



City of Loudon, Tennessee

Loudon Regional Planning Commission

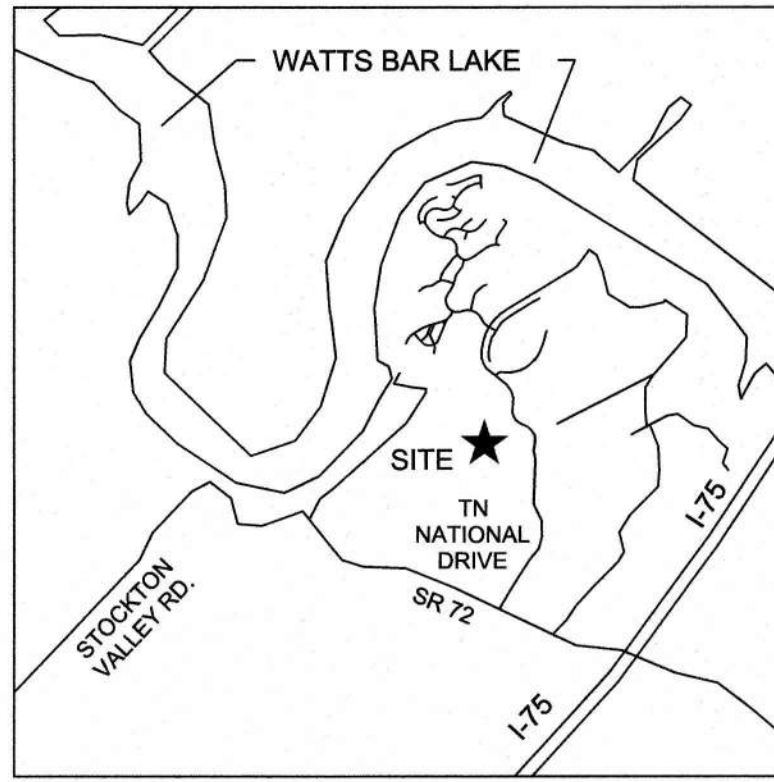
AGENDA
LOUDON CITY HALL
2480 Hwy. 72 N.
SPECIAL CALLED MEETING
Wednesday, April 23, 2025
12:30 P.M.

1. Call to Order
2. Pledge of Allegiance and Roll Call

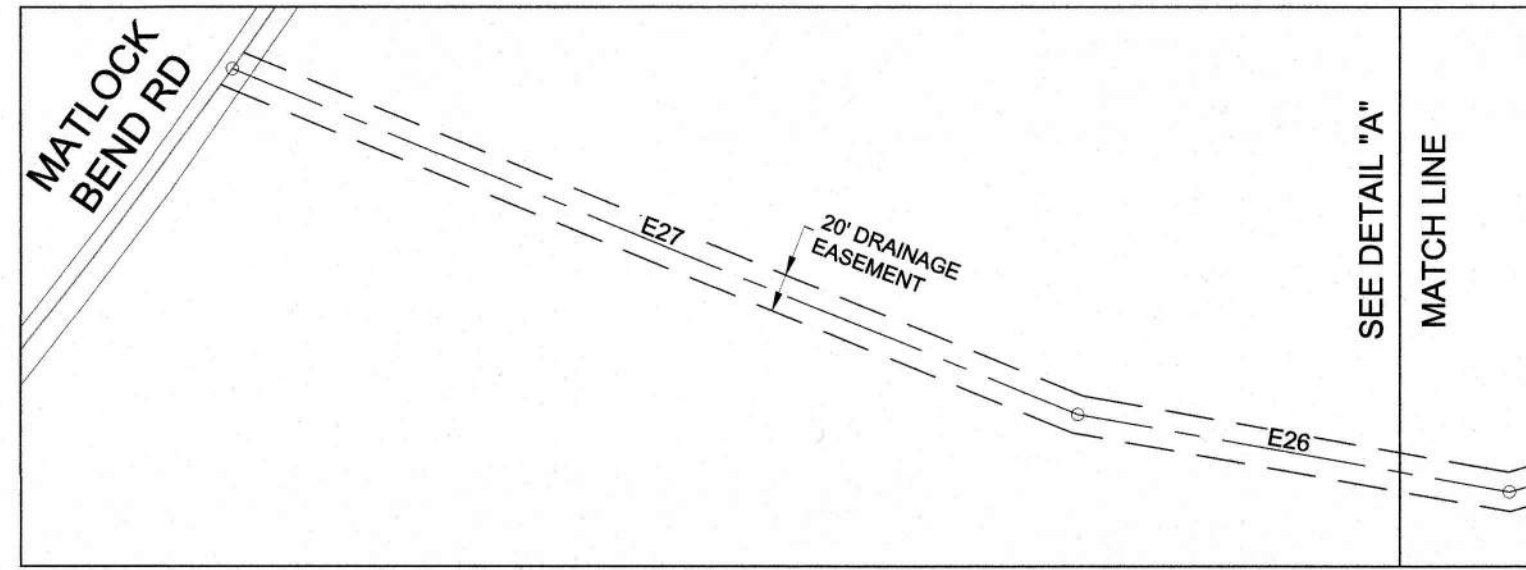
Debbie Hines, Chairman
Kevin Bookout
Dennis Brennan, Vice-Chairman
Ham Carey
Tim Dixon

Tim Henley, Secretary
Kelly Brewster
David Meers
Clayton Pangle
Scott Wilson

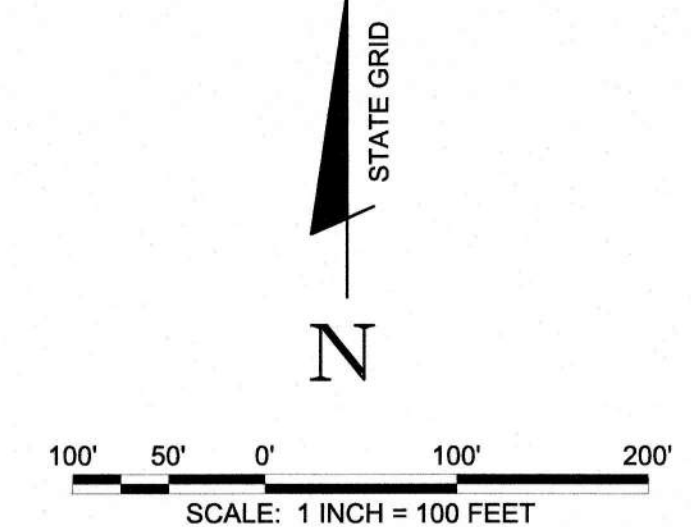
3. Agenda Items;
 - A. Application #166: Final Plat Review, TN National LLC, Pod 28, Property Owner Tennessee National, Applicant, Tyler Gross, PDD Planned Development District;
 - B. Application #168: Huntington Park Site Plan Review TL-177, Applicant, Tom Wortham, Huntington Park Drive Lot 4R, Tax Map 039 Parcel 033.04, M-1 Light Industrial, Approximately 39.82 Acres;
 - C. Application #169: Huntington Park Site Plan Review TL-178, Applicant, Tom Wortham, Huntington Park Drive Lot 5, Tax Map 039 Parcel 033.05, M-1 Light Industrial, Approximately 20.62 Acres;
4. Adjournment



VICINITY MAP
NOT TO SCALE



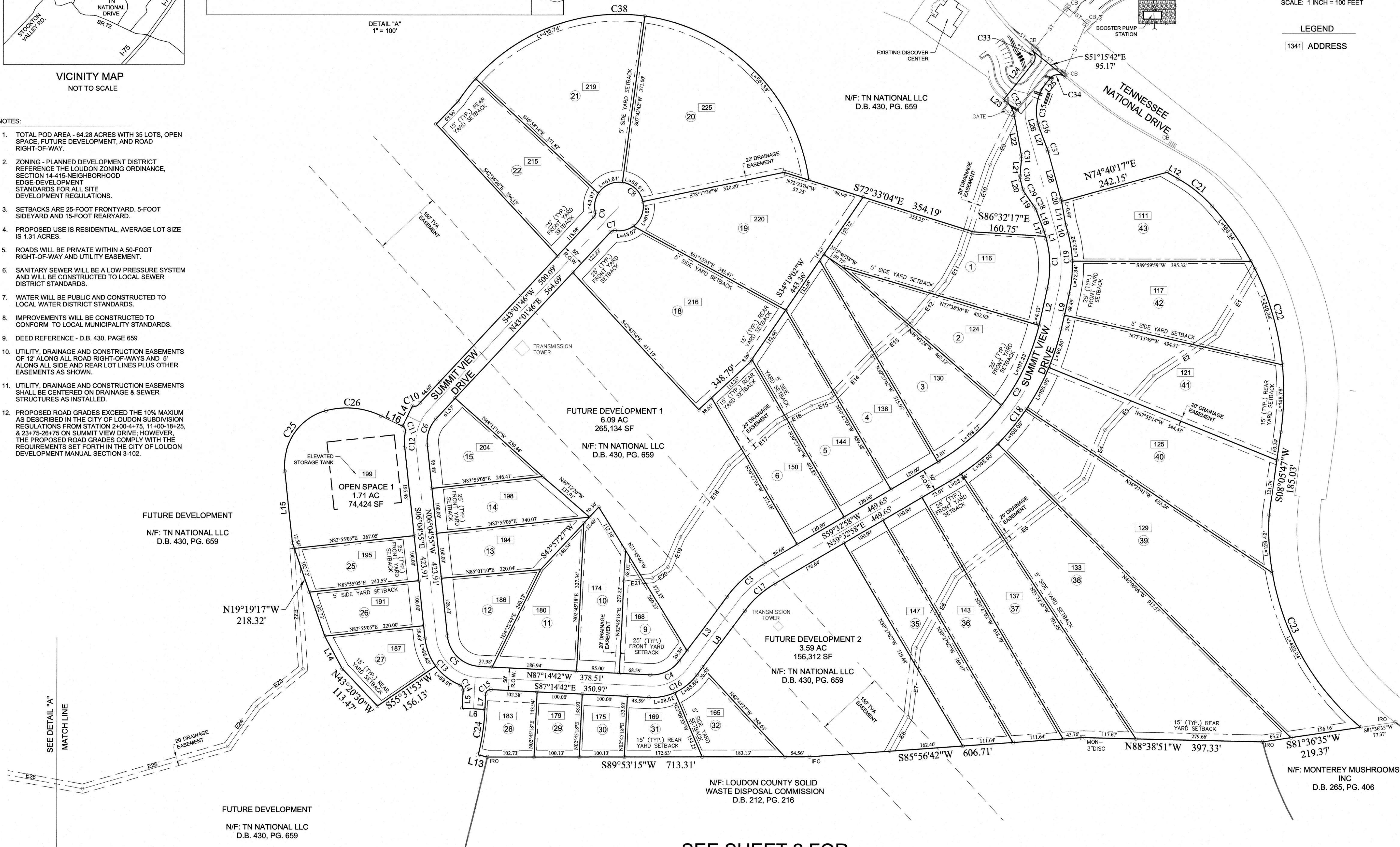
DETAIL "A"
1" = 100'



LEGEND
[1341] ADDRESS

NOTES:

