to the park and enhance functionality. More pavement paths. Better hard scape. Splash pad.skate park. lighting upgrades.	10/29/2022 10:11 PM
54	.	10/29/2022 10:10 PM
55	Thanks for the opportunity to participate. Overall, I think a balanced use of the space that allows for the greatest variety of opportunities for all residents of all socioeconomic backgrounds, generations, and abilities to be physically and socially active and connected will serve Milton well for decades to come.	10/29/2022 8:07 PM
56	It needs to be beautiful. It needs to fit with the town. A large multi story modernized building would not fit our community.	10/29/2022 6:42 PM
57	Nothing else	10/29/2022 6:32 PM
58	Include recreational areas... rec center for children or families to gather	10/29/2022 5:39 PM
59	More Restaurants in entertainment business is available	10/29/2022 7:35 AM
60	.	10/29/2022 7:18 AM
61	Would love to see a large dog park in Milton.	10/29/2022 6:02 AM
62	N/A	10/29/2022 5:33 AM
63	Please do not turn this space into a duplication of Malta's apartments over 1st floor businesses. Community gathering space and the recreational space in Burgess Park should remain or increase in size.	10/28/2022 11:28 PM
64	Na	10/28/2022 10:00 PM
65	Just leave it alone. We just spent millions to fix the town hall.	10/28/2022 7:16 PM
66	The park should be for everybody not a business park	10/28/2022 6:34 PM
67	Project and space should be green and as environmentally friendly as possible	10/28/2022 5:32 PM
68	Please make consideration for those with disabilities in your planning. While many people may feel this is not Important today, we will all be impacted by disability as we age and it's important to make everything accessible for those with current needs and those who will need easier access in the future.	10/28/2022 4:57 PM
69	It is exciting to think of entertainment options. Maybe a small movie theater.	10/28/2022 4:31 PM
70	Whatever is done here, traffic and safety needs to be a priority.	10/28/2022 4:29 PM

## Help Shape the Future of Milton's Town Center

71	None	10/28/2022 3:45 PM
72	In addition to the Community Emergency Corp, the old Highway garage space could be an indoor recreation facility. We already have the Community Center on North Line so don't need another meeting space. We do, however, need indoor recreational space for both kids, and adults. The Town Hall should stay there as public municipal offices but no retail on that property.	10/28/2022 3:27 PM
73	Traffic flow and safety at the corner of Rowland and Geyser need to be of the utmost importance in any redevelopment. This area is already congested during peak traffic times and exiting businesses and parks in that area can be difficult and dangerous! Please consider exit/entrance placement in any plans so this doesn't become even worse	10/28/2022 3:15 PM
74	Would like see the area kept focused on recreation, parks, etc.	10/28/2022 12:39 PM
75	as long as my town tax does not increase - again!	10/28/2022 11:05 AM
76	More rec opportunities for kids is needed	10/28/2022 10:51 AM
77	Don't ruin one of the only good things in the area. You will only push people to other areas that have the community space that you provide. Any development should be minimal and to further community spaces.	10/28/2022 10:44 AM
78	No housing of development in the park!	10/28/2022 9:57 AM
79	I cannot wait to see what the site will look like after the Highway Garage has been relocated. A community / recreational center similar to Malta would be amazing in the space!	10/28/2022 9:41 AM
80	I see what has happened with Saratoga in regards to housing, and the complexing are NOT anything affordable for people who live locally. On top of that having open space like a rec field for the kids to go to keeps them from being places they shouldn't be. I would agree if you want to update the space as a rec field but I will be disgusted if not unaffordable condos and apartments are put into that space.	10/28/2022 8:19 AM
81	What part of small town does this development team not understand? Our town has enough housing, enough apartments and enough elderly homes. We do not need any additional businesses that can't be added or developed elsewhere. This is the only space the children in our town have to get outside, be active and gather together to enjoy outdoor activities. The older generation complains enough about how much time children spend indoors and now you're considering taking away the only space they have left in our town to actually be outdoors and enjoy themselves? This space should not be changed, or have any development on it, except for the possible addition of some sort of indoor recreational space to allow kids to be active during the cold months.	10/28/2022 7:45 AM
82	Whatever you decide please keep in mind the disabled population, as well as the disabled kids in the community. Also keep in mind the fact that the people in the area aren't rich so it needs to be affordable	10/28/2022 7:36 AM
83	Remember this is taxpayer money you want to spend. It is not your money.	10/28/2022 6:42 AM
84	No more housing the kids already don't have enough space to keep them out of trouble and active.	10/27/2022 11:36 PM
85	Recreational facilities, splash pad, indoor/outdoor facilities, outdoor exercise path maybe mixed with some commercial/retail done tastefully.	10/27/2022 9:21 PM
86	Would love more walking and biking trails	10/27/2022 7:50 PM
87	I am hoping for thoughtful development that is inclusive of all members of the community. Make it attractive so that we are proud of our town center. Make it economically viable so that business can grown. Don't turn it into unattractive housing complexes such as those located near the intersection of Geyser and Greenfield.	10/27/2022 7:47 PM
88	Family centered	10/27/2022 7:35 PM
89	Town hall should be on geyser Rd across from the firehouse, sell the corner lot for commercial use, and expand the park with the remaining lot	10/27/2022 5:04 PM
90	No comments	10/27/2022 4:57 PM
91	Do not keep building residential buildings. We are overdeveloping Saratoga county in general.	10/27/2022 4:19 PM

## Help Shape the Future of Milton's Town Center

Keep it a recreation center for kids and adults to get outside and to use an inside area when the weather doesn't cooperate. Basketball courts, tennis courts, track. Keep people moving and healthy.

92	Too many houses going up already. Keep open spaces to encourage exercise for youths.	10/27/2022 3:56 PM
93	Would limit housing	10/27/2022 3:36 PM
94	Don't go crazy! There will be consequences down the road however this goes.	10/27/2022 3:25 PM
95	Make it a place everyone would enjoy	10/27/2022 3:00 PM
96	Rec center, Dog park, Community use space ... Milton residents currently have to leave the town to enjoy these amenities. By bringing them to town it would encourage others to come here. Those that visit here would shop here at our local stores.	10/27/2022 12:32 PM
97	Whatever is decided it needs multi-modal access such as walking or biking.	10/24/2022 12:41 PM
98	The town of Milton is a wonderful place to live and raise a family. More businesses would help keep it viable.	10/20/2022 8:59 AM
99	None right now	10/19/2022 7:12 PM
100	there has been too much development and cutting down green space in Milton already. We need to preserve the rural nature of our town	10/15/2022 9:15 AM
101	Take clues from Anchor Diamond and the Saratoga East Side Rec Center.	10/14/2022 10:56 PM
102	Why housing ????? Will it be affordable housing???? IS that what is being talked about? I am not against that but am asking why housing....IT should be a space for all residents. And designed well....it should function well AND look good!	10/14/2022 6:24 PM
103	If residential development is decided as part of the redevelopment, it must be AFFORDABLE for young families!	10/14/2022 12:37 PM
104	Good luck	10/12/2022 7:27 PM
105	Make it beautiful!!	10/11/2022 5:58 PM
106	UNNECESSARY. The place is fine the way it is. We do not need to waste \$ on a new town hall or new parks. We need roads, businesses, airport expansions, water, energy, sewer, and important things. This is a TERRIBLE SURVEY, poorly constructed and which pushes a particular point of liberal view.	10/11/2022 2:36 PM
107	Tear down ugly block building and adjacent building, move Town court into current Town Hall meeting room and build new one story Town Hall on that site.	10/11/2022 11:40 AM
108	None	10/10/2022 10:17 AM
109	Please please make the site accessible. The current town hall with the best entrance given to the court is not at all resident-friendly.	10/8/2022 10:40 AM
110	The trailer park could be upgraded behind the park but the park should be left with improvements given	10/7/2022 9:20 PM
111	Save taxpayer money. Do not raise taxes. By some commercial development can provide extra income	10/7/2022 9:17 PM
112	Where would the money come from to purchase land and build a new town hall?	10/7/2022 4:57 PM

## Appendix D – Project and Community Survey Publicization Materials



# **WE NEED YOUR HELP** **to shape the future** **of Milton's Town Center**

The Town is preparing to relocate its Highway Department Facilities and needs your help to reimagine the site of Town Hall and Burgess-Kimball Memorial Park. Your input will play a major part in developing a Master Site Plan with enhanced recreational and commercial amenities similar to those available in our neighboring communities.

With your input, we plan to present to the community illustrated site plan concepts to guide redevelopment activities at the center of Milton.

**[www.ReimagineMilton.com](http://www.ReimagineMilton.com)**

or Scan QR Code



**Stay tuned to the project website  
for more information!**

## Reimagining the site of Town Hall and Burgess-Kimball Memorial Park



Stay tuned to the project website for more information!

[www.ReimagineMilton.com](http://www.ReimagineMilton.com)





**WE NEED  
YOUR HELP  
to shape  
the future  
of  
Milton's  
Town  
Center**

**Take a quick Survey at:  
[www.ReimagineMilton.com](http://www.ReimagineMilton.com)**

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The Town is preparing to relocate its Highway Department Facilities and needs your help to reimagine the site of Town Hall and Burgess-Kimball Memorial Park. Your input will play a major part in developing a Master Site Plan with enhanced recreational and commercial amenities similar to those available in our neighboring communities.

With your input, we plan to present to the community illustrated site plan concepts to guide redevelopment activities at the center of Milton.

Stay up to date on developments at:

**[www.ReimagineMilton.com](http://www.ReimagineMilton.com)**

or follow the Town of Milton on Facebook



## **Appendix E – Stakeholder Interview with Ballston Area Community Center (BACC) Executive Director**



## **MEMO**

On Sept. 15, 2022, Adam Yagelski (AY) and Colleen Russo (CR), of the Ballston Area Community Center (BACC), met at BACC's offices to discuss recreation and parkland needs and the stakeholder community in the context of the future plan for the Municipal Complex site.

- AY provided brief background about the Town of Milton's project to evaluate its facilities, plan for the relocation of the Highway Garage, and conduct a planning process to develop a master plan for the Municipal Complex and Burgess-Kimball Memorial Park site.
- CR indicated a lack of recreation space in the context of a growing community. CR said there's a need for indoor space for activities like youth basketball, soccer, and space for the Ballston Area Recreation Council (BARC) to conduct arts programs. BARC had been using School District space pre-pandemic, but availability has changed. CR also suggested library space is a need.
- To the north, there is the Y in Saratoga and smaller Y in Malta (oriented toward childcare) but there are relatively fewer such facilities locally.
- Space to accommodate and additional programming oriented toward seniors (e.g., chair fitness) is a need.
- There is also a need for childcare facilities. AY and CR discussed the potential for BACC and the Town to partner to provide childcare, such as providing subsidized space for providers.
- In terms of libraries, the Village of Ballston and Saratoga Springs both have libraries. Malta also has a library that could serve as an example.
- CR discussed that some of the facilities at Burgess-Kimball park are dated and access limited during certain hours.
- CR indicated a community pool, while an admittedly challenging proposition, is another need.
- CR discussed that she personally visits Burgess-Kimball and in her experience it could benefit from the addition of formal walking paths, recreation areas, formal areas for outdoor gathering, signage, and other



enhancements to make it more inviting and user-friendly. Outdoor performance spaces and workout areas were discussed.