- TOTAL POD AREA - 64.28 ACRES WITH 35 LOTS, OPEN SPACE, FUTURE DEVELOPMENT, AND ROAD RIGHT-OF-WAY.
- ZONING - PLANNED DEVELOPMENT DISTRICT REFERENCE THE LOUDON ZONING ORDINANCE, SECTION 14-415-NEIGHBORHOOD EDGE-DEVELOPMENT STANDARDS FOR ALL SITE DEVELOPMENT REGULATIONS.
- SETBACKS ARE 25-FOOT FRONTYARD, 5-FOOT SIDEYARD AND 15-FOOT REARYARD.
- PROPOSED USE IS RESIDENTIAL, AVERAGE LOT SIZE IS 1.31 ACRES.
- ROADS WILL BE PRIVATE WITHIN A 50-FOOT RIGHT-OF-WAY AND UTILITY EASEMENT.
- SANITARY SEWER WILL BE A LOW PRESSURE SYSTEM AND WILL BE CONSTRUCTED TO LOCAL SEWER DISTRICT STANDARDS.
- WATER WILL BE PUBLIC AND CONSTRUCTED TO LOCAL WATER DISTRICT STANDARDS.
- IMPROVEMENTS WILL BE CONSTRUCTED TO CONFORM TO LOCAL MUNICIPALITY STANDARDS.
- DEED REFERENCE - D.B. 430, PAGE 659
- UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS OF 12' ALONG ALL ROAD RIGHT-OF-WAYS AND 5' ALONG ALL SIDE AND REAR LOT LINES PLUS OTHER EASEMENTS AS SHOWN.
- UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS SHALL BE CENTERED ON DRAINAGE & SEWER STRUCTURES AS INSTALLED.
- PROPOSED ROAD GRADES EXCEED THE 10% MAXIMUM AS DESCRIBED IN THE CITY OF LOUDON SUBDIVISION REGULATIONS FROM STATION 2+00-4+75, 11+00-18+25, & 23+75-26+75 ON SUMMIT VIEW DRIVE; HOWEVER, THE PROPOSED ROAD GRADES COMPLY WITH THE REQUIREMENTS SET FORTH IN THE CITY OF LOUDON DEVELOPMENT MANUAL SECTION 3-102.



SEE SHEET 2 FOR
CERTIFICATIONS AND TABLES



FINAL PLAT
TAX MAP 23, PART OF PARCEL 1.00
TENNESSEE NATIONAL POD 28
LOUDON COUNTY, TENNESSEE

REV.	DATE	DESCRIPTION
0	02-25-2025	ISSUED FOR REVIEW
1	04-17-2025	REMOVED INSIDE TIA EASEMENT
2		

OWNER:
TN NATIONAL, LLC
8301 TN NATIONAL DR.
LOUDON, TN 37774
ATTN: NICK JAMES
PHONE: 865-408-9992

SURVEYOR:
BARGE DESIGN SOLUTIONS
520 WEST SUMMIT HILL DR.
KNOXVILLE, TN 37902
TIM ROBINSON, RLS 2044
PHONE: 865-934-4142

NOTES:

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LINE TABLE		
Line #	Direction	Length
L1	S15°19'43"E	6.90'
L2	S12°46'11"W	78.96'
L3	S36°45'05"W	177.55'
L4	S25°41'47"W	50.00'
L5	S02°45'18"W	40.90'
L6	S87°14'42"E	50.00'
L7	N02°45'18"E	33.43'
L8	N36°45'05"E	177.55'
L9	N12°46'11"E	78.96'
L10	N15°19'43"W	19.21'
L11	N10°06'46"W	52.29'
L12	S60°21'10"E	29.24'
L13	N77°00'01"W	20.90'
L14	N28°28'33"W	81.86'

LINE TABLE		
Line #	Direction	Length
L15	N06°04'55"W	159.41'
L16	S64°18'13"E	53.23'
L17	N15°19'43"W	12.31'
L18	N20°32'40"W	48.82'
L19	N35°24'01"W	37.63'
L20	N15°19'43"W	20.00'
L21	N04°44'35"E	37.63'
L22	N10°06'46"W	88.65'
L23	N51°03'39"W	7.38'
L24	N38°56'21"E	104.70'
L25	S38°44'18"W	11.40'
L26	S15°19'43"E	5.45'
L27	S20°32'40"E	48.17'
L28	S15°19'43"E	108.90'

C/L DRAINAGE EASEMENT LINE TABLE		
Line #	Direction	Length
E1	S30°56'40"W	168.30'
E2	S56°02'20"W	164.43'
E3	S41°51'14"W	161.97'
E4	S23°15'48"W	117.23'
E5	S52°50'54"W	357.83'
E6	S28°49'05"W	179.75'
E7	S06°38'42"W	153.53'
E8	S28°23'17"W	86.26'
E9	S26°15'00"W	121.34'
E10	S18°25'21"W	210.24'
E11	S28°51'19"W	67.33'
E12	S39°37'48"W	113.77'
E13	S48°55'45"W	118.55'
E14	S43°38'57"W	128.36'

C/L DRAINAGE EASEMENT LINE TABLE		
Line #	Direction	Length
E15	S69°16'50"W	48.18'
E16	S62°04'26"W	83.57'
E17	S49°29'55"W	142.10'
E18	S34°08'42"W	192.15'
E19	S22°34'08"W	71.81'
E20	S54°47'28"W	42.33'
E21	S84°17'42"E	63.63'
E22	S04°19'20"E	266.97'
E23	S51°14'06"W	133.37'
E24	S35°22'44"W	108.47'
E25	S73°49'23"W	334.47'
E26	N79°46'46"W	228.18'
E27	N67°49'26"W	475.84'

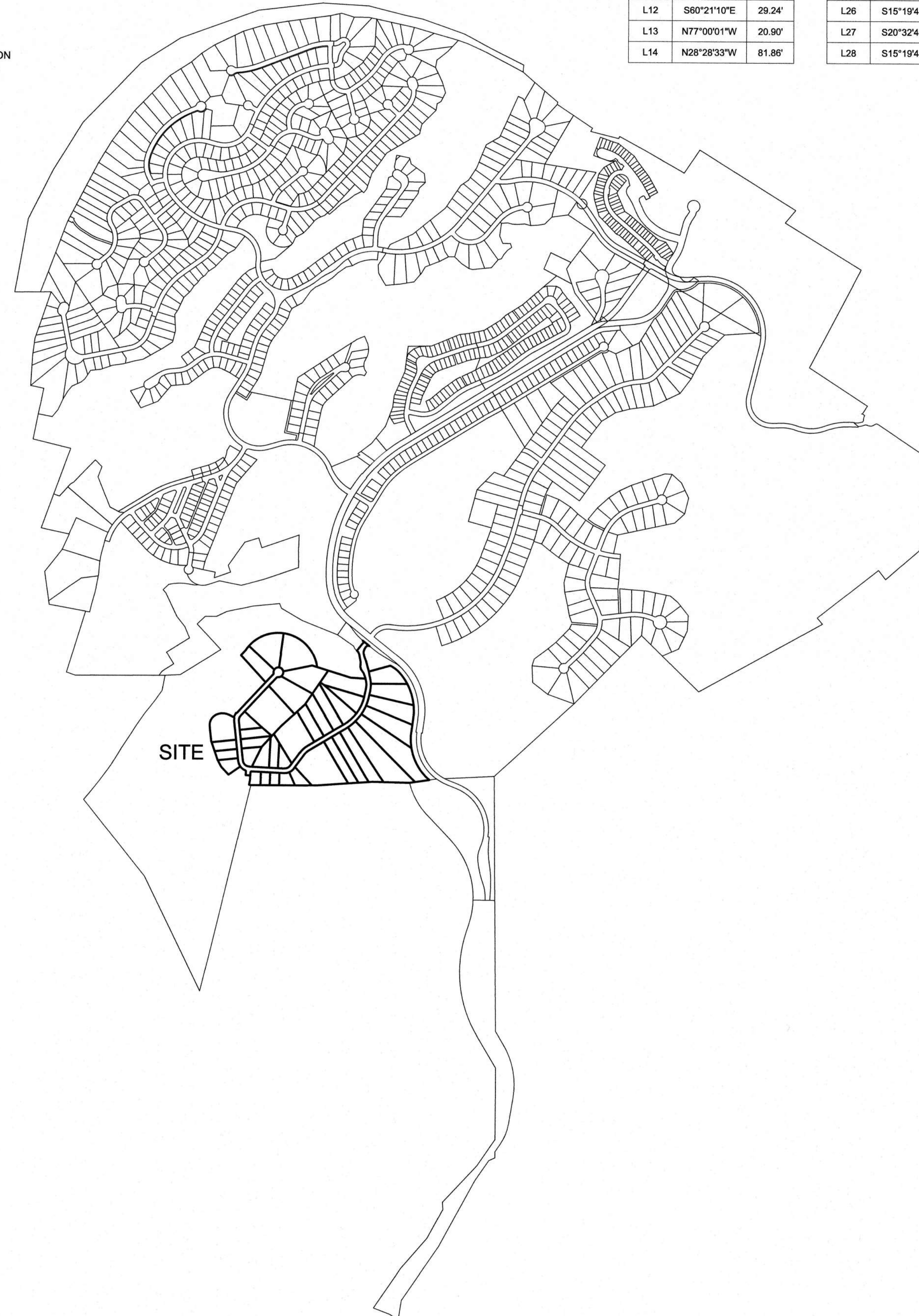
LOT AREAS		
LOT	SQ.FT.	ACRES
1	77,803	1.79
2	45,158	1.04
3	54,357	1.25
4	58,518	1.34
5	51,732	1.19
6	46,575	1.07
7	OMIT	OMIT
8	OMIT	OMIT
9	22,964	0.53
10	31,116	0.71
11	35,411	0.81
12	30,503	0.70
13	28,723	0.66
14	29,324	0.67
15	28,256	0.65
16	OMIT	OMIT
17	OMIT	OMIT
18	93,910	2.16
19	85,118	1.95
20	110,150	2.53
21	88,540	2.03
22	57,880	1.33

LOT AREAS		
LOT	SQ.FT.	ACRES
23	OMIT	OMIT
24	OMIT	OMIT
25	25,529	0.59
26	23,176	0.53
27	25,956	0.60
28	16,939	0.39
29	14,144	0.32
30	13,643	0.31
31	18,823	0.43
32	23,818	0.55
33	OMIT	OMIT
34	OMIT	OMIT
35	54,425	1.25
36	59,388	1.36
37	78,318	1.80
38	149,752	3.44
39	156,877	3.60
40	95,759	2.20
41	84,970	1.95
42	76,345	1.75
43	58,748	1.35

LOT AREAS		
LOT	SQ.FT.	ACRES
OPEN SPACE	74,424	1.71
FUTURE DEVELOPMENT 1	265,134	6.09
FUTURE DEVELOPMENT 2	156,312	3.59

CURVE TABLE					
Curve #	Length	Radius	Delta	Chd. Length	Chd. Bearing
C1	110.34'	225.00'	28°05'54"	109.24'	S01°16'46"E
C2	387.82'	475.00'	46°46'47"	377.14'	S36°09'34"W
C3	109.42'	275.00'	22°47'53"	108.70'	S48°09'01"W
C4	73.31'	75.00'	56°00'13"	70.43'	S64°45'11"W
C5	106.24'	75.00'	81°09'47"	97.58'	N46°39'48"W
C6	64.29'	75.00'	49°06'41"	62.34'	N18°28'26"E
C7	10.82'	11.00'	56°22'07"	10.39'	N71°12'50"E
C8	275.90'	54.00'	292°44'15"	59.82'	N46°58'14"W
C9	10.82'	11.00'	56°22'07"	10.39'	S14°50'43"W
C10	14.33'	11.00'	74°39'02"	13.34'	S78°22'16"W
C11	14.33'	11.00'	74°39'02"	13.34'	S26°58'42"E
C12	35.84'	125.00'	16°25'44"	35.72'	S02°07'57"W
C13	135.44'	125.00'	62°04'50"	128.91'	S37°07'20"E
C14	13.62'	11.00'	70°55'03"	12.76'	S32°42'14"E
C15	17.28'	11.00'	90°00'00"	15.56'	N47°45'18"E
C16	122.18'	125.00'	56°00'13"	117.38'	N64°45'11"E
C17	89.53'	225.00'	22°47'53"	88.94'	N48°09'01"E
C18	428.64'	525.00'	46°46'47"	416.83'	N36°09'34"E
C19	134.86'	275.00'	28°05'54"	133.51'	N01°16'46"W

CURVE TABLE					
Curve #	Length	Radius	Delta	Chd. Length	Chd. Bearing
C20	5.83'	64.00'	5°12'59"	5.82'	N12°43'15"W
C21	95.26'	300.00'	18°11'35"	94.86'	S51°15'22"E
C22	539.44'	615.00'	50°15'22"	522.31'	S17°01'54"E
C23	530.47'	575.00'	52°51'30"	511.85'	S23°19'17"E
C24	101.57'	525.00'	11°05'04"	101.41'	N08°17'50"E
C25	176.43'	125.00'	80°52'05"	162.14'	N34°21'07"E
C26	124.95'	175.00'	40°54'37"	122.32'	S84°45'32"E
OMIT	OMIT	OMIT	OMIT	OMIT	OMIT
C28	9.33'	36.00'	14°51'21"	9.31'	N27°58'21"W
C29	9.28'	26.50'	20°04'18"	9.24'	N25°21'52"W
C30	9.28'	26.50'	20°04'18"	9.24'	N05°17'34"W
C31	9.33'	36.00'	14°51'21"	9.31'	N02°41'05"W
C32	35.73'	50.00'	40°56'53"	34.98'	N30°35'12"W
C33	31.49'	20.00'	90°12'03"	28.33'	N06°09'40"W
C34	39.27'	25.00'	90°00'00"	35.36'	S83°44'18"W
C35	94.36'	100.00'	54°04'01"	90.90'	S11°42'18"W
C36	7.83'	86.00'	5°12'57"	7.83'	S17°56'12"E
C37	5.83'	64.00'	5°12'59"	5.82'	S17°56'11"E
C38	1030.61'	425.00'	138°56'24"	796.02'	S77°24'25"E



Certification of Sewerage Systems

I certify that the sewage disposal system installed, or proposed for installation fully meet requirements of the Tennessee State Health Department, and is approved as shown with all restrictions/conditions as noted.

Date: _____
Local Health Authority

Certificate of Approval of Street Names and Addresses

I hereby certify that (1) the names of existing public roads shown on this subdivision plat are correct, (2) the names of any new road, whether public or private, do not duplicate any existing names and said names are approved, and (3) the property addresses of the lots shown on this plat are in conformance with the E-911 System.

Date: _____
E-911 Authority

Certificate of Streets

I certify that the streets and related appurtenances installed, or proposed for installation, fully meet the specifications established by the Regional Planning Commission.

Date: _____
Road Engineer/Highway Commission

Certificate of Approval for Recording

I certify that this plat has been found to comply with the subdivision requirements for the planning region, with the exception of such variances, if any, which are noted. All improvements have been installed or an acceptable surety posted in order to assure completion. This plat is approved for recording in the office of the County Register.

Date: _____
Secretary, Regional Planning Commission

Certification of Approval of Water Systems

I certify that the water system installed, or proposed for installation fully meet requirements of the Tennessee State Health Department, and is hereby approved as shown.

Date: _____
City or County Health Officer

Certificate of Ownership and Dedication

This is to certify that the owner (s) of the property shown and described hereon hereby adopt this subdivision plat and dedicate all streets, alleys, walks, parks or other public ways and open spaces to public or private uses as noted.

Date: _____
Owner:

Certification of Accuracy

I hereby certify that the plat shown and described hereon, is a true and correct survey to the accuracy required by the Regional Planning Commission and the monuments have been placed as shown hereon, to the specifications of the Regional Planning Commission.

Date: 4-17-25 Surveyor: Timothy D. Robinson
Tennessee Certification No. 2044

Certification of Survey

I hereby certify that this is category 1 survey and the ratio of precision of the unadjusted survey is 1: 1000 as shown hereon. This survey has been prepared in accordance with The Standards of Practice for Land Survey in the state of Tennessee.

Date: 4-17-25
Tenn. Reg. No. 2044



FINAL PLAT
TAX MAP 23, PART OF PARCEL 1.00
TENNESSEE NATIONAL POD 28
LOUDON COUNTY, TENNESSEE

REVISION INFORMATION	
REV.	DESCRIPTION
1	CHK DATE 03-10-2025
2	DRK DATE 04-17-2025
3	DRK DATE 04-17-2025
4	DRK DATE 04-17-2025
5	DRK DATE 04-17-2025
6	DRK DATE 04-17-2025
7	DRK DATE 04-17-2025
8	DRK DATE 04-17-2025
9	DRK DATE 04-17-2025
10	DRK DATE 04-17-2025
11	DRK DATE 04-17-2025
12	DRK DATE 04-17-2025
13	DRK DATE 04-17-2025
14	DRK DATE 04-17-2025
15	DRK DATE 04-17-2025
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18	DRK DATE 04-17-2025
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21	DRK DATE 04-17-2025
22	DRK DATE 04-17-2025
23	DRK DATE 04-17-2025
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25	DRK DATE 04-17-2025
26	DRK DATE 04-17-2025
27	DRK DATE 04-17-2025
28	DRK DATE 04-17-2025
29	DRK DATE 04-17-2025
30	DRK DATE 04-17-2025
31	DRK DATE 04-17-2025
32	DRK DATE 04-17-2025
33	DRK DATE 04-17-2025
34	DRK DATE 04-17-2025
35	DRK DATE 04-17-2025
36	DRK DATE 04-17-2025
37	DRK DATE 04-17-2025
38	DRK DATE 04-17-2025
39	DRK DATE 04-17-2025
40	DRK DATE 04-17-2025
41	DRK DATE 04-17-2025
42	DRK DATE 04-17-2025
43	DRK DATE 04-17-2025
44	DRK DATE 04-17-2025
45	DRK DATE 04-17-2025
46	DRK DATE 04-17-2025
47	DRK DATE 04-17-2025
48	DRK DATE 04-17-2025
49	DRK DATE 04-17-2025
50	DRK DATE 04-17-2025

OWNER:
TN NATIONAL, LLC
8301 TN NATIONAL DR.
LOUDON, TN 37774
ATTN: NICK JAMES
PHONE: 865-408-9992

SURVEYOR:
BARGE DESIGN SOLUTIONS
520 WEST SUMMIT HILL DR.
KNOXVILLE, TN 37902
TIM ROBINSON, RLS 2044
PHONE: 865-934-4142

SHEET 2 OF 2
FILE NO. 35824-23



MERCHANTS NATIONAL BONDING, INC. P.O. BOX 14498, DES MOINES, IOWA 50306-3498
PHONE: (800) 678-8171 FAX: (515) 243-3854

SUBDIVISION BOND

Bond No. 101433238

KNOW ALL PERSONS BY THESE PRESENTS:

THAT we, TN National, LLC

as Principal, and Merchants National Bonding, Inc. (hereinafter called the Surety) are held and firmly bound unto the City of Loudon, Tennessee 201 Alma Place Loudon, TN 37774

as Obligee, in the penal sum of Three Million Eight Hundred Fifty-Two Thousand Four Hundred Nine and 28/100 Dollars (\$3,852,409.28**), lawful money of the United States to the payment of which sum well and truly to be made, the Principal herein firmly binds himself (themselves), their heirs, executors, and administrators, and the said Surety binds itself, its successors, assigns, executors and administrators, jointly and severally, firmly by these presents.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH, THAT, whereas the above bounden Principal is platting certain lots entitled Tennessee National Pod 28 as prepared by Barge Design Solutions

being an official plat lying within the City of Loudon County of Loudon, State of TN

WHEREAS, the above bounden Principal has agreed with the Obligee to install the following improvements:

Tennessee National Pod 28: Earthwork, Storm Drainage, Roads, Parking Lots, Sidewalks, Water, Sewer and Electrical; Loudon, TN

ALL such improvements to be completed in accordance with an agreement between the Principal and the Obligee.

NOW, if the Principal shall in all respects fulfill this said obligation according to the terms thereof, and shall satisfy all claims and demands incurred for same, and shall fully indemnify and save harmless the Obligee from all costs and damages which it may suffer by reason of failure to do so and shall fully reimburse and repay the Obligee all outlays and expenses which it may incur in making good any such default, then this obligation is to be void and of no effect; otherwise to remain in full force and effect.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this 14th day of April, 2025

TN National, LLC

[Handwritten signature]

Principal

By

Merchants National Bonding, Inc.

[Handwritten signature]

By R. Graham Nash, Attorney-in-Fact

MERCHANTS
BONDING COMPANY™
POWER OF ATTORNEY

Know All Persons By These Presents, that MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., both being corporations of the State of Iowa, d/b/a Merchants National Indemnity Company (in California only) (herein collectively called the "Companies") do hereby make, constitute and appoint, individually,

Chayse Feeback; Gregory E Nash; Kelly L Berry; Phillip H Condra; R Graham Nash

their true and lawful Attorney(s)-in-Fact, to sign its name as surety(ies) and to execute, seal and acknowledge any and all bonds, undertakings, contracts and other written instruments in the nature thereof, on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

This Power-of-Attorney is granted and is signed and sealed by facsimile under and by authority of the following By-Laws adopted by the Board of Directors of Merchants Bonding Company (Mutual) on April 23, 2011 and amended August 14, 2015 and April 27, 2024 and adopted by the Board of Directors of Merchants National Bonding, Inc., on October 16, 2015 and amended on April 27, 2024.

"The President, Secretary, Treasurer, or any Assistant Treasurer or any Assistant Secretary or any Vice President shall have power and authority to appoint Attorneys-in-Fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings obligatory in the nature thereof."

"The signature of any authorized officer and the seal of the Company may be affixed by facsimile or electronic transmission to any Power of Attorney or Certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually fixed."

In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.

In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner-Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

In Witness Whereof, the Companies have caused this instrument to be signed and sealed this 29th day of July, 2024.



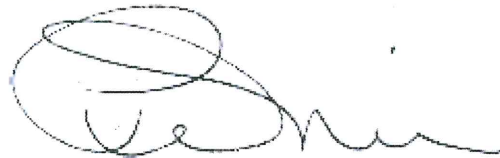
MERCHANTS BONDING COMPANY (MUTUAL)
MERCHANTS NATIONAL BONDING, INC.
d/b/a MERCHANTS NATIONAL INDEMNITY COMPANY

By 
President

STATE OF IOWA
COUNTY OF DALLAS ss.

On this 29th day of July, 2024, before me appeared Larry Taylor, to me personally known, who being by me duly sworn did say that he is President of MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC.; and that the seals affixed to the foregoing instrument are the Corporate Seals of the Companies; and that the said instrument was signed and sealed in behalf of the Companies by authority of their respective Boards of Directors.