- CR said there's a lack of gym/fitness areas, both public and private. Malta has a facility that residents can use with aerobic and other workout equipment.
- Providing space for other community functions, such as the volunteer income tax preparation service offered by BACC, is a need.
- AY asked what regional facilities might be an example to look to for ideas. CR said the Malta Community Center and the Glens Falls Library could be looked to.
- CR offered to support the Town's community engagement and involvement efforts by leveraging her networks in the PTA, parents receiving services from BACC, and the School Board president.
- Community events include: First Fridays, Sept. 24<sup>th</sup> craft fair hosted by the Town, Halloween activities at BACC (the "Monster Bash" – opportunities for tabling for the project), Dec. 2<sup>nd</sup> X-Mas parade.
- CR offered a list of several other stakeholders: the County's office of Aging and Youth, Nora at BARC, School Board President. AY suggested that he can prepare an email outlining the project for CR to circulate to some of her contacts to conduct additional stakeholder interviews.

## Appendix F – Land Development Community Stakeholder Meeting Notes



## DELAWARE ENGINEERING, D.P.C.

28 Madison Avenue Extension  
Albany, New York 12203

Tel: 518.452.1290  
Fax: 518.452.1335

**TOWN OF MILTON**  
Building Condition Evaluation,  
Highway Complex Relocation and  
Municipal Complex Site Planning

**PROGRESS MEETING NOTES**  
Oct. 13, 2022  
10 AM to 12PM; Town Hall

**Attendees:**

For Milton:

John Frolish  
Barbara Kerr  
Jason Miller  
William Lewis  
Dave Braymer  
John E. Olenik

For Delaware

Engineering:  
Adam Yagelski  
Cody Messier

For Land Development Community Stakeholders:

Bruce Boghosian (Boghosian Brothers)  
Tom Boghosian (Boghosian Brothers)  
Geoffrey Booth (New York Development Group)  
Jeff Knox (New York Development Group)  
Michael Munter (Munter Enterprises)  
Tom Samascott (Malta Development)  
Wayne Samascott (Malta Development)

Agenda Item(s)	Notes	Action
1. Discussion with Land Development Community stakeholders	<p>Meeting participants first discussed the future of the Town Hall Burgess-Kimball site:</p> <ul style="list-style-type: none"><li>• There is a need for a use to anchor the corner, provide services to the residents.</li><li>• What is salvageable on the Town Hall site? Town Hall is, but it could use aesthetic updates. There should also be a focus on ensuring it meets the needs of the Town government. The 1994 block building appears salvageable and could be reused as a gym or other indoor rec space.</li><li>• On the site, there is a need for community-related uses and services, like: better ball fields and reinvestment in the parks.</li><li>• Any future site plan should focus on creating a sense of place. It should “project an image of success” of the Town of Milton and it should be oriented from a design standpoint toward the street and public realm. Any site plan should also help create a destination in Milton.</li><li>• The runway protection zone (RPZ) will likely limit what can be developed there.</li><li>• As the Town undertakes the current projects, the history of prior efforts should be kept in mind. The Town Center concept dates to 2006. It is worth keeping this larger context of the site in mind when planning specifically for the future of the site.</li><li>• What also contributes to the success of making the Town Center concept a reality: quality development, well-maintained, attractive presentation of development, and code enforcement (e.g., lawn maintenance).</li></ul>	DE to circulate meeting summary notes to all participants.

Agenda Item(s)	Notes	Action
	<ul style="list-style-type: none"> <li>• Should commercial development be pursued? A land-lease approach, e.g., would provide revenue to help the Town maintain existing facilities/spaces. <ul style="list-style-type: none"> <li>○ The plan should “enhance rather than commercialize” the site. It should maximize recreational services, opportunities.</li> <li>○ Connections between the redeveloped site and area neighborhoods and businesses will result in a synergy – a synergy that might be of greater benefit to the Town than selling or leasing part of the property.</li> <li>○ The Town has an important asset in the ~20 acre site, and if I had that land I wouldn’t sell it.</li> <li>○ The Town shouldn’t compete with the private sector in its efforts to redevelop/reimagine the site.</li> <li>○ There are other opportunities missed, such as zoning space for light industrial and manufacturing.</li> <li>○ One issue with development and subdivision is that, especially commercial development, must be carefully planned or elements, such as trash pickup and traffic, might detract from the park/rec space.</li> <li>○ Concession is a better model if the Town is interested in creating new revenue streams using the space.</li> </ul> </li> <li>• The group generally agreed that Town hall should remain on the site as part of the anchor.</li> <li>• The Town should focus on attracting a “knock out place, a hub.” A place for dinner, or a nice restaurant, or a diner serving three meals. It should create places to go, things to do.</li> <li>• An example is Gavin Park in Wilton. The project team should become familiar with that site and the indoor/outdoor facilities sited there.</li> <li>• Another need is outdoor gathering space: For example, a formal place to begin and end a parade.</li> <li>• One problem relative to restaurants in that location is the lack of mid-day traffic.</li> <li>• Hybrid-type spaces would need subsidy to make economically viable. And other spaces, like an ice rink or batting cages, also are not profitable but are desirable and can be assisted by Town involvement, e.g., on the land and insurance.</li> <li>• It should be emphasized that whatever the Town does with the site it should be economically sustainable.</li> <li>• The Town can do more to streamline the process and affirmatively work with the development community to attract investment. The example of Triebel attracting Hannaford, which has been extremely successful, is instructive. Triebel wrote directly to corp. leadership, which was unusual and well-received. And the approval process took 62 days.</li> <li>• Regional and National chains have real estate committees that search for sites using a very specific, formulaic, and regimented process. It is a challenge if a site doesn’t score well on even a single metric. Outreach by the Town can overcome some barriers. One way to think about it is: There is a lack of competition in the Milton Town Center area for a potential business which is an opportunity itself.</li> </ul>	

Agenda Item(s)	Notes	Action
	<ul style="list-style-type: none"> <li>• The park and ride should be retained. With the expansion of the airport terminal, perhaps the park and ride can be relocated there to open up more green space?</li> <li>• Overall, it should be emphasized that the Town should not sell off or commercialize the Town Hall site in the future; it should be retained to strengthen the Town’s sense of place, increase activity, provide a destination, fill in recreation needs gaps, and provide public amenities of the kind that private developers cannot profitably offer. Opportunities to coordinate with or factor in the broader Town Center area and neighboring land uses, like the airport, should be part of the planning process.</li> </ul> <p>The group then discussed the draft floorplan and site plan for the relocated highway garage:</p> <ul style="list-style-type: none"> <li>• The highway garage project should emphasize functionality, aesthetics, providing services to the Town – and it should be done well, with a focus on maintenance costs long-term.</li> <li>• There may be water pressure issues at the site, given experience developing adjacent parcels.</li> <li>• What is the intended use of the green buffer shown on the site plan? It should not be overly large in terms of maintenance footprint and costs.</li> <li>• The site is situated in the Town Center area and should strive to comport with requirements of that district. It should have “curb appeal.”</li> <li>• There should be one “money wall” that faces the street.</li> <li>• Greenspace should be high quality and plan and program for maintenance should be in place.</li> <li>• Landscaping should be part of the plan and is an inexpensive means to elevate the site’s aesthetics.</li> <li>• The adjoining parcel to the south is privately owned and likely will be the site of future private development. This should be kept in mind in the site planning efforts, and efforts to minimize potential noise, odor, lighting/visual, and other conflicts should be addressed now. For example, locating buildings so as to buffer/shield this parcel should be considered.</li> <li>• The highway garage should use the right materials – avoid costly materials but still project a high-quality appearance.</li> <li>• Emphasis should be on long-term maintenance costs.</li> <li>• The Town should consider moving the building much closer to the street. The Town Center district zoning requires a maximum 10-15’ (roughly) setback maximum. Doing this would open up more space in the rear and further placemaking goals, especially in anticipation of future development.</li> <li>• The current draft site plan has been developed with the assumption that the fuel island relocation, which is a separate project, would determine the future location on the site (i.e., mid-way into the site along the southerly boundary of the proposed highway garage complex facility). The future fuel island site is not fixed.</li> </ul>	

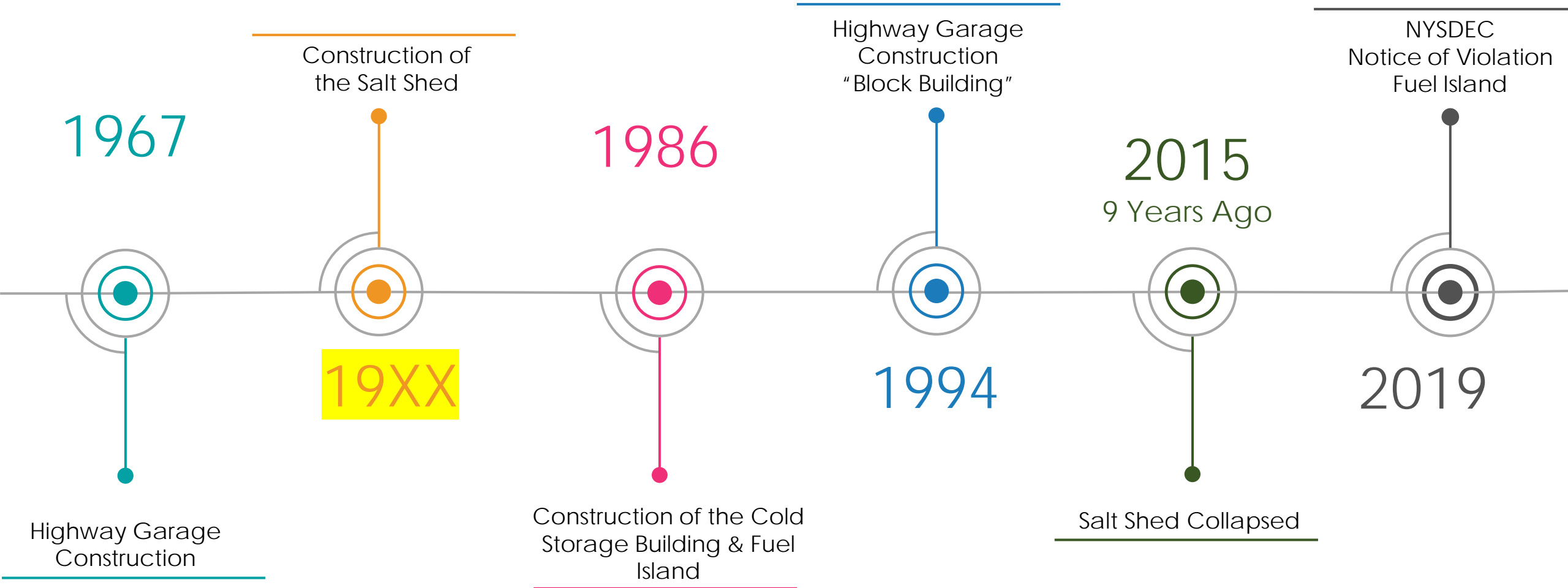
Agenda Item(s)	Notes	Action
	<p>In terms of next steps:</p> <ul style="list-style-type: none"> <li>• The Town has developed a project website to provide information to the public.</li> <li>• Folks from the land development community expressed a desire to stay involved and apprised of developments, including site planning for the future of Town Hall Burgess-Kimball site. It is important to listen, but it is also important to demonstrate to stakeholders that you've heard their input. Folks also indicated a willingness to be involved in the highway garage design in more detail when the design has advanced.</li> <li>• The community engagement process will continue into the beginning of 2023 at which point draft Town Hall Burgess-Kimball site plan concepts will be presented and feedback solicited, with the goal to make a final presentation to the Town Board shortly thereafter. At the same time and in parallel the Town intends to advance the highway facilities relocation project.</li> </ul>	
2. Highway complex relocation	<p>The Town's team next discussed aspects of the highway relocation project.</p> <ul style="list-style-type: none"> <li>• Jason indicated that the draft floor plans are good and did capture the Dept.'s requirements – that if financially feasible, the floor plans are workable. Cody indicated that the objective at this stage in design is to make sure all requirements are captured. The process can then involve making adjustments, factoring other design objectives, like cost.</li> <li>• The group discussed that a refined estimate of costs is now needed in order to begin addressing other design objectives. Cody indicated that per-SF costs of highway garage facilities have increased from \$350/sf to \$450-\$500/sf. It should be possible now with the floor plans to obtain a good estimate from Trophy Point.</li> <li>• Dave indicated a desire to request that the Town Board authorize the issuance of debt early in 2023, though an engineers estimate for bidding won't be available for a year – i.e., once final design and bid specs are completed.</li> <li>• An updated TIA showing various potential taxpayer average cost scenarios from \$8 M to \$20 M should be developed, using 25-30 year payback at ~4% interest.</li> <li>• The group discussed that there is a need to carefully balance implementing a project that will result in construction of a 50-year asset with ensuring the costs and program are reasonable. The Town has been studying this project for many years and what was an \$8 M project is now likely to cost more for an equivalent product given the passage of time. Advancing an unreasonable project risks further delays. At the same time, it is the function of the Town Board, as the Town's fiduciary, is ultimately responsible for the decision.</li> </ul>	<p>DE to provide an updated taxpayer impact analysis.</p> <p>DE to provide a more refined cost estimate</p> <p>DE to update the site plan now that the fuel island may not be fixed in place.</p> <p>Schedule site visit to Salt Shed area in the next week</p>
3. Public engagement	<ul style="list-style-type: none"> <li>• As of this morning, 34 survey responses had been submitted.</li> <li>• The Town and DE will continue to work to publicize on social media.</li> <li>• John thought that one of the biggest take-aways from the tabling event was that sidewalks along Rowland St are needed.</li> </ul>	DE to provide cost of cards and potential door hangers.