Notary Public

(Expiration of notary's commission does not invalidate this instrument)

I, Elisabeth Sandersfeld, Secretary of MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., do hereby certify that the above and foregoing is a true and correct copy of the POWER-OF-ATTORNEY executed by said Companies, which is still in full force and effect and has not been amended or revoked.

In Witness Whereof, I have hereunto set my hand and affixed the seal of the Companies on this 14th day of April, 2025.



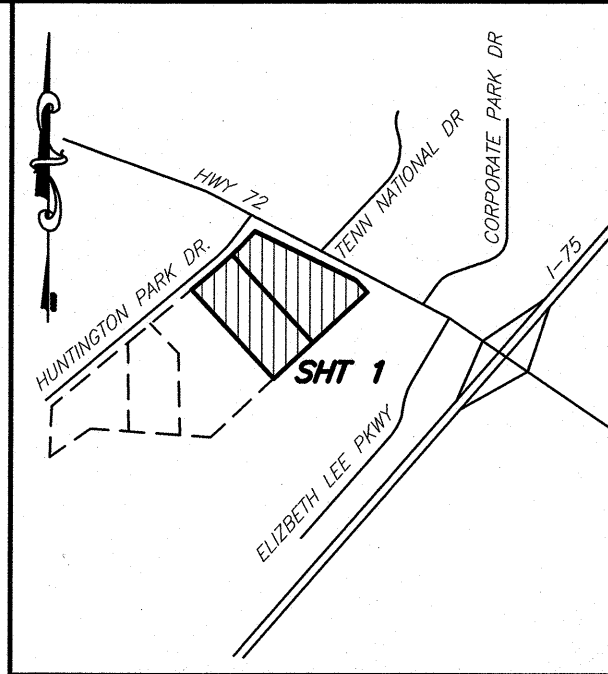
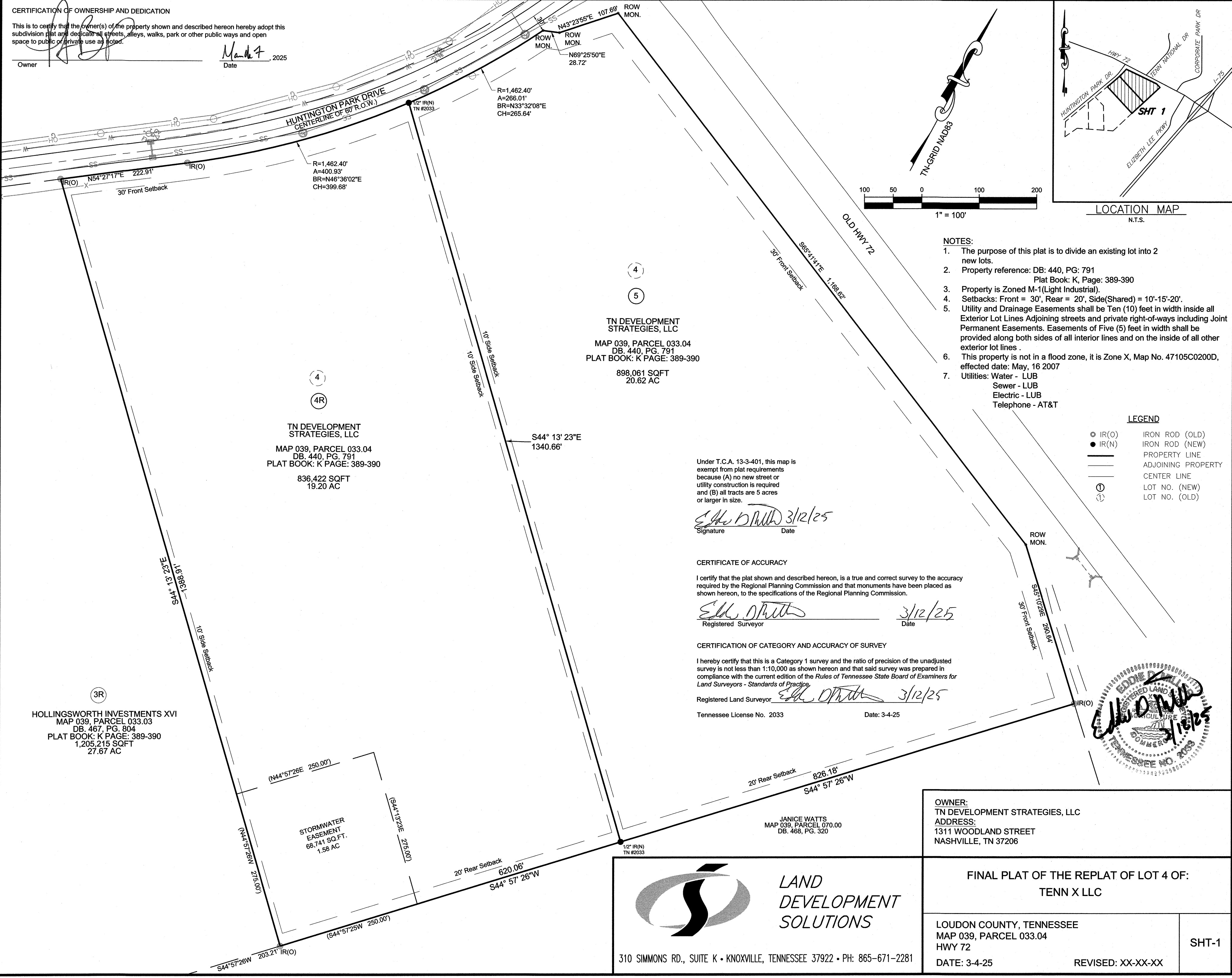

Secretary

X:\2022\2022048 - Hollingsworth - TL 176(DWG) Hollingsworth TL 177 & 178 Plat.dwg Mar 06, 2025 - 9:50am bmorgan - LDS Copyright 2025 Book C4B - L PAGE: 325

CERTIFICATION OF OWNERSHIP AND DEDICATION

This is to certify that the owner(s) of the property shown and described hereon hereby adopt this subdivision plat and dedicate all streets, alleys, walks, park or other public ways and open space to public or private use as noted.

Owner: [Signature] Date: March 7, 2025



- NOTES:**
- The purpose of this plat is to divide an existing lot into 2 new lots.
 - Property reference: DB: 440, PG: 791
Plat Book: K, Page: 389-390
 - Property is Zoned M-1(Light Industrial).
 - Setbacks: Front = 30', Rear = 20', Side(Shared) = 10'-15'-20'.
 - Utility and Drainage Easements shall be Ten (10) feet in width inside all Exterior Lot Lines Adjoining streets and private right-of-ways including Joint Permanent Easements. Easements of Five (5) feet in width shall be provided along both sides of all interior lines and on the inside of all other exterior lot lines .
 - This property is not in a flood zone, it is Zone X, Map No. 47105C0200D, effected date: May, 16 2007
 - Utilities: Water - LUB
Sewer - LUB
Electric - LUB
Telephone - AT&T

LEGEND

○ IR(O)	IRON ROD (OLD)
● IR(N)	IRON ROD (NEW)
—	PROPERTY LINE
—	ADJOINING PROPERTY
—	CENTER LINE
①	LOT NO. (NEW)
①	LOT NO. (OLD)

TN DEVELOPMENT STRATEGIES, LLC
 MAP 039, PARCEL 033.04
 DB: 440, PG: 791
 PLAT BOOK: K PAGE: 389-390
 898,061 SQFT
 20.62 AC

TN DEVELOPMENT STRATEGIES, LLC
 MAP 039, PARCEL 033.04
 DB: 440, PG: 791
 PLAT BOOK: K PAGE: 389-390
 836,422 SQFT
 19.20 AC

HOLLINGSWORTH INVESTMENTS XVI
 MAP 039, PARCEL 033.03
 DB: 467, PG: 804
 PLAT BOOK: K PAGE: 389-390
 1,205,215 SQFT
 27.67 AC

Under T.C.A. 13-3-401, this map is exempt from plat requirements because (A) no new street or utility construction is required and (B) all tracts are 5 acres or larger in size.

[Signature] 3/12/25
 Signature Date

CERTIFICATE OF ACCURACY

I certify that the plat shown and described hereon, is a true and correct survey to the accuracy required by the Regional Planning Commission and that monuments have been placed as shown hereon, to the specifications of the Regional Planning Commission.

[Signature] 3/12/25
 Registered Surveyor Date

CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

I hereby certify that this is a Category 1 survey and the ratio of precision of the unadjusted survey is not less than 1:10,000 as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor [Signature] 3/12/25
 Tennessee License No. 2033 Date: 3-4-25



OWNER:
 TN DEVELOPMENT STRATEGIES, LLC
ADDRESS:
 1311 WOODLAND STREET
 NASHVILLE, TN 37206

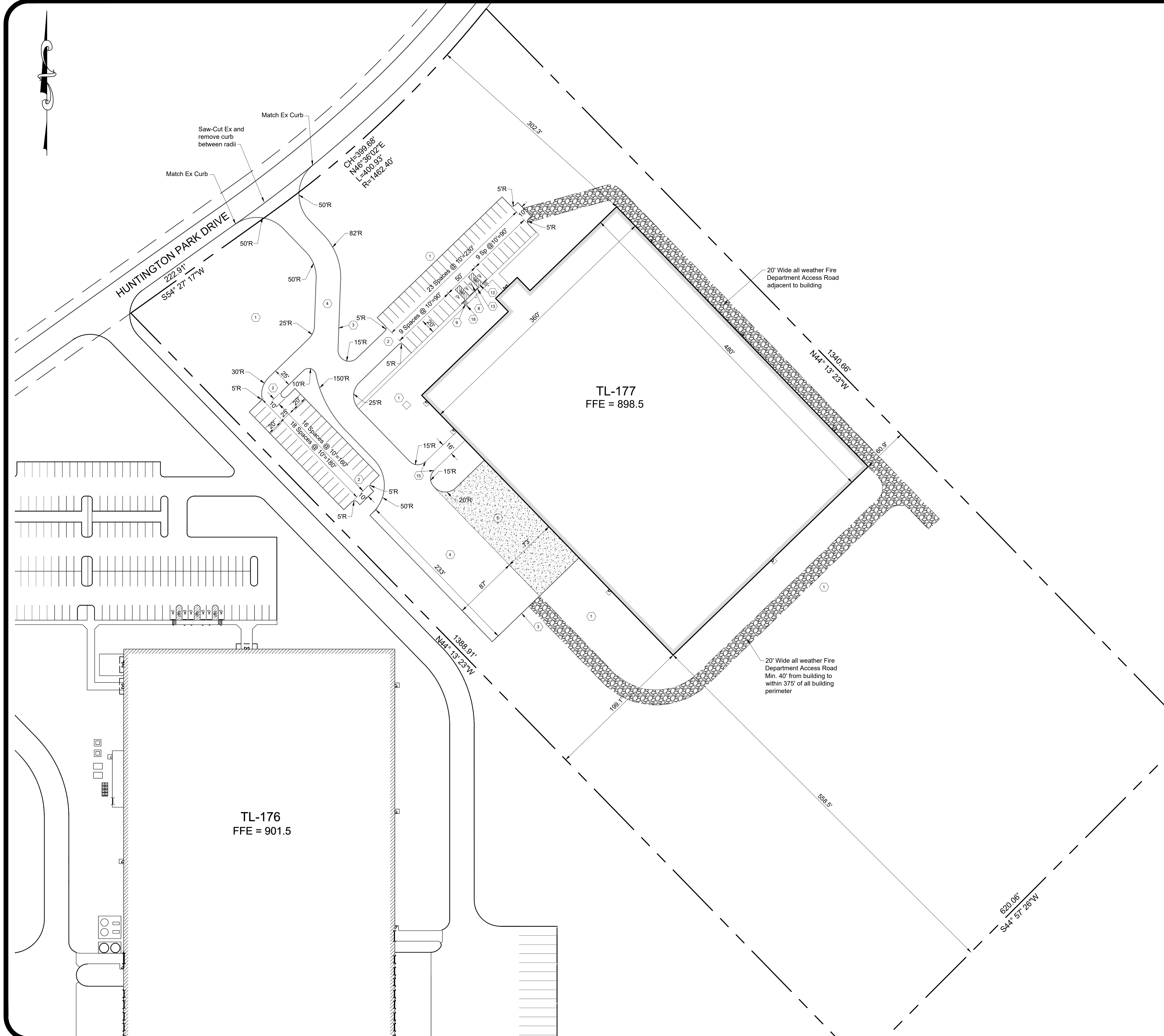
FINAL PLAT OF THE REPLAT OF LOT 4 OF:
 TENN X LLC

LOUDON COUNTY, TENNESSEE
 MAP 039, PARCEL 033.04
 HWY 72
 DATE: 3-4-25
 REVISED: XX-XX-XX
 SHT-1



LAND DEVELOPMENT SOLUTIONS
 310 SIMMONS RD., SUITE K • KNOXVILLE, TENNESSEE 37922 • PH: 865-671-2281

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General Notes

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- Zone: M-1 (Light Industrial)
- Setbacks: Front - 30', Side - (Shared) 10'-15'-20', Rear - 20'
- Lot Size: 19.2 acres
- Map 039, portion of Parcel 033.00
- Vertical Datum: NAVD88
- Owner: Tenn-X, LLC
1321 Tonoka Town Center #304
Daytona Beach, FL 32117

Parking Summary

Parking Required: Not less than one (1) space for each two (2) persons employed or intended to be employed on a single shift

Parking Provided: 79 Spaces including 4 Accessible Spaces

Layout Notes

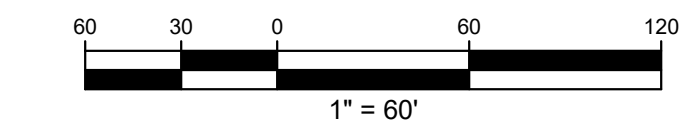
- All dimensions to curb line reference face of curb - see detail.
- See architectural drawings for building dimensions. All dimensions to building are approximate unless specifically noted as building layout points.
- See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.

Legend

	Benchmark
	Property Line
	Existing Fence
	Existing Building Edge
	New Building Edge
	Existing Tree Line
	Existing Tree
	Existing Curb Line
	New Curb Line
	New Accessible Space
	New Sidewalk
	New Concrete
	New Heavy Duty Pavment

Site Notes

- Landscaped Area - Seed and Mulch
- Medium Duty Asphalt Paving
6" mineral aggregate base course
1 1/2" bituminous concrete binder course
1 1/2" bituminous concrete surface course
- 6" machine formed conc. curb see 5/C501
- Heavy Duty Asphalt Paving
8" mineral aggregate base course
2 1/2" bituminous concrete binder course
1 1/2" bituminous concrete surface course
- 8" concrete paving with 6 x 6 w2.9 x w2.9 welded wire mesh on 6" crusher run stone base. Provide control joints at 10'-0" max.
- Integral curb/sidewalk 5" thick concrete walk with 6 x 6 10/10 welded wire mesh on 4" crusher run stone base. Provide tooled joints at 5'-0" o.C. Max. And expansion joints at 20'-0" o.C. Max. Broom finish. See detail 11/C501
- Curb Cut
- Prntd. Handicap symbol
- Handicap ramp - See Detail 12/C501
- Transformer pad - provide screening
- Location typical parking stall 10'x20'. 4" wide painted stripes, color to be white. Stop stripes 16'-0" from curb
- Striped handicapped access aisle 4" painted stripes, color to be blue.
- Concrete wheel stop - see detail 4/C501
- 6" dia. Pipe bollard 2'-0" from wall centered on jamb, typ.
- Curb Wipe Down
- Align paving and curbs w/ roadway as req'd
- Concrete sidewalk
- Handicap parking signs on 2" sq. Tube post - see detail 11/C501



APPROVED BY PURCHASER / TENANT _____ DATE _____

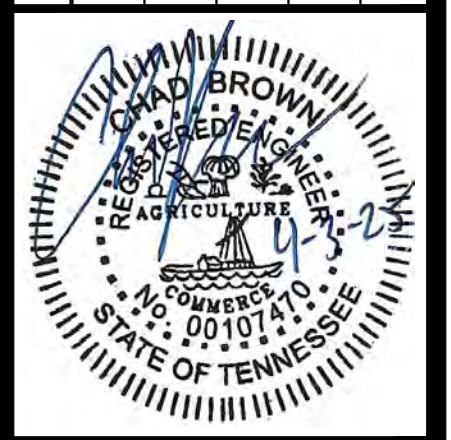
APPROVED BY DEVELOPER / SELLER _____ DATE _____

TL - 177
Huntington Park Drive
TENN X, LLC
Loudon, Tennessee

Project:
LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

Drawing Description:
Site Layout Plan

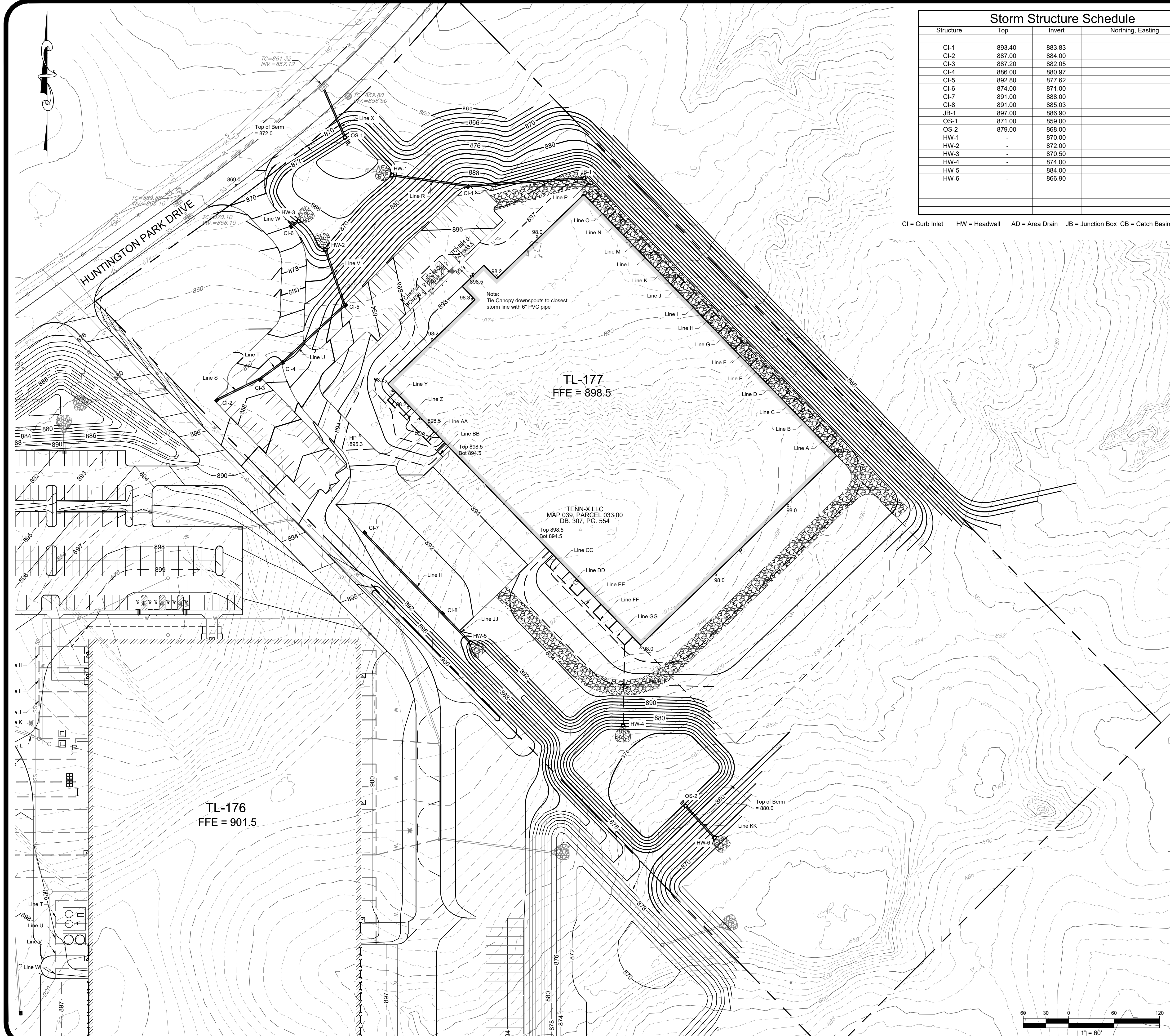
No.	Date	Revision
1	4-3-25	Revisions per Loudon



Drawn By	CDB
Checked	EJB
Approved	CDB
Job No.	2022094
1"=60' Scale	5-18-23 Date

C101
Sheet No.

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Storm Structure Schedule

Structure	Top	Invert	Northing, Easting
CI-1	893.40	883.83	
CI-2	887.00	884.00	
CI-3	887.20	882.05	
CI-4	886.00	880.97	
CI-5	892.80	877.62	
CI-6	874.00	871.00	
CI-7	891.00	888.00	
CI-8	891.00	885.03	
JB-1	897.00	886.90	
OS-1	871.00	859.00	
OS-2	879.00	868.00	
HW-1	-	870.00	
HW-2	-	872.00	
HW-3	-	870.50	
HW-4	-	874.00	
HW-5	-	884.00	
HW-6	-	866.90	

- ### General Notes
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 - Property is located in Loudon County
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 - Map 039, portion of Parcel 033.00
 - Vertical Datum: NAVD88
 - Owner: Tenn-X, LLC
1321 Tonoka Town Center #304
Daytona Beach, FL 32117

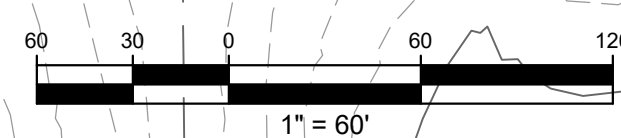
- ### Grading Notes
- All disturbed areas not scheduled to be paved shall have a minimum of 3 inches of topsoil placed on them and shall be seeded as specified.
 - All grading construction practices shall conform to the Tennessee Erosion and Sediment Control Handbook.
 - Maximum topsoil thickness for slopes steeper than 3:1 shall be 3".
 - See Erosion Control Plans prior to beginning any grading activities.
 - Contractor shall follow Storm Water Pollution Prevention Plan at all times.
 - Total disturbed area = 16.0 acres ±.
 - The grades shown are finished grades. Contractor shall determine subgrade elevations by examining typical pavement sections and the building drawings.