## Appendix G – Slide Deck from December 28, 2022 Town Board Meeting Presentation

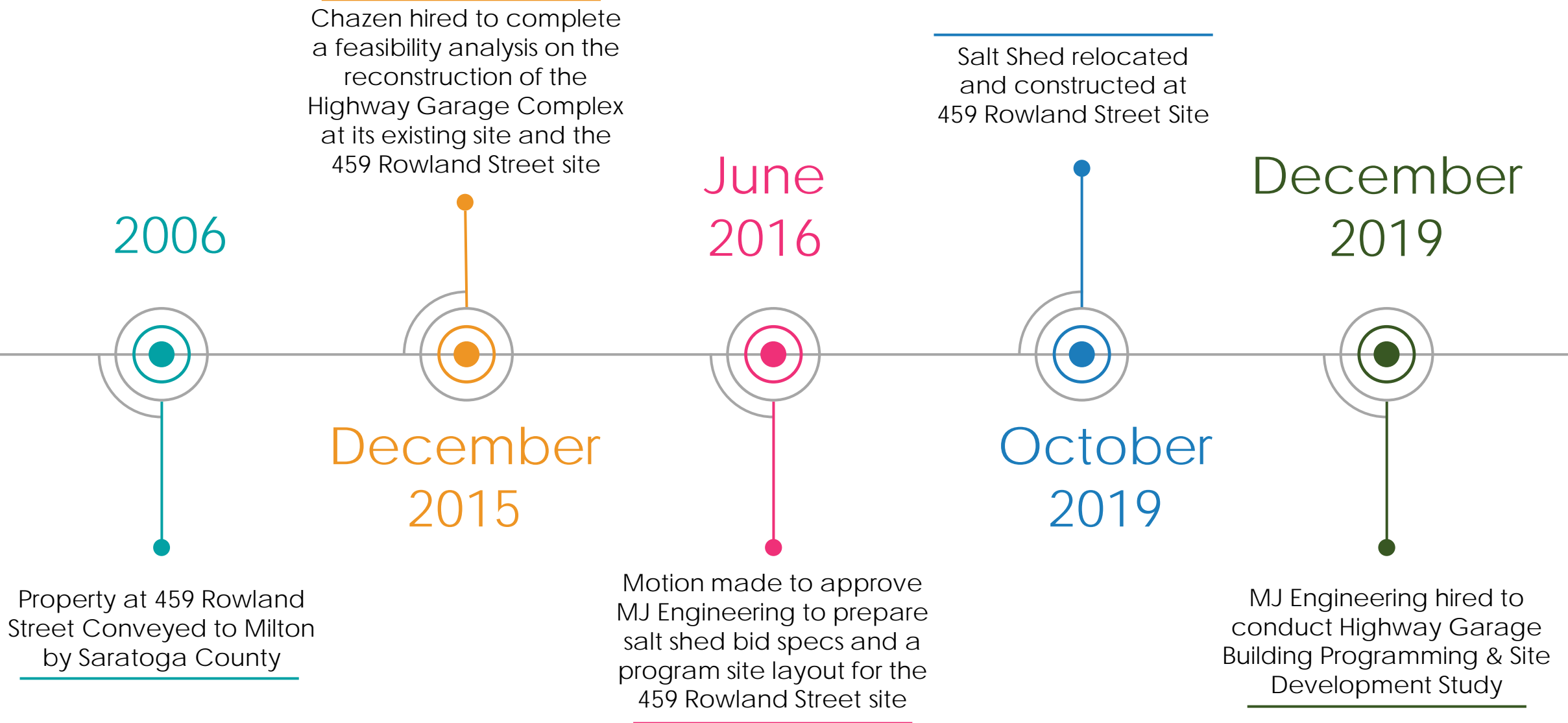
# Milton Highway Facility History

## 503 Geyser Road

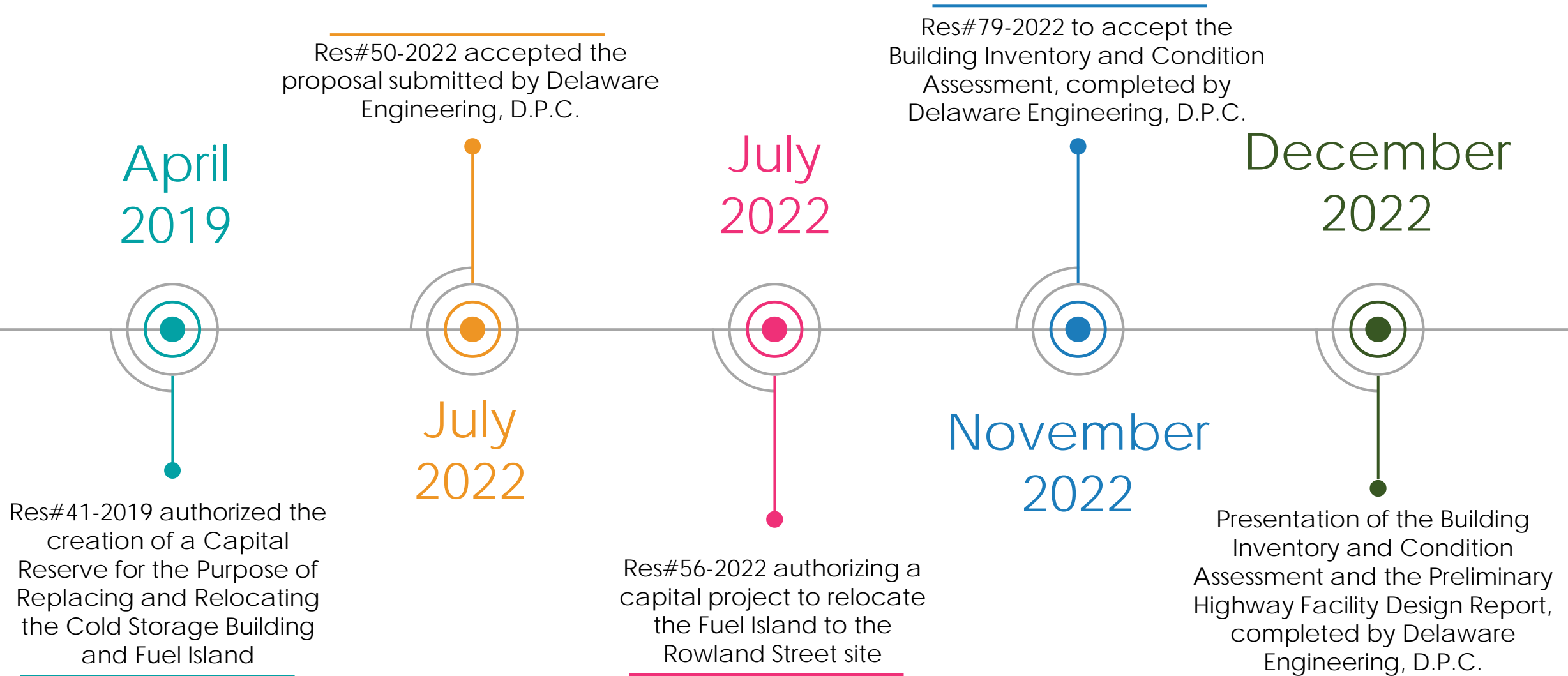


# Milton Highway Facility History

## 459 Rowland Street



# Current Engineering Efforts



# FACILITIES CONDITION ASSESSMENT, HIGHWAY DEPARTMENT FACILITIES NEEDS, AND MUNICIPAL COMPLEX OPPORTUNITIES MAP

Town of Milton Town Board  
December 28, 2022



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# AGENDA

- Project Background
- Condition Assessment
- Highway Department Needs
- Municipal Complex & Burgess-Kimball Site Planning

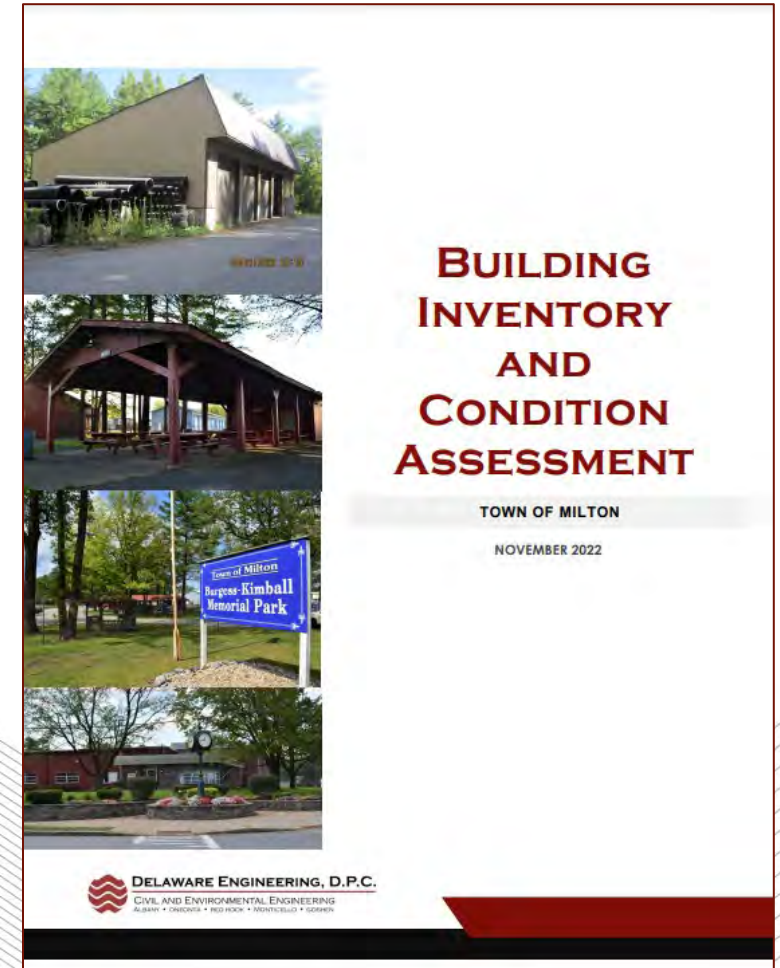


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# CONDITION ASSESSMENT

- Report accepted by Town Board on November 30, 2022 and available from [https://www.townofmiltonny.org/committees/facilities\\_comittee.php](https://www.townofmiltonny.org/committees/facilities_comittee.php)
- Fieldwork August-September 2022 – detailed assessment of 15 facilities
- Capital planning tool
- Inventory
- Policy recommendations