Legend

	Existing Curb Line
	Existing Contours
	Existing Catch Basin
	Existing Storm Line
	Existing Overhead Power Lines
	Existing Power Pole
	New Building Edge
	New Curb
	New Storm Sewer
	New Catch Basin
	New Junction Box
	New Contours
	New Spot Elevation
	New Top & Bottom Of Curb Elevations

Piping Schedule

Pipe	Size/Mat.	Length	US Inv.	DS Inv.	Slope
A	8" HDPE	30.0'	896.50	895.90	2.00%
B	8" HDPE	30.0'	895.90	895.30	2.00%
C	10" HDPE	30.0'	895.30	894.70	2.00%
D	10" HDPE	30.0'	894.70	894.10	2.00%
E	12" HDPE	30.0'	894.10	893.50	2.00%
F	12" HDPE	30.0'	893.50	892.90	2.00%
G	15" HDPE	30.0'	892.90	892.30	2.00%
H	15" HDPE	30.0'	892.30	891.70	2.00%
I	15" HDPE	30.0'	891.70	891.10	2.00%
J	15" HDPE	30.0'	891.10	890.50	2.00%
K	18" HDPE	30.0'	890.50	889.90	2.00%
L	18" HDPE	30.0'	889.90	889.30	2.00%
M	18" HDPE	30.0'	889.30	888.70	2.00%
N	18" HDPE	30.0'	888.70	888.10	2.00%
O	18" HDPE	30.0'	888.10	887.50	2.00%
P	18" HDPE	30.0'	887.50	886.90	2.00%
Q	18" HDPE	153.5'	886.90	880.00	4.50%
R	18" HDPE	99.8'	880.00	870.00	10.00%
S	12" HDPE	65.0'	884.00	882.05	3.00%
T	12" HDPE	35.9'	882.05	880.97	3.00%
U	15" HDPE	111.8'	880.97	877.62	3.00%
V	15" HDPE	75.0'	877.62	872.00	7.50%
W	12" HDPE	10.0'	871.00	870.50	5.00%
X	15" RCP	75.0'	859.00	857.50	2.00%
Y	8" HDPE	30.0'	896.50	895.86	2.12%
Z	8" HDPE	43.0'	895.86	894.95	2.12%
AA	10" HDPE	20.0'	894.95	894.53	2.12%
BB	10" HDPE	12.0'	894.53	894.27	2.12%
CC	8" HDPE	30.0'	896.50	895.90	2.00%
DD	8" HDPE	30.0'	895.90	895.30	2.00%
EE	10" HDPE	30.0'	895.30	894.70	2.00%
FF	10" HDPE	30.0'	894.70	894.10	2.00%
GG	12" HDPE	30.0'	894.10	893.50	2.00%
HH	12" HDPE	105.0'	893.50	874.00	18.60%
II	18" HDPE	148.5'	888.00	885.03	2.00%
JJ	18" HDPE	51.5'	885.03	884.00	2.00%
KK	24" RCP	55.0'	868.00	866.90	2.00%



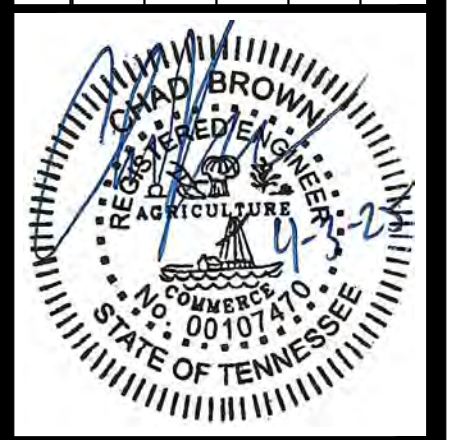
APPROVED BY PURCHASER / TENANT _____ DATE _____
 APPROVED BY DEVELOPER / SELLER _____ DATE _____

Project:
TL - 177
 Huntington Park Drive
TENN X, LLC
 Loudon, Tennessee

LAND DEVELOPMENT SOLUTIONS
 310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
 PH. 865-671-2281

Drawing Description:
Site Grading and Drainage Plan

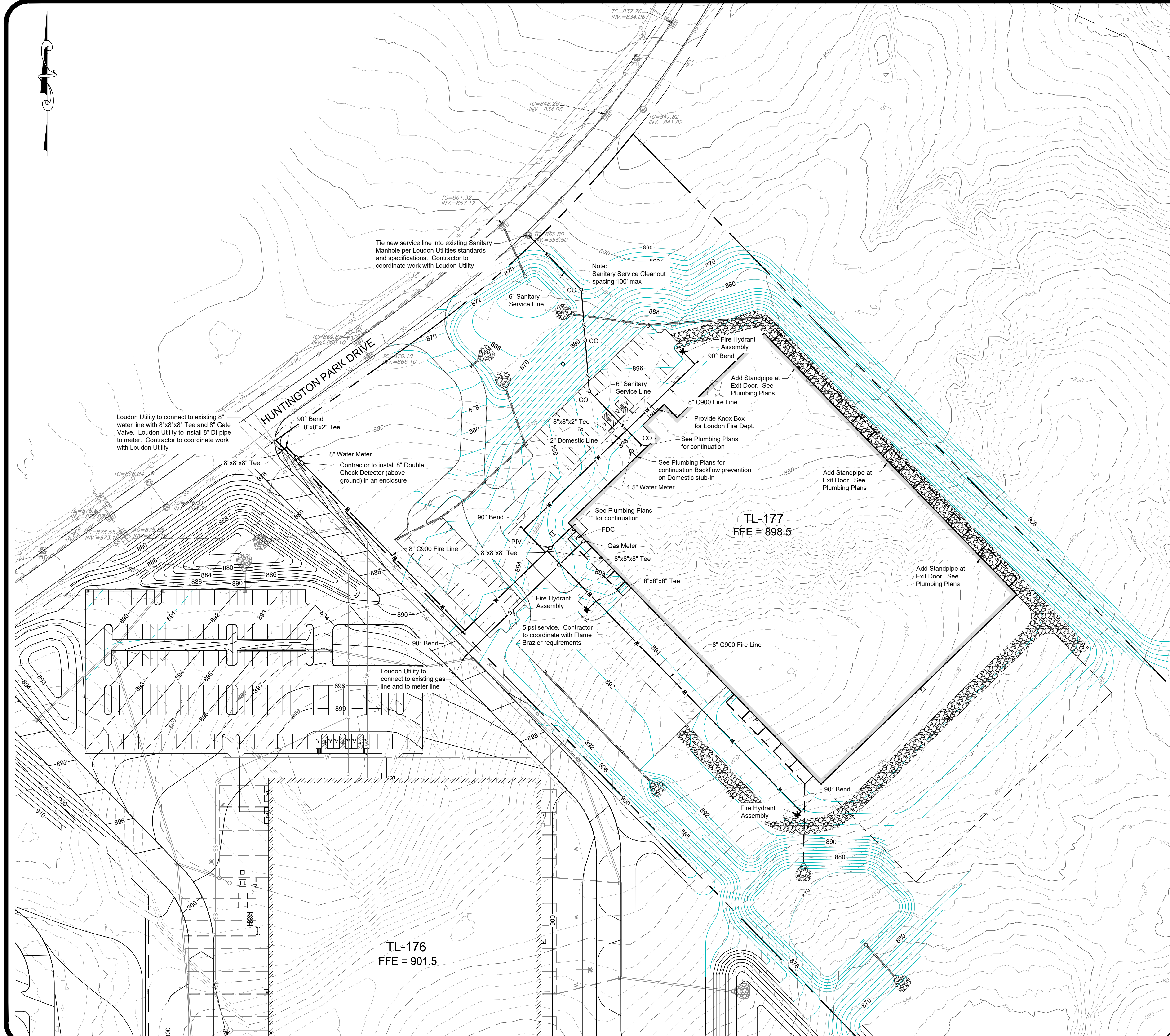
No.	Date	Revision
1	4-3-25	Revisions per Loudon



Drawn By: CDB
 Checked: EJB
 Approved: CDB
 Job No.: 2022094
 Scale: 1"=60'
 Date: 5-18-23

C201
 Sheet No.

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- ### General Notes
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 - Map 039, portion of Parcel 033.00
 - Vertical Datum: NAVD88
 - Owner: Tenn-X, LLC
1321 Tonoka Town Center #304
Daytona Beach, FL 32117

- ### Utility Notes
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 - All water and sanitary construction shall comply with local utility standard specifications.
 - Maintain 10' horizontal separation between water and sanitary lines. Where waterlines cross sanitary lines, the water line shall be a minimum of 18" above the sanitary line.
 - All trenching and shoring shall comply with OSHA standards.
 - Contractor shall provide As-built survey by registered land surveyor and drawings to Land Development Solutions. Water line As-built drawings shall include horizontal and approximate vertical location for lines, valves, fire hydrants, meters, and any other pertinent information. Sanitary As-built drawings shall include manhole tops and inverts, tee-wye depths, all deviations from design plans, and any other pertinent information.
 - Blocking shall be per local utility specifications.
 - Minimum depth of cover over sewer line is 36".
 - A minimum bedding layer of 6" of type 57 stone will be installed around the circumference of all pipe and fitting outside the limits of the roadway surface. Stone backfill to grade is required under all proposed roadways.
 - All existing utility covers shall be adjusted to match new grades.
 - Fire Lines from the Point of Service to the building are shown for reference only. All fire mains shall be designed and installed by a licensed sprinkler contractor.

Legend

	New Building/Parking Garage
	New Edge Pavement
	New Concrete Curb
	Finished Grade Contours
	New Curb Inlet
	New Junction Box
	New Storm Pipe
	Existing Contours
	Existing Edge Pavement
	Existing Edge Pavement
	Existing Wall
	Existing Storm Line
	Existing Storm Catch Basin
	Existing Headwall
	Existing Storm Manhole
	Property Line (Boundary)
	Existing Tree Line
	Existing Tree
	Existing Gas Line
	Existing Water Line
	Existing Fire Hydrant
	Existing Water Valve
	Existing Sanitary Sewer
	Existing Sanitary Manhole
	New Water Line
	New Fire Hydrant
	New Sanitary Sewer
	New Cleanout

APPROVED BY PURCHASER / TENANT _____ DATE _____

APPROVED BY DEVELOPER / SELLER _____ DATE _____

60 30 0 60 120
1" = 60'

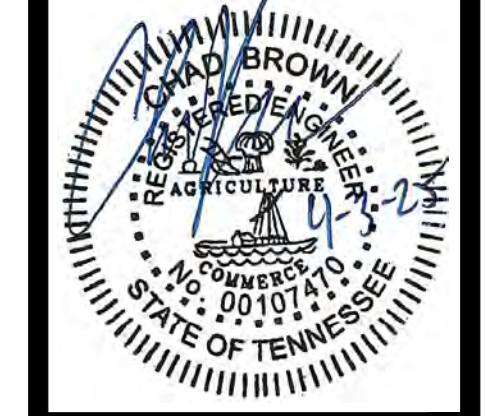
Project:
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LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
 PH. 865-671-2281