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Location	Building	Overall Condition
Town Hall Municipal Complex	1967 Highway Garage	Poor
Town Hall Municipal Complex	1986 Storage Building	Poor
Town Hall Municipal Complex	1994 Highway Garage	Fair
Town Hall Municipal Complex	1967 Town Hall/Town Court	Good
Burgess-Kimball Memorial Park	1990 Pavilion #1 (East)	Good
Burgess-Kimball Memorial Park	1993 Bathroom/Storage Facility	Good
Burgess-Kimball Memorial Park	1990 Pavilion #2 (West)	Good
Burgess-Kimball Memorial Park	1998 Parks Garage	Good
Burgess-Kimball Memorial Park	Burgess-Kimball Playground	Good
Burgess-Kimball Memorial Park	Burgess-Kimball Hard Courts	Poor
Burgess-Kimball Memorial Park	Burgess-Kimball Tennis Practice Court	Fair
Burgess-Kimball Memorial Park	Burgess-Kimball Ball Fields	Fair
Suzanne Lyall Memorial Park	Suzanne Lyall Pavilion	Good
Suzanne Lyall Memorial Park	Suzanne Lyall Playground	Good
Northline Road	2002 Community Center	Good
Geyser Road	2002 Stump Dump	Fair



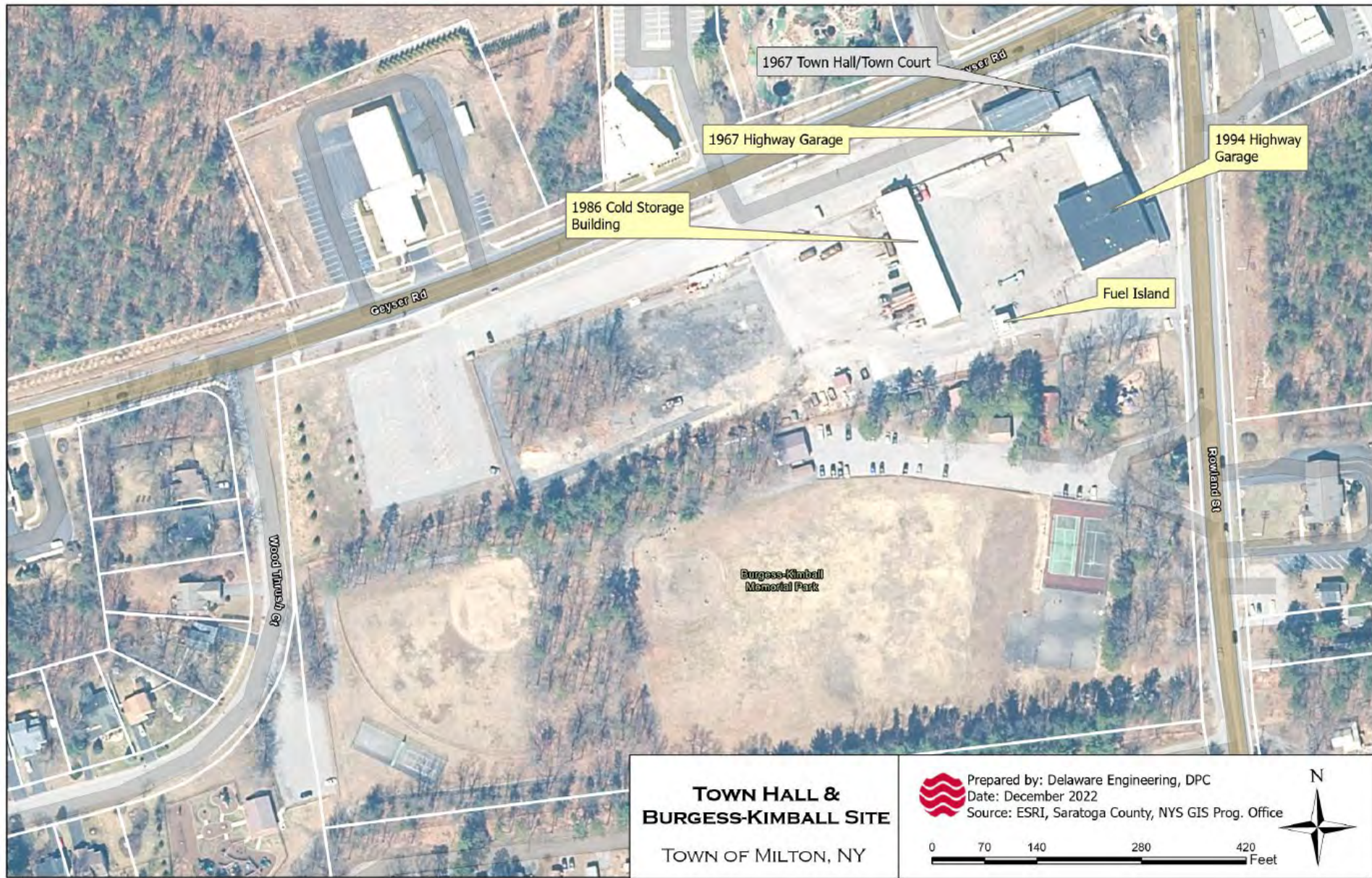


Table 2 – Summary of Recommendations. Green items are related to energy efficiency. Orange items are categorized as minor maintenance.

Report Section	Building	Recom. #	Recommendation	Priority
5.1.1	1967 Highway Garage	N/A	Demolition of structure	High
5.1.2	1994 Highway Garage	1	Monitor cracking of southern masonry pilasters, determine method of repair after monitor period	High
		2	Remove and repair masonry at western walls adjacent to OHD	High
		3	Upgrade light fixtures to LED	Low
		4	Insulate exterior walls and replace OHD w/ thermal insulated doors	Low
5.1.3	1986 Cold Storage	N/A	Demolition of structure	High
5.1.4	1967 Town Hall	1	Remediate insect infestation	Low
		2	Replace all windows with energy efficient windows	Medium
		3	Repair EFIS holes	Low
		4	Clean gutters	Low
		5	Planter box repairs	Low
		6	Metal cladding repairs	Low
		7	Repaint/replace Natural Gas Lines	Medium







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# 1967 HIGHWAY GARAGE



Photo 18 – Roof Insulation – Looking East

***It is important to note that deterioration of roof panels, wall panels, and slab-on-grade will continue to occur if left un-mitigated. Delaware highly recommends developing a completely new-built highway building to allow for proper program and provide a more energy efficient building.***



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Photo 7 – Abandoned Infrared Heating & Exhaust Fan – Looking South





# 1994 HIGHWAY GARAGE



Photo 3 – Crack in Exterior Masonry Wall, Looking East

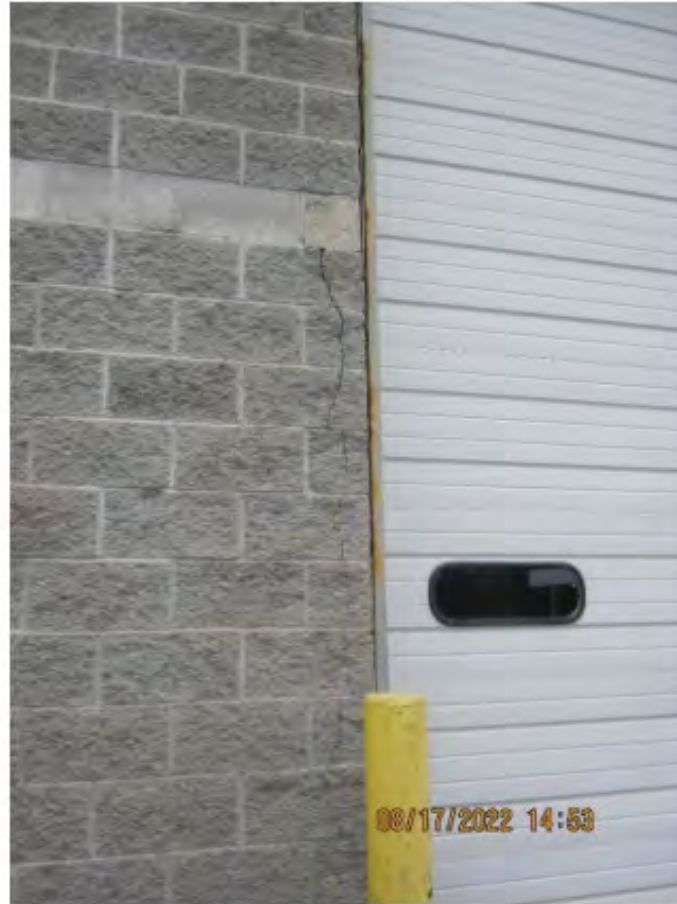


Photo 5 – Crack in Masonry Wall, Looking East



Photo 10 – Cracks at Exterior Masonry Pilasters, Looking North



Photo 11 – Cracks at Exterior Masonry Pilasters, Looking Northwest



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# 1994 HIGHWAY GARAGE



Photo 3 – Crack in Exterior Masonry



Photo 7 – Abandoned Infrared Heating & Exhaust Fan – Looking South



- Cracks at Exterior Masonry Pilasters, Looking North



Photo 11 – Cracks at Exterior Masonry Pilasters, Looking Northwest



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# 1986 COLD STORAGE BUILDING



Photo 1 – General View of Building Exterior – Looking Southwest



Photo 5 – Damage to Metal Siding and Trim, Looking West



Photo 6 – Damage to Metal Siding and Jamb, Looking Northwest



Photo 3 – General View of Building Exterior – Looking Southwest



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# NEEDS ASSESSMENT

- Use existing Rowland Street Parcel (site of existing salt shed)
- Site elements - garage; wash bay; office; cold storage building; fuel island; salt shed (existing)
- Public access
- Increase efficiency
- Address/mitigate potential land use conflicts; Town Center zoning







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# NEEDS ASSESSMENT

- **Garage**

- Pre-Engineered Metal Bldg.
- Accommodate plow frames
- 4 maintenance bays w/ overhead crane, air drops, welding
- Exhaust hose reels with tailpipe adapters
- Limit overhead doors
- Wash Bay

- **Office Area**

- Accommodate parks Dept.
- Dual purpose breakroom/ training room
- Sufficient storage/staff office space

- **Other elements**

- Site circulation/traffic
- Security
- Buffering/aesthetics

- **Cold Storage Building**

- Vehicles, small equipment, misc. storage
- Shelving for add'l storage

- **Fuel island**

- Primarily Town vehicles
- Address regulatory issues

- **New Highway Facility Report**

[https://www.townofmiltonny.org/committees/facilities\\_comittee.php](https://www.townofmiltonny.org/committees/facilities_comittee.php)



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Photo 7 – Abandoned Infrared Heating & Exhaust Fan – Looking South



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# SEQUENCE OF EVENTS: PLANNING PHASE

## Winter 2022-2023

- Town Board refers New Facility Report to Planning Board and begins its review
- Planning Board and Town Board review; Planning Board advisory report
- Revise report (as needed)
- Town Board acceptance of Report

## Winter 2023

- SEQR
- Address relief from zoning (if needed)

## Spring 2023

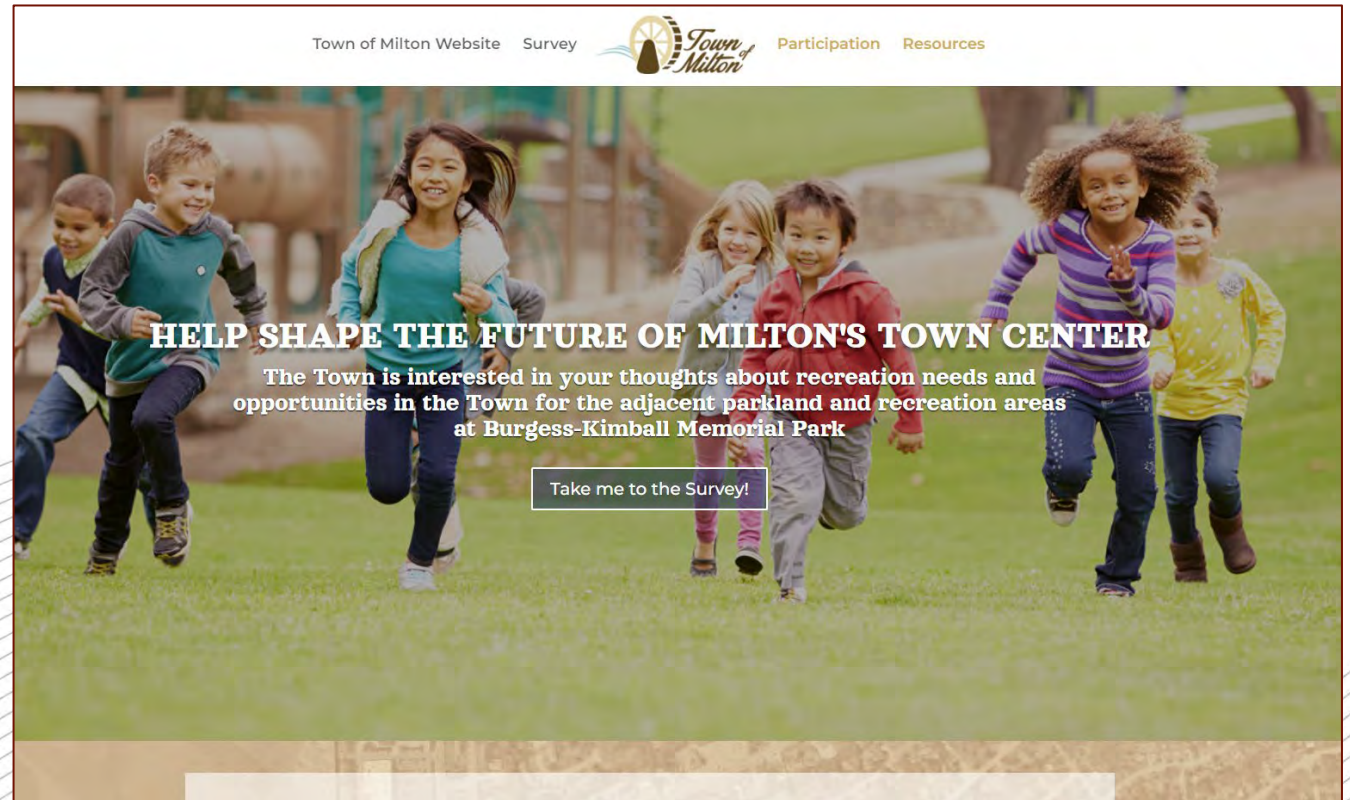
- Procure professional services for detailed design
- Initiate detailed design phase





# TOWN HALL & BURGESS-KIMBALL FUTURE SITE PLAN

- Condition Assessment
- Opportunities map
- Concept site plan
- Recreation needs and future land use Public Engagement



<http://www.reimaginemilton.com/>

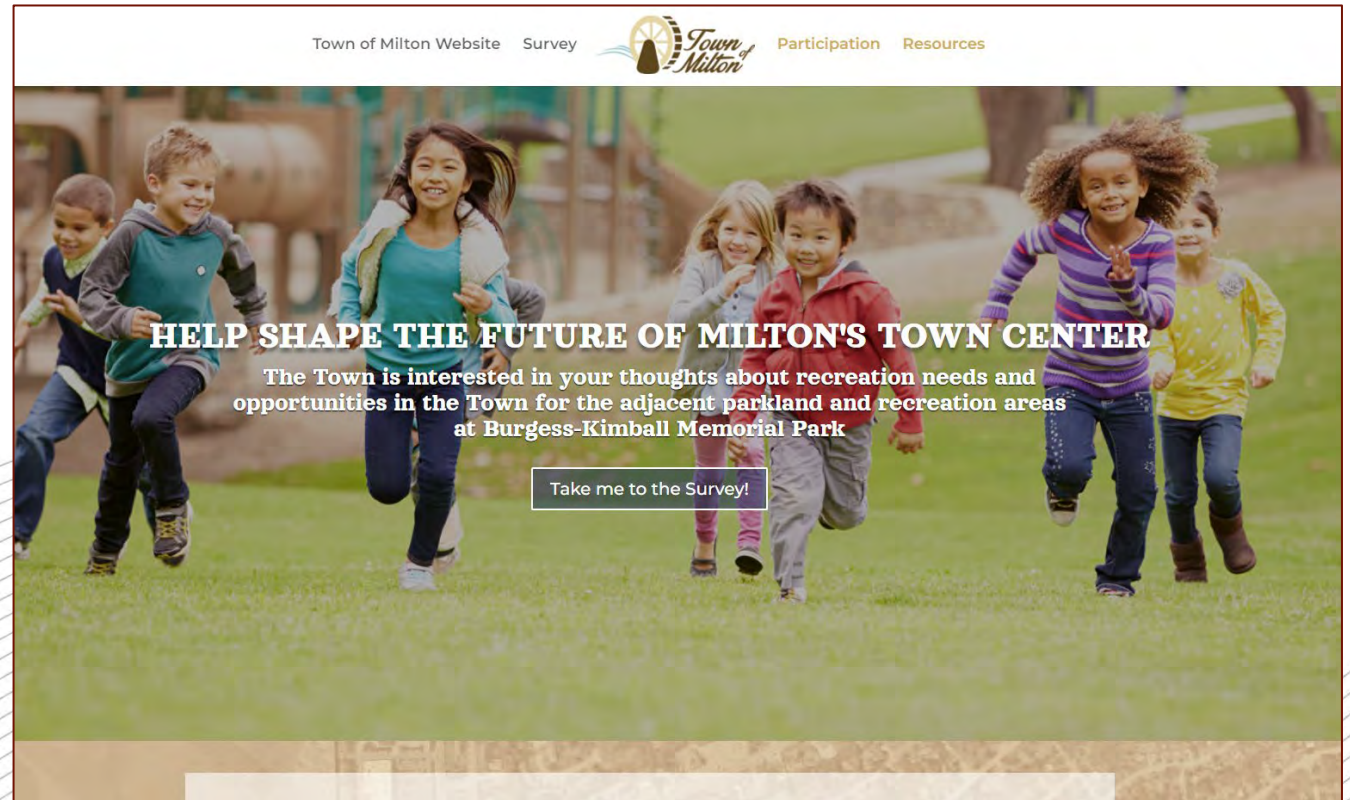


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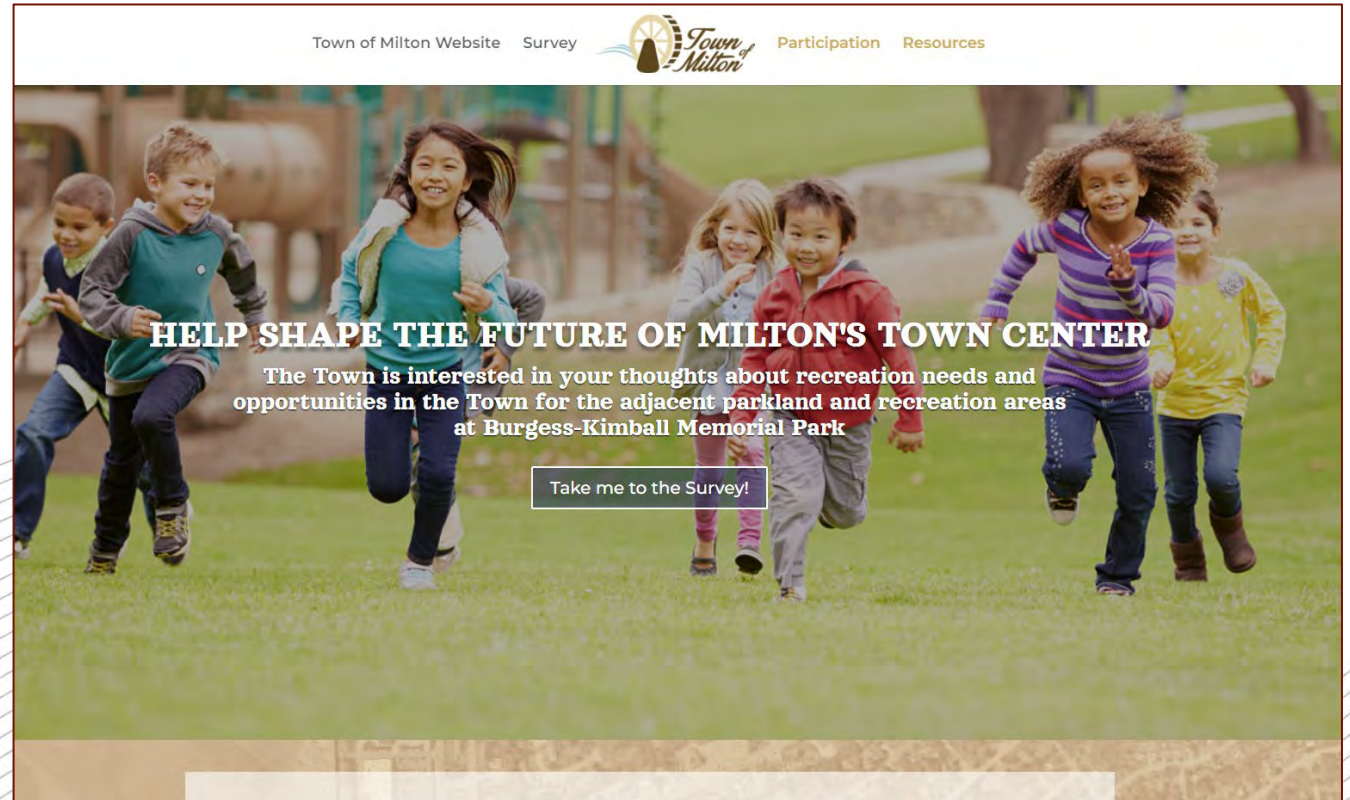






# TOWN HALL & BURGESS-KIMBALL FUTURE SITE PLAN

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- Opportunities map
- **Concept site plan**
- Recreation needs and future land use Public Engagement



<http://www.reimaginemilton.com/>



**DELAWARE ENGINEERING, D.P.C.**  
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# TOWN HALL & BURGESS-KIMBALL FUTURE SITE PLAN

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<http://www.reimagine Milton.com/>



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## Appendix H – Wayfinding Resources





# Capital District Trails Plan

*Advancing a Vision for Connecting Communities*



# MARKETING PLAN

A brand is only as successful as its roll out plan. It must be put to work through consistent applications and marketing efforts so that the brand's visibility will increase and interest will peak. The following deliverables are recommended to market this trail network.