Drawing Description:
Site Utility Plan

No.	Date	Revision
1	4-3-25	Revisions per Loudon



Drawn By	CDB
Checked	EJB
Approved	CDB
Job No.	2022094
1"=60' Scale	5-18-23 Date

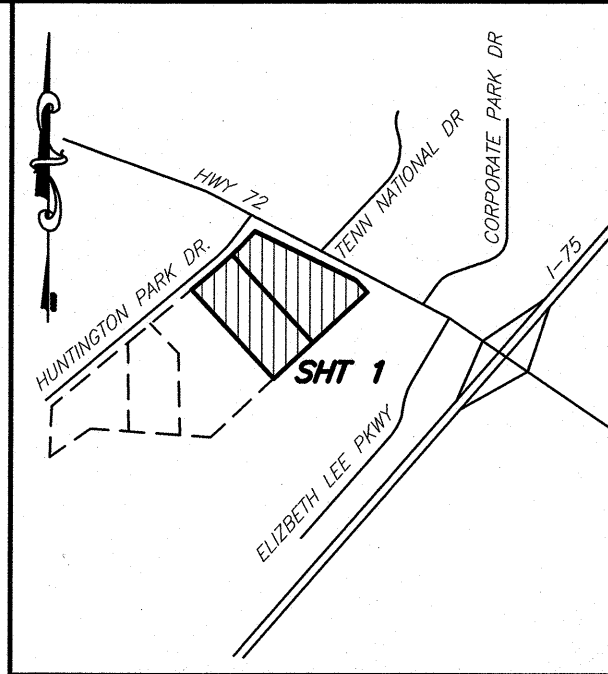
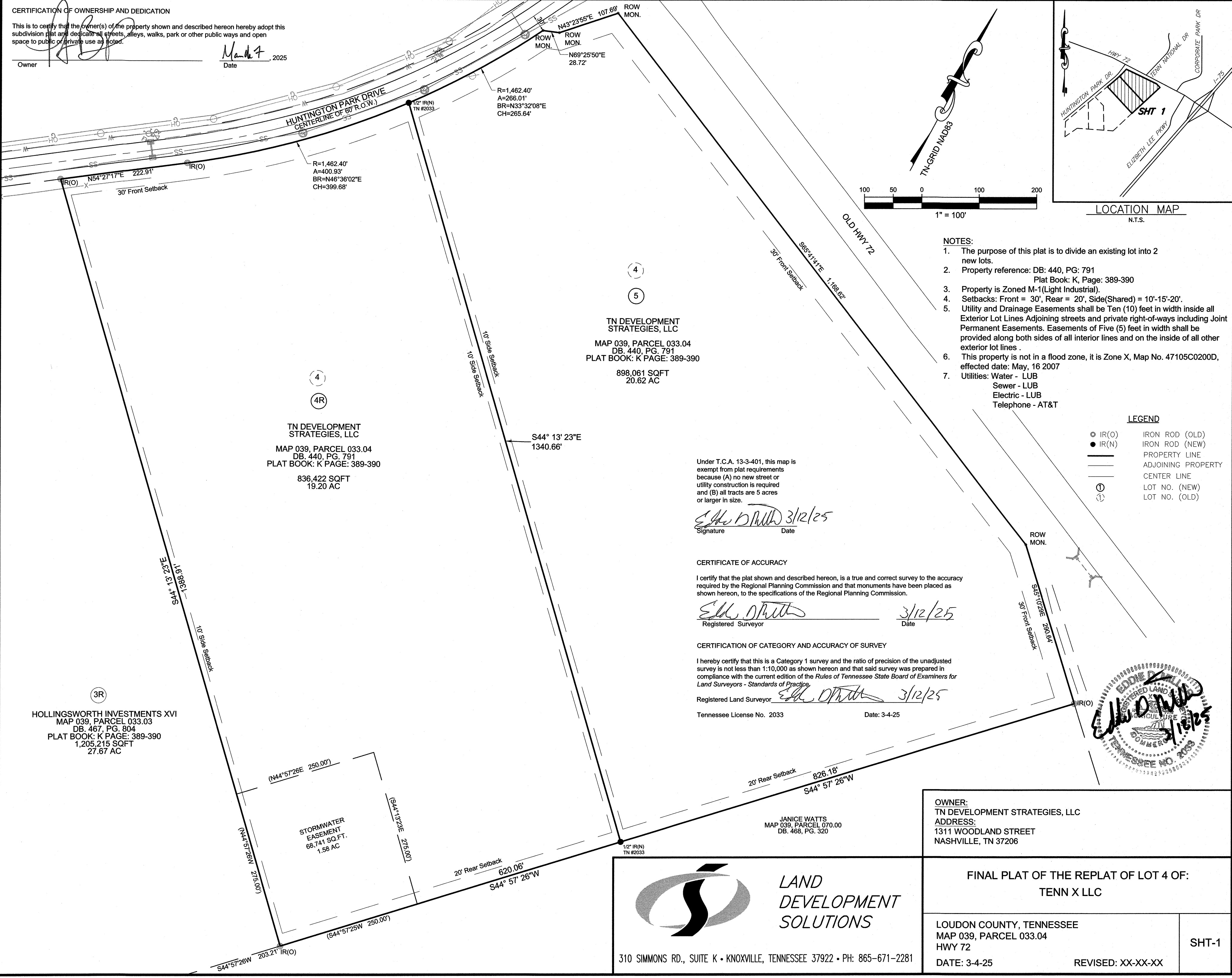
C401
Sheet No.

X:\2022\2022048 - Hollingsworth - TL 176(DWG) Hollingsworth TL 177 & 178 Plat.dwg Mar 06, 2025 - 9:50am bmorgan - LDS Copyright 2025 Book C4B - L PAGE: 325

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 - This property is not in a flood zone, it is Zone X, Map No. 47105C0200D, effected date: May, 16 2007
 - Utilities: Water - LUB
Sewer - LUB
Electric - LUB
Telephone - AT&T

- LEGEND**
- IR(O) IRON ROD (OLD)
 - IR(N) IRON ROD (NEW)
 - PROPERTY LINE
 - ADJOINING PROPERTY CENTER LINE
 - ① LOT NO. (NEW)
 - ② LOT NO. (OLD)

Under T.C.A. 13-3-401, this map is exempt from plat requirements because (A) no new street or utility construction is required and (B) all tracts are 5 acres or larger in size.

[Signature] 3/12/25
Signature Date

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[Signature] 3/12/25
Registered Surveyor Date

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I hereby certify that this is a Category 1 survey and the ratio of precision of the unadjusted survey is not less than 1:10,000 as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.
Registered Land Surveyor [Signature] 3/12/25
Tennessee License No. 2033 Date: 3-4-25



HOLLINGSWORTH INVESTMENTS XVI
MAP 039, PARCEL 033.03
DB. 467, PG. 804
PLAT BOOK: K PAGE: 389-390
1,205,215 SQFT
27.67 AC

STORMWATER EASEMENT
68,741 SQ.FT.
1.58 AC

JANICE WATTS
MAP 039, PARCEL 070.00
DB. 468, PG. 320

OWNER:
TN DEVELOPMENT STRATEGIES, LLC
ADDRESS:
1311 WOODLAND STREET
NASHVILLE, TN 37206



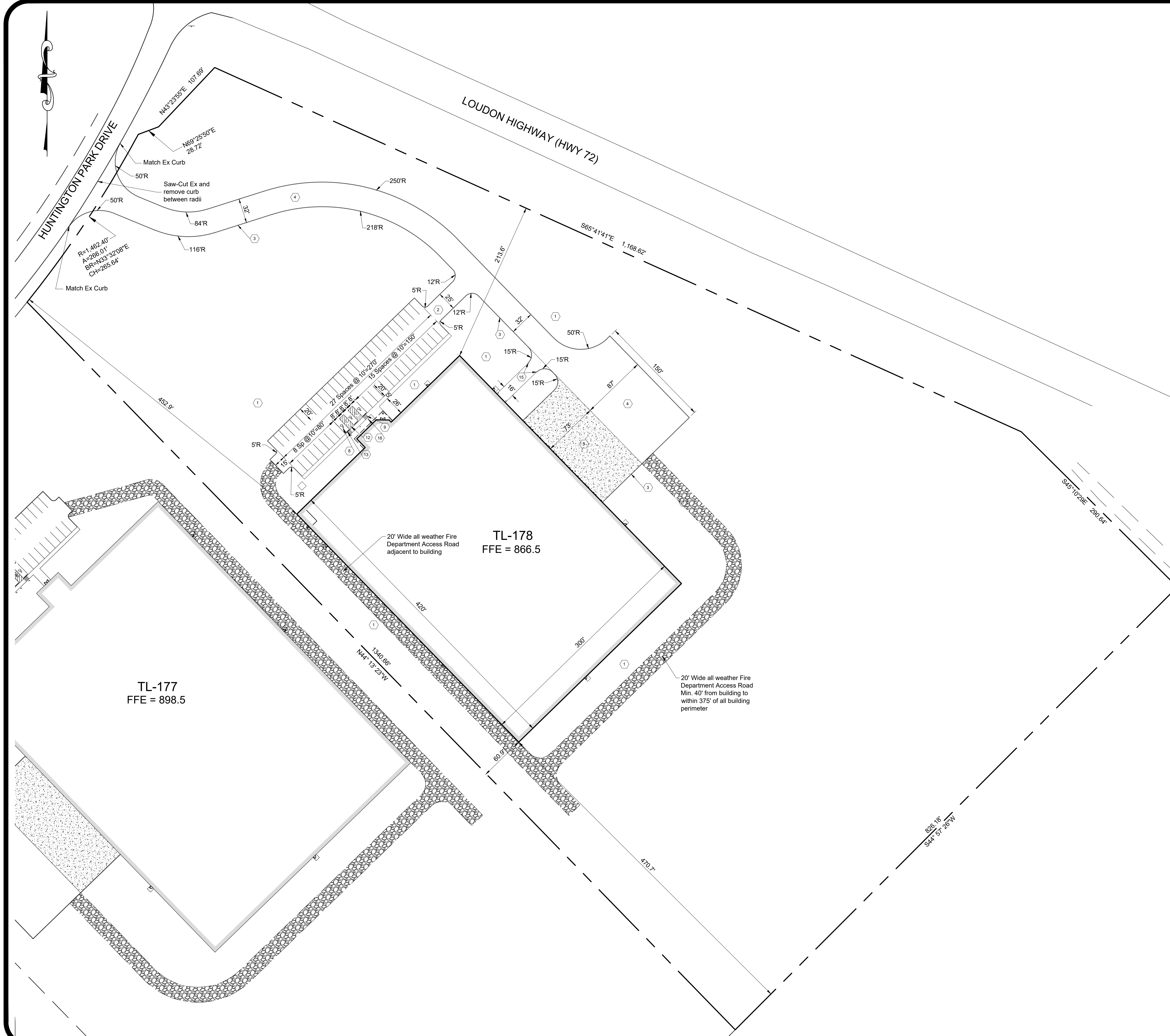
LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K • KNOXVILLE, TENNESSEE 37922 • PH: 865-671-2281

FINAL PLAT OF THE REPLAT OF LOT 4 OF:
TENN X LLC

LOUDON COUNTY, TENNESSEE
MAP 039, PARCEL 033.04
HWY 72
DATE: 3-4-25

SHT-1
REVISED: XX-XX-XX

X:\2022\2022095 - Hollingsworth - TL-178(DWG).TL-178 Master.dwg Apr 03, 2025 - 3:10pm cbrown - LDS Copyright 2025



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- Vertical Datum: NAVD88
- Owner: Tenn-X, LLC
1321 Tonoka Town Center #304
Daytona Beach, FL 32117

Parking Summary

Parking Required: Not less than one (1) space for each two (2) persons employed or intended to be employed on a single shift
 Parking Provided: 53 Spaces including 3 Accessible Spaces

Layout Notes

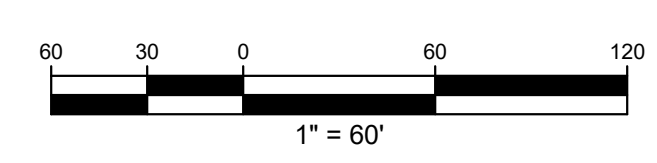
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- See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.