## WEBSITE

A website is an important platform to reach all audiences and to inform and engage the public and stakeholders. It can be the hub for all information and resources related to this project and can be tailored to each different audience. For trail users it can include trail maps, locations of trail heads, information on different trails amenities and difficulty levels, and links to existing individual trail websites. For stakeholders it can provide the overall plan, updates on progress and information on how to become involved. For sponsors it should provide sponsorship information and access to brand assets. The website should be responsive (optimized for phones, tablets and computers alike) so it's mobile-friendly and offers access to every user. From a content standpoint, the site should be heavily branded and include compelling professional photography of the trail network.

### Recommended Website Features:

- **Trail Network Map (downloadable & printable)**
- **Interactive Map**
- **About Section**
- **A list of trails within the network and links to trail websites, if available. Additional information could include:**
  - **Trailhead Locations**
  - **Trail Amenities & Accessibility Information**
  - **Difficulty Level**
  - **Types of Trail Use (Hiking, Biking, Horseback, etc.)**
  - **Informational Descriptions & Historical Context (if applicable)**
  - **Connections to Other Trails**

- **Schedule of Trail-related Events**
- **Reports on Progress of Trail Plan**
- **Copy of Trails Plan**
- **Sponsorship Information**
- **List of Sponsors**
- **Tools for Project Partners, Existing Trails & Sponsors**
  - **Logos**
  - **Brand Guidelines**
  - **Social Media Graphics**
  - **Photography**
  - **Downloadable Trails Report Plan**
  - **Downloadable Maps**
- **Blog Posts/News Section\***
- **Contact Info**

\*Guest bloggers could be invited to develop content that can be shared on the website blog, social media and email blasts.

## SOCIAL MEDIA

Social media platforms such as Facebook, Instagram & Twitter are great places to share information and resources and to engage with your audience. Given that this network represents a vast amount of trails in the region and this brand is meant to help promote not only the network, but the individual trails, content from specific trails and existing trail users is already abundant. Project partners and trail users should be encouraged to submit photos and content and to share their experiences on the trail network.

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## SOCIAL MEDIA RECOMMENDATIONS

- Feature and thank sponsors
- Share photos & videos
- Share updates on progress of trail network plan
- Share blog posts and news articles relating to project
- Link to project website whenever possible
- Create occasional graphics using trail network branding elements to promote events, openings of new trails and to thank sponsors
- Create a hashtag for the network and encourage audience to use the hashtag in their own posts
- Engage by liking, commenting and reposting other content
- Hold periodic contests to boost following and engagement
- Identify and engage with social media influencers that have a similar target audience
- Hold Instagram Takeovers with social media influencers
- Boost posts on social media to increase following, engagement and general awareness

## SIGNAGE

Signage is not only crucial for wayfinding in trail networks, but it's great way to drive your brand. Signage should be developed to alert people that they are either on a trail that is part of the trail network and can connect to other trails, or they are near a trail that can connect them to another destination. This network's trail signage can be used by itself or in conjunction with existing trail signage. Different types of signage should be developed for trail heads, trail connections, road routes, trail routes, and shared trails.

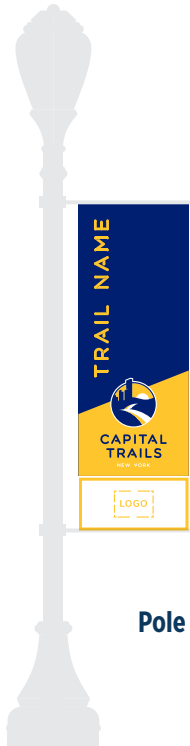
- **Kiosks:** In high traffic areas, a kiosk should be placed that contains a trail map, the trail network map, the trail network brochure, a sign-in sheet, and any trail specific collateral or information.
- **Pole Banners:** In high traffic areas where infrastructure allows, pole banners that indicate you are on a network trail with the trail's name and logo should be installed.
- **Trail Connection Signage:** Directional signage with distance information and trail names should be placed at key connection points within the trail network.
- **Banners:** Large format vinyl banners with grommets are great for trail specific events and can be easily moved from place to place. Banners can include sponsor logos and trail network branding.
- **Trail Head Signage:** Trail head signage with trail network branding and trail information should be placed at trail access points.
- **Trail Markers:** Trail markers should be placed on trees or posts throughout trail network routes.
- **Road Signs:**

**Route Signs:** Signage for on-road routes to let people know they are on the trail network.

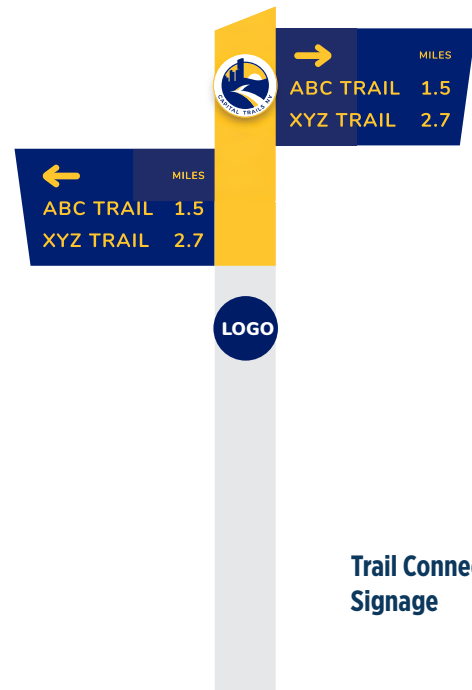
**Directional Signs:** Many people are unaware of trail access points, especially if they are not local. Directional signs along roads that are close to access points should be installed.



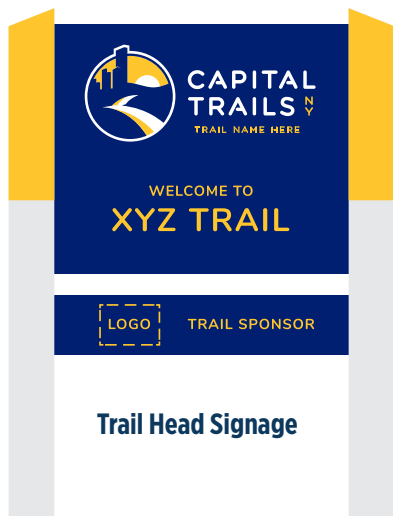
## SIGNAGE EXAMPLES



Pole Banners



Trail Connection Signage



Trail Head Signage



Kiosk

## EMAIL MARKETING

Periodic email blasts are a great way to keep your audience involved and up-to-date. Stakeholders and project partners should get consistent emails that keep them up-to-date on the progress of the network and should provide information on more ways to get involved. A clear call-to-action should be placed on the trail network website for people to sign up for your e-newsletter. Sign-in sheets should be placed at trail heads so users can submit contact information. Trail users and people who sign up on the website should receive e-newsletters that include new trail announcements, suggested day trips and upcoming trail-related events. Existing databases should be used to communicate with stakeholders and interested citizens on the growth of the trail network and to provide reminders of how to get involved. Databases can be grown with an email sign-up page on the website, sign-in sheets at trail heads, and sign in sheets at events, meetings and other public forums.

## BROCHURE & TRAIL MAP

A brochure with a trail network map targeted to everyday trail users and tourists is a great way to promote the trail network as a destination and to provide people with necessary information on using the trails. The brochure and trail map should be pocket-sized and should include information on access points, trail amenities, trail uses, and difficulty. It should also include website and social media information. The brochures should be distributed to visitor centers, rest-stops, recreation hubs, and at trail head kiosks.

## OUTREACH

Connecting with the media and regional and statewide Tourism Promotion Agencies is an important piece of the marketing strategy. By connecting with the right media outlets with the right story you'll be able to reach your target audience online and in print publications, such as newspapers and magazines.

## OUTREACH RECOMMENDATIONS

- Send targeted press releases to media outlets. Keep in mind the readership of each publication and tailor the content accordingly
- Reach out to regional social media influencers and travel and sports writers, (For example, Pure Adirondacks), and pitch them on stories
- Seek out opportunities to get the website shared on directory sites, like AllTrails.com, Trails.com and ILoveNY.com
- Reach out to popular hiking and outdoor bloggers to see if they will feature the trail network
- Provide suggested day itineraries to TPAs (Tourism Promotion Agencies), bloggers and social media influencers

## SUGGESTED OUTREACH:

- The Times Union
- The Saratogian
- Adirondack Sports
- Saratoga Living
- Saratoga Today
- The Daily Gazette
- The Record
- Discover Albany
- Albany Convention & Visitors Bureau
- New York State Conservationist
- Rensselaer County Tourism
- Online & Social Media:
  - saratoga.com
  - albany.com
  - cliftonpark.com
  - nyfallfoliage.com
  - alloveralbany.com
  - discoverschenectady.com
  - iloveny.com
  - pureadirondacks.com
  - exploresaratoga.com



## BRANDED MERCHANDISE

People love swag! Affordable branded merchandise can be handed out to trail users, sponsors, and project partners to spread the word about the trail network. More substantial merchandise options can be sold to raise money for the trail network. The key is to create quality products that people will want and will proudly use or display.

### MERCHANDISE RECOMMENDATIONS:

- Vehicle Decals
- T-shirts
- Tote Bags
- Water Bottles
- Keychains
- Embroidered Patches
- Carabiners
- Field Guides
- Magnets
- Mugs
- Mini Flashlights
- Ornaments
- Deck of Cards
- Prints
- Greeting Cards
- Postcards
- Bike First Aid Kits
- Pens





## SPONSORSHIPS

Sponsorship opportunities are a great way to get businesses and residents involved with the development of the trail network and to give back. Sponsorship levels that fit all budgets should be available and multiple levels of sponsor recognition should be developed.

### CORPORATE SPONSORSHIP RECOGNITION OPPORTUNITIES

- Promotion on trail network website, social media and email blasts
- Event sponsorship
- Guided staff hikes
- Hosted volunteer trail upkeep workdays
- Company logo on shirts, brochures, bags, and other trail network merchandise

### RESIDENT SPONSORSHIP RECOGNITION OPPORTUNITIES

- Bench plaques
- Pavers
- Tree plaques/signage

### ADOPT-A-TRAIL

- This can be offered as a premium level of support. It can be offered both to businesses and individuals to sponsor a trail section with larger donations. Trail adopters can get involved by helping with the upkeep of the trail and they can be recognized by the trail network with signage at each end of their trail segment and with branded merchandise giveaways.



Sponsorship Opportunities Brochure

## KEY MARKETING PLAN TAKEAWAYS:

- All project materials should have a cohesive look and message so that the brand becomes easily recognizable.
- Project partners and sponsors should be provided with the tools (and free swag!) they need to help promote the trail network.
- Consistent engagement with the media and the public is key to gaining awareness and building support.
- Signage, print collateral, social media, and all other trail network materials and platforms should be treated as branding and marketing opportunities.

\*Marketing will not necessarily be the responsibility of the Capital District Transportation Committee.



The image is a vertical collage of three photographs. The top photo shows a traffic light hanging from a wire against a clear blue sky, with green trees on either side. The middle photo is a faded view of a residential street with houses, trees, and a speed limit sign that reads '30'. The bottom photo shows a close-up of a road with two parallel yellow lines and some surface cracking.

# Trail Design Guidelines



## WAYFINDING + SIGNAGE

A wayfinding system consists of comprehensive signage and pavement markings to safely guide users to their destinations along preferred routes. Signs throughout the network should indicate to users the direction of travel, the locations of destinations, and the travel time/distance to those destinations.

Components of a successful wayfinding system include standards for logos, color, typography, and symbols. All of these elements provide consistency across a range of sign types, including Trailhead identification signs, trail markers, mile markers, pedestrian directionals, regulatory signs, confidence markers, interpretive signs, and information kiosks. All created maps should employ the same symbols, fonts, color system, and style as the signs within the system. See chapter 7 for a detailed look at signage, wayfinding, and the consistent use of the Sullivan O&W Rail Trail logo.

### OFF-ROAD SIGNS

Off-road signs differ from on-road signs in that they are not intended specifically for vehicular visibility, but rather are directed towards pedestrians and cyclists, in general. This allows greater flexibility in font size, application and style.

### STANDARD FOR SIGNS

Traffic control devices in New York on all streets, highways, bikeways, and private roads open to public travel are currently regulated by two documents: the National Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD) and 17 NYCRR Chapter V (New York Supplement) as well as the design standards set forth by the Americans with Disabilities Association (ADA).

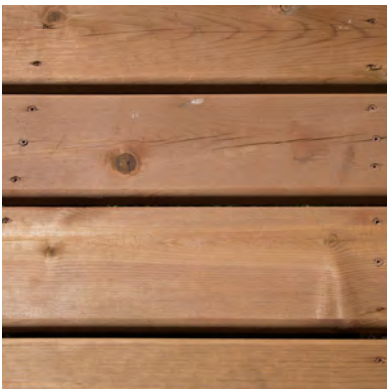
MUTCD defines the standards used by road managers nationwide to install and maintain traffic control devices. This includes sign design specifications related to size, type and placement. It is considered a best practice to use MUTCD standards for the design and placement of off-road signs.

Each local jurisdiction may have additional requirements. During each phase of the project, design professionals should coordinate with the local jurisdiction to determine if there are any additional approval processes and procedures to take into account for the project.





SUGGESTED WAYFINDING MATERIALS



PRESSURE TREATED WOOD



PAINTED ALUMINUM



GALVANIZED STEEL



## KIOSK

Kiosks should be placed at trailheads and trail access points and can serve as an education tool, trip planning device, regulatory information center, or interpretive sign for the entire trail system. Information placed on the sign will depend on the kiosks size and context.

### Placement Notes:

A kiosk can also be placed near an access path from a parking area to the trail. If the trail is visible from the parking area, then it is recommended that the sign be placed adjacent to the trail. Kiosks should have 2 feet of clearance from the edge of the sign to the edge of the travel way. Kiosks should also be oriented in the direction of travel when possible to provide clarity for trail users.

### EXAMPLE KIOSK



Image Source: Walnut Creek Trail

### VEHICULAR ENTRY SIGN

This sign is intended as a primary trail identification sign for trailheads with parking facilities. This sign should be within clear view of vehicles traveling along the roadway with a plan to manage or clear surrounding vegetation to provide visibility.

#### Placement Notes:

When possible, this sign should be placed outside of the road right of way. Local jurisdictions should be contacted to comply with local codes for placement, design, and required vegetation. For night visibility retroreflective lettering is recommended for vehicle lights. The Vehicular Entry Sign should maintain a minimum distance of 2' from the edge of path or road.

#### EXAMPLE VEHICULAR ENTRY SIGN



Image Source: USDA - <https://www.fs.usda.gov/recarea/crgnsa/recarea/?recid=29902>





## INTERPRETIVE SIGN

Interpretive Signs provide trail users with information about the path, wildlife, vegetation, history and the significance of elements along the trail corridor. Interpretive Signs may also be combined with public art and sculpture opportunities along the path. Interpretive Signs are typically installed at Trailheads, vistas, or notable points along the trail. Interpretive signs primarily serve an informational or educational function. These signs should be clear, easy to understand, and engaging. Local historians or experts should be consulted when preparing content. Signs should also be weather-proof or protected from the elements and secured to the ground.

Some example areas for using an interpretive sign are historic train depots, natural features, historic tourist areas, and waterfalls.

### Placement Notes:

The positioning of the sign should be based on existing site context and be oriented within clear view of the feature being described. The Interpretive Sign should have 2 feet of clearance from the edge of the sign to the edge of the travel way. Interpretive Signs along paved portions of the trail should be placed in paved bump outs to allow wheelchair accessibility. If space permits, locate one or two benches adjacent to the sign and oriented toward the relevant vistas. It is not recommended to plant at the base of this sign.

#### EXAMPLE INTERPRETIVE SIGN



Image Source: Behrends Group - <https://www.behrendsgroup.com/projects/architectural-signs/business-signs/larch-park/>



### TRAIL DIRECTIONAL SIGN

Trail Directional Signs serve as both navigation and encouragement programming devices. These signs are placed within communities to direct intended users, as well as potential new users, to the trail system. These signs will also build awareness of the system by creating a presence for the trail outside of the system. This sign typology may also be attached to posts of existing signs as well as to community light posts (with attachment modifications).

#### Placement Notes:

The Trail Directional Sign should have 2 feet of clearance from the edge of the sign to the edge of the travel way. The orientation of the sign should be perpendicular to the direction of travel. For night visibility retroreflective lettering is recommended for bike, patrol lights, emergency vehicle lights, or flash lights.

#### EXAMPLE DIRECTIONAL SIGN



Image Source: Alberta Water Fall Chasers - <https://albertawaterfallchasers.com/2018/05/18/57-fan-falls-along-with-bonus-lowest-maligne-canyon-falls/>



## TRAIL BLAZE - POST

Trail blazes are used to identify a given trail to users along its length to keep them oriented and certain of their location.

### Placement Notes:

The Trail Post should have 2 feet of clearance from the edge of the sign to the edge of the travel way. For night visibility retroreflective lettering is recommended for bike, patrol lights, emergency vehicle lights, or flash lights.

### EXAMPLE TRAIL BLAZE - POST



Image Source: New Jersey Hills Media Group  
- [https://www.newjerseyhills.com/ramdolph\\_reporter/news/video-with-politics-in-mind-ramdolph-unveils-first-national-trail/article\\_b44207a0-7b45-5785-aa77-302f8db64c7e.html](https://www.newjerseyhills.com/ramdolph_reporter/news/video-with-politics-in-mind-ramdolph-unveils-first-national-trail/article_b44207a0-7b45-5785-aa77-302f8db64c7e.html)





### TRAIL BLAZE - PAVEMENT

Pavement blazes are markings that reinforce user confidence and awareness of the identity of the trail along its length. Tread markings can be a variety of materials, including thermoplastic, paint, and vinyl decals, each with a variety of life span. Whichever product is chosen, they should be installed by a specialized contractor and per product specifications. Tread markings are best used in areas where directions are not needed but confirmation that users are still on the Sullivan O&W Rail Trail is still needed.

#### Placement Notes:

Pavement blazes can be used to indicate a variety of messages. Marking can be used after turns as confirmations, and at intervals along the trail as confidence markers. Tread markings should be placed in the center of the trail to minimize wearing from bicycle tires. The recommended minimum size for the trail blaze pavement marker is 18" by 18"

#### EXAMPLE TRAIL BLAZE - PAVEMENT



Image Source: Johnny Cash Trail - [https://www.yelp.com/biz\\_photos/johnny-cash-trail-folsom?select=UA73n9XjLr3kltzQRIY8AQ](https://www.yelp.com/biz_photos/johnny-cash-trail-folsom?select=UA73n9XjLr3kltzQRIY8AQ)



## DONOR RECOGNITION

Contributions from private entities can aid in building Trailheads, Access Points, and the main trail alignment. Private and corporate donors can also purchase or fund key trail elements from sign benches and trees to packages of multiple elements including shade structures, vegetation, benches, and picnic tables. Creation of a donor recognition program will encourage support of initial construction and maintenance of the Sullivan O&W Rail Trail. Larger donations can be encouraged by providing a tiered system of available options and levels of recognition.

“Discrete” and “Integration” are key concepts to remember when creating opportunities for recognition. Plaques or other “naming” features should not distract from the trail or Trailhead experience. Any naming features should also be well integrated into the existing design features with consideration for application on existing site features such as benches or other interpretive elements. Placement and design should be finalized prior to construction and consider the possibility of additional donors after construction is complete.

## SAMPLE NAMING FEATURES



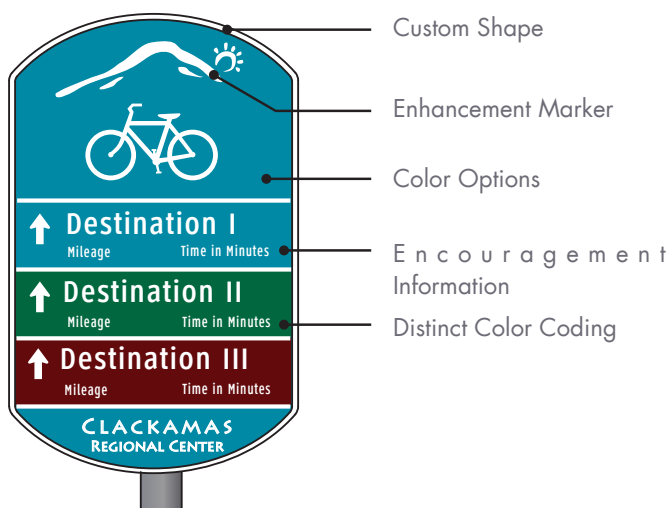
## COMMUNITY WAYFINDING

Wayfinding signs that allow for an expression of community identity and pride, reflect local values and character, and may provide more information than signs which strictly follow the basic guidance of the Manual on Uniform Traffic Control Devices (MUTCD). Section 2D.50 of the MUTCD describes community wayfinding signs as follows:

- Community wayfinding guide signs are part of a coordinated and continuous system of signs that direct tourists and other road users to key civic, cultural, visitor, and recreational attractions and other destinations within a city or a local urbanized or downtown area.
- Community wayfinding guide signs are a type of destination guide sign for conventional roads with a common color and/or identification enhancement marker for destinations within an overall wayfinding guide sign plan for an area.

Sullivan County has an opportunity to use community wayfinding signs to direct trail users from the trail to key local destinations in the many hamlets, villages, and towns along the Sullivan O&W Rail Trail.

The design of the directional arrows shown below provide clarity and are approved by the FHWA. The standard arrow has been deemed by engineering study to have superior legibility. Enhancement markers may occupy up to 20% of the sign face on the top or side of the sign (for additional information see pg. 5-8, Wayfinding Navigation Elements).



Flexible directional or decision sign incorporating community wayfinding standards.





## COLORS

Per the community wayfinding standards, (see MUTCD section 2D.50) color coding may be used on wayfinding guide signs to help users distinguish between multiple potentially confusing traffic generator destinations located in different neighborhoods or subareas within a community or area. Community wayfinding guide signs may use background colors other than green in order to provide a color identification for the wayfinding destinations by geographical area within the overall wayfinding guide signing system.

## ADA AND EQUALITY GUIDELINES

It is important to consider accessibility and legibility of the sign graphics and how people of all abilities will interact with the signs. In addition to the Manual on Uniform Traffic Control Devices (MUTCD), Americans with Disability Act (ADA) provides guidelines for the creation of sign graphics, including the color and finish, sign and text height, hierarchy, and size.

101 Black on White	102 Black on Concrete	103 White on Redwood	104 White on Charcoal	105 Red on Charcoal	106 White on Black	107 Red on Black
108 Concrete on Black	109 C. Silver on Black	110 Black on Red	111 Concrete on Red	112 Black on Sandstone	113 C. Silver on Sandstone	114 C. Silver on Redwood
115 C. Silver on Grey	116 White on Grey	117 Red on Red	118 White on Sandstone	119 White on Grey	120 White on Dark Green	121 Red on Dark Green
122 White on Green	123 White on Forest Green	124 Red on Forest Green	125 White on Forest Green	126 Red on Forest Green	127 White on Light Green	128 White on Light Green
129 Red on Light Green	130 White on Light Green	131 White on Light Green	132 White on Light Green	133 White on Light Green	134 C. Silver on Light Green	135 White on Light Green
136 White on Red	137 Red on Red	138 Red on Red	139 White on Red	140 Red on Red	141 Red on Red	142 Concrete on Red
143 Red on Red	144 White on Red	145 Red on Red	146 White on Red	147 White on Red	148 Concrete on Red	149 Red on Red

Above are color combinations that meet ADA contrast guidelines. Actual colors may vary from the presented colors. Graphic courtesy of Sign of our Times.



Limits of Protruding Objects



Text Colors and Finish

Low-contrast signs with a glossy finish are difficult to read at a distance as the colors can visually blur together and may create difficulty for readers due to sun glare bouncing off the sign. For this reason it is important to choose high-contrast colors between the sign message and background color, as well as a matte or similar finish to either sign face.

Sign Height and Message Hierarchy

The height and hierarchy of the sign message and graphics should be based on distance from the sign and speed of travel. Hierarchy can be created by prioritizing the message and graphic by sizing according to which are to be read at a greater distance, and which are for readers adjacent to sign. This is illustrated in the graphic on the bottom of this page and is applicable for pedestrian directionals, kiosks, maps, and interpretive signage.

A bicyclist traveling by a sign can obtain less information than a pedestrian standing next to the sign. It is permissible to use shorter text height and longer messages on kiosks, maps, and interpretive signage compared to directional or mile marker. Per MUTCD 2D.50.32., emails, URLs, QR codes, and other web access information can only be used on select pedestrian signage, as it is illegible and distracting for motorist and bicyclist.

The height of sign messages should reflect the of the height of the readers, and consider users of all abilities. For this plan, health and equity is critical and therefore signs are designed to acknowledge users of varying abilities. Maps are placed for visual clarity at both seated level, for people in a wheelchair, and standing height, for people using a cane or walker.

Text Lettering and Size

It is considered a best practice to use Highway Gothic font, as well as uppercase and lowercase lettering for legibility and clarity. Lettering size can vary depending on legibility distance. The MUTCD states that an accepted “rule-of-thumb” to follow for legibility other than Interstate is to have 1 inch (25mm) of letter height for every 40 feet (12 m) of desired legibility. Overall, MUTCD recommends 2” lettering height as a minimum for the major messages, such as destinations, with 1 ½” minimum text height for minor text, such as mileage and distance labels, as shown in the graphic to the right.



This chart is used to determine the required letter height per ADA. The mounting height of the sign should be determined first, then the average distance that someone will be reading the sign.

Graphic courtesy of Sign of our Times.



## FLEXIBILITY IN STANDARDS

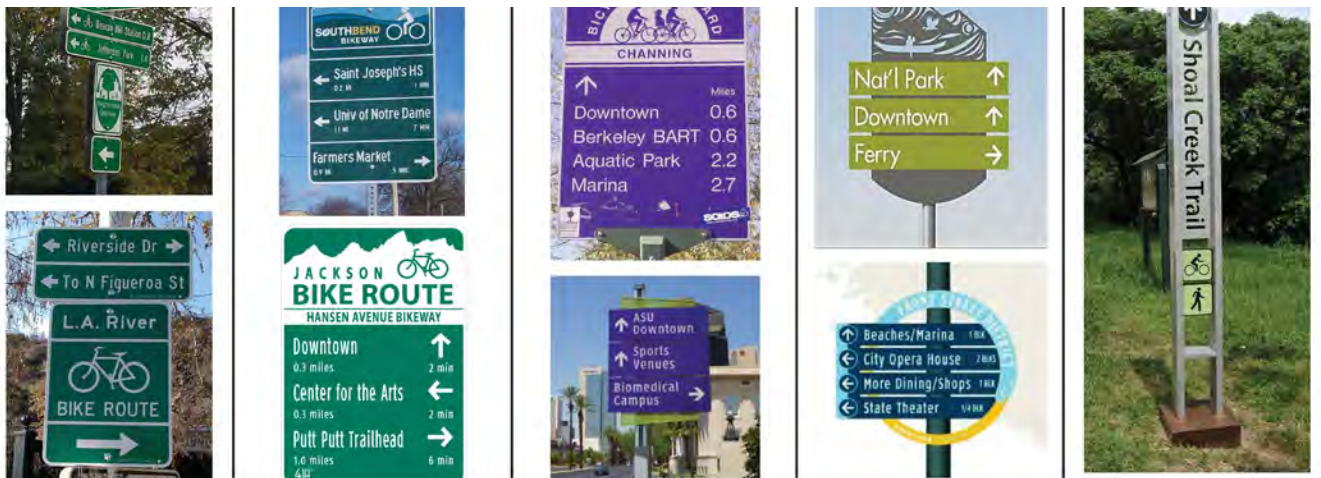
Both the FHWA and USDOT have made statements in recent years encouraging a flexible approach in support of facilities for biking and walking:

“...DOT encourages transportation agencies to go beyond the minimum requirements, and pro-actively provide convenient, safe, and context-sensitive facilities that foster increased use by bicyclists and pedestrians of all ages and abilities, and utilize universal design characteristics...” (2010)

Federal Highway Administration’s (FHWA) support for taking a flexible approach to bicycle and pedestrian facility design. (2013)

While the MUTCD provides standards and guidelines for the design, size, and content of wayfinding signs, many jurisdictions have implemented unique signs to enhance visibility while reinforcing local identity. The MUTCD Spectrum figure to the right shows a range of wayfinding elements that have been implemented by municipalities around the nation. The range extends from rigid MUTCD on the left to the more flexible options on the right. Signs which adhere to the MUTCD basic minimum standards are readily understood by a wide audience, economical, and simple to fabricate and maintain. These signs also are clearly eligible to be implemented utilizing federal transportation funding sources.

The graphic below illustrates a continuum between signs that rigidly follow MUTCD guidance and signs that are influenced by MUTCD guidance.



- MUTCD compliant signs could more concisely convey directional information with a single sign.
- Regional context or local identity not present.

- D1 series signs consolidated into a single sign reduces the number of signs required, overall sense of sign clutter and sign dimensional variation.
- MUTCD does not provide for travel times however numerous cities (Portland OR, Eugene OR, Milwaukee WI, Nampa ID, Columbus, OH and Jackson WY) offer this additional information.

- Community signs may be augmented by unique system or municipality identifiers or enhancement markers as per Section 2D.50.
- MUTCD allows for custom framing as well as color variations for community wayfinding signs.

- MUTCD allows color variations for community wayfinding signs.
- The MUTCD allows custom framing and support structures. Sign graphic content, colors, and layout to be as per standards.

- MUTCD inspired sign.
- Includes clear directional information, high contrasting text, facility name, directional arrow, user icons, and custom framing.





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## ON-ROAD SIGNS - EXAMPLES

### DESTINATION SIGN

Destination signs lead trail users to nearby attractions and amenities. The MUTCD recommends that Destination signs contain a maximum of three destinations. Additional signing should be used, as necessary, to ensure that trail users are properly guided to their destination.

#### Typical Application

Destination signs should be placed so that bicyclists have sufficient time to comprehend the sign and change their course, if necessary. See Figure 2D-6 in the MUTCD for information on the proper sequencing of guide signs. Destination signs may be placed with a Route Sign Assembly, as per Section 9B.22.08 of the MUTCD.



### CONFIRMING/REASSURANCE ASSEMBLY

Confirming/Reassurance assemblies consist of a Facility sign and an optional Cardinal Direction auxiliary sign. A Confirming assembly is used beyond an intersection to confirm that a user has made the correct route choice. A Reassurance assembly is used between intersections to assure a user that they're continuing on the correct route.

#### Typical Application

A Confirming assembly should be placed just beyond intersections where either a turn has been made, or a user may doubt their decision. Reassurance assemblies should generally be used at one-mile intervals in urban areas, and two-mile intervals in rural areas.

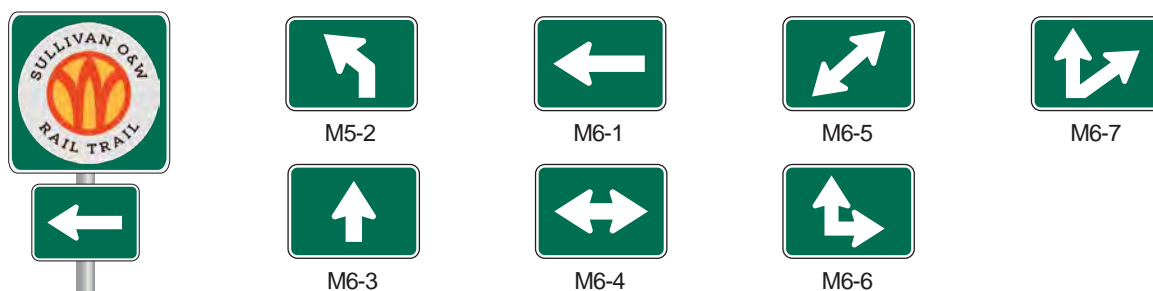


## ROUTE SIGN ASSEMBLY

Route Sign assemblies are used to identify the route, and indicate directional changes. See Section 2D.29 in the MUTCD for an explanation of the different types of Route Sign assemblies that may be used.

### Typical Application

A Route Sign Assembly should be placed so that bicyclists have sufficient time to comprehend the sign and change their course if necessary



## BLAZE

Blazes serve as informational identifiers for users. They are visual identifiers to make users aware of the route the Sullivan O&W Rail Trail follows, reveals that the trail is part of other systems, and to inform the user who might be unaware that they are on a section of the Sullivan O&W Rail Trail and more.

### Typical Application

Blazes may be added to existing sign supports after permission has been obtained from the owner of the sign. Only guide sign supports may be used; it is not permissible to add a blaze to a regulatory or warning sign. Blazes may also be affixed to other types of objects along the highway (e.g., utility poles) after permission has been obtained from the owner of the object. Liberal use of blazes is encouraged to brand the corridor, but blazes should never attempt to guide traffic on their own.





### VEHICULAR GUIDE SIGN

A Vehicular guide sign is a type of Destination sign that provides a highway user with information concerning destinations that can be reached by way of both numbered and unnumbered routes.

#### Typical Application

See Chapter 2D in the MUTCD for guidance on sign placement.