Legend

	Benchmark
	Property Line
	Existing Fence
	Existing Building Edge
	New Building Edge
	Existing Tree Line
	Existing Tree
	Existing Curb Line
	New Curb Line
	New Accessible Space
	New Sidewalk
	New Concrete
	New Heavy Duty Pavment

Site Notes

- Landscaped Area - Seed and Mulch
- Medium Duty Asphalt Paving
6" mineral aggregate base course
1 1/2" bituminous concrete binder course
1 1/2" bituminous concrete surface course
- 6" machine formed conc. curb see 5/C501
- Heavy Duty Asphalt Paving
8" mineral aggregate base course
2 1/2" bituminous concrete binder course
1 1/2" bituminous concrete surface course
- 8" concrete paving with 6 x 6 w2.9 x w2.9 welded wire mesh on 6" crusher run stone base. Provide control joints at 10'-0" max.
- Integral curb/sidewalk 5" thick concrete walk with 6 x 6 10/10 welded wire mesh on 4" crusher run stone base. Provide toolled joints at 5'-0" o.C. Max. And expansion joints at 20'-0" o.C. Max. Broom finish. See detail 11/C501
- Curb Cut
- Prntd. Handicap symbol
- Handicap ramp - See Detail 12/C501
- Transformer pad - provide screening
- Location typical parking stall 10'x20'. 4" wide painted stripes, color to be white. Stop stripes 16'-0" from curb
- Striped handicapped access aisle 4" painted stripes, color to be blue.
- Concrete wheel stop - see detail 4/C501
- 6" dia. Pipe bollard 2'-0" from wall centered on jamb, typ.
- Curb Wipe Down
- Align paving and curbs w/ roadway as req'd
- Concrete sidewalk
- Handicap parking signs on 2" sq. Tube post - see detail 11/C501



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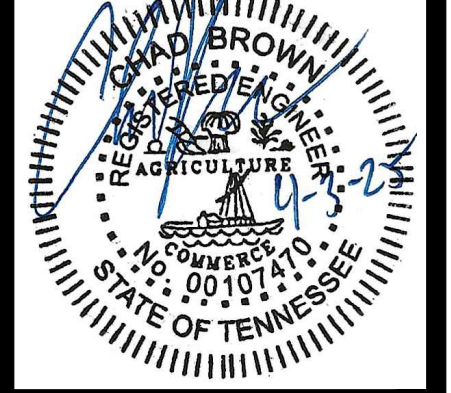
Project:
TL - 178
 Huntington Park Drive
TENN X, LLC
 Loudon, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
 PH. 865-671-2281

Drawing Description:
Site Layout Plan

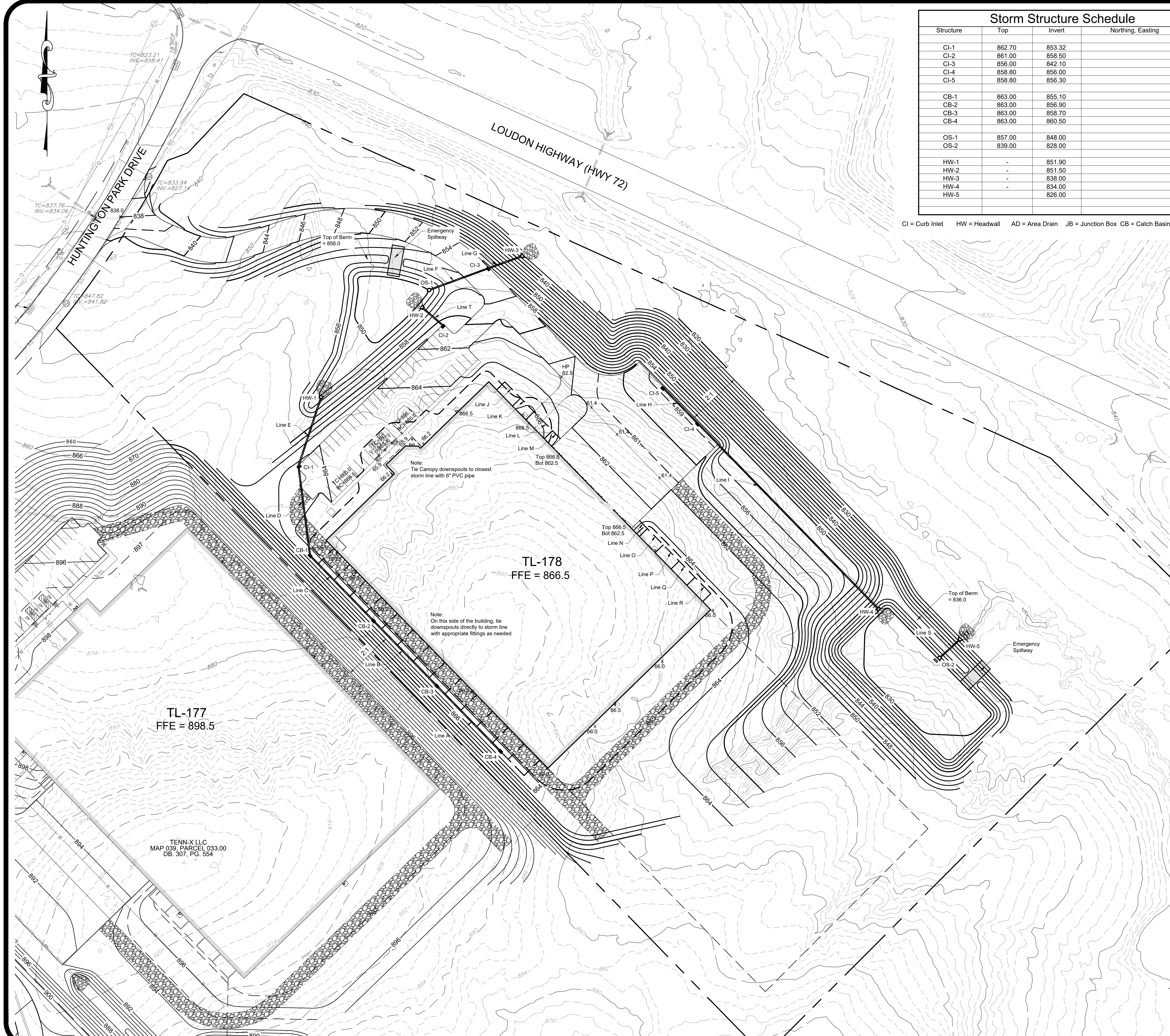
No.	Date	Revision
1	4-3-25	Revisions per Loudon



Drawn By	CDB
Checked	EJB
Approved	CDB
Job No.	2022094
1"=60' Scale	6-23-23 Date

C101
 Sheet No.

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Storm Structure Schedule			
Structure	Top	Invert	Northing, Easting
CI-1	862.70	853.32	
CI-2	861.00	858.50	
CI-3	856.00	842.10	
CI-4	858.80	856.00	
CI-5	858.80	856.30	
CB-1	863.00	855.10	
CB-2	863.00	856.90	
CB-3	863.00	858.70	
CB-4	863.00	860.50	
OS-1	857.00	848.00	
OS-2	839.00	828.00	
HW-1	-	851.90	
HW-2	-	851.50	
HW-3	-	838.00	
HW-4	-	834.00	
HW-5	-	826.00	

CI = Curb Inlet HW = Headwall AD = Area Drain JB = Junction Box CB = Catch Basin

- ### General Notes
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavation, to request exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
 - Property is located in Loudon County
 - Zone: M-1 (Light Industrial)
 - Setbacks: Front - 30', Side - (Shared) 10'-15'-20', Rear - 20'.
 - Lot Size: 20.6 acres
 - Map 039, Parcel 033.01
 - Vertical Datum: NAVD88
 - Owner: Tenn-X, LLC
1321 Tonoka Town Center #304
Daytona Beach, FL 32117

- ### Grading Notes
- All disturbed areas not scheduled to be paved shall have a minimum of 3 inches of topsoil placed on them and shall be seeded as specified.
 - All grading construction practices shall conform to the Tennessee Erosion and Sediment Control Handbook.
 - Maximum topsoil thickness for slopes steeper than 3:1 shall be 3".
 - See Erosion Control Plans prior to beginning any grading activities.
 - Contractor shall follow Storm Water Pollution Prevention Plan at all times.
 - Total disturbed area = 12.7 acres ±.
 - The grades shown are finished grades. Contractor shall determine subgrade elevations by examining typical pavement sections and the building drawings.

Legend

- Existing Curb Line
- Existing Contours
- Existing Catch Basin
- Existing Storm Line
- Existing Overhead Power Lines
- Existing Power Pole
- New Building Edge
- New Curb
- New Storm Sewer
- New Catch Basin
- New Junction Box
- New Contours
- New Spot Elevation
- New Top & Bottom Of Curb Elevations

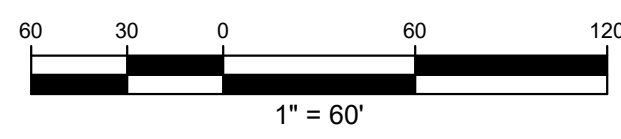
Piping Schedule

Pipe	Size/Mat.	Length	US Inv.	DS Inv.	Slope
A	12" HDPE	120.0'	860.50	858.70	1.50%
B	15" HDPE	120.0'	858.70	856.90	1.50%
C	15" HDPE	120.0'	856.90	855.10	1.50%
D	18" HDPE	118.8'	855.10	853.32	1.50%
E	18" HDPE	95.0'	853.32	851.90	1.50%
F	15" RCP	83.8'	848.00	842.10	7.00%
G	15" RCP	45.0'	842.10	838.00	9.00%
H	15" HDPE	65.8'	856.30	853.67	4.00%
I	18" HDPE	340.0'	853.67	832.00	4.00%
J	8" HDPE	30.0'	864.50	863.87	2.10%
K	8" HDPE	25.2'	863.87	863.34	2.10%
L	10" HDPE	35.0'	863.34	862.61	2.10%
M	10" HDPE	15.0'	862.61	862.30	2.10%
N	12" HDPE	15.0'	862.58	862.30	1.90%
O	10" HDPE	30.0'	863.06	862.58	1.60%
P	10" HDPE	30.0'	863.54	863.06	1.60%
Q	8" HDPE	30.0'	864.02	863.54	1.60%
R	8" HDPE	30.0'	864.50	864.02	1.60%
S	18" RCP	35.0'	828.00	826.00	5.70%
T	12" HDPE	35.0'	858.50	851.50	20.00%

No.	Date	Revision
1	4-3-25	Revisions per Loudon

Drawn By	CDB
Checked	EJB
Approved	CDB
Job No.	2022094
1"=60'	6-23-23
Scale	Date

APPROVED BY PURCHASER / TENANT _____ DATE _____
 APPROVED BY DEVELOPER / SELLER _____ DATE _____



TL - 178
Huntington Park Drive
TENN X, LLC
Loudon, Tennessee

Project:

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

Drawing Description:

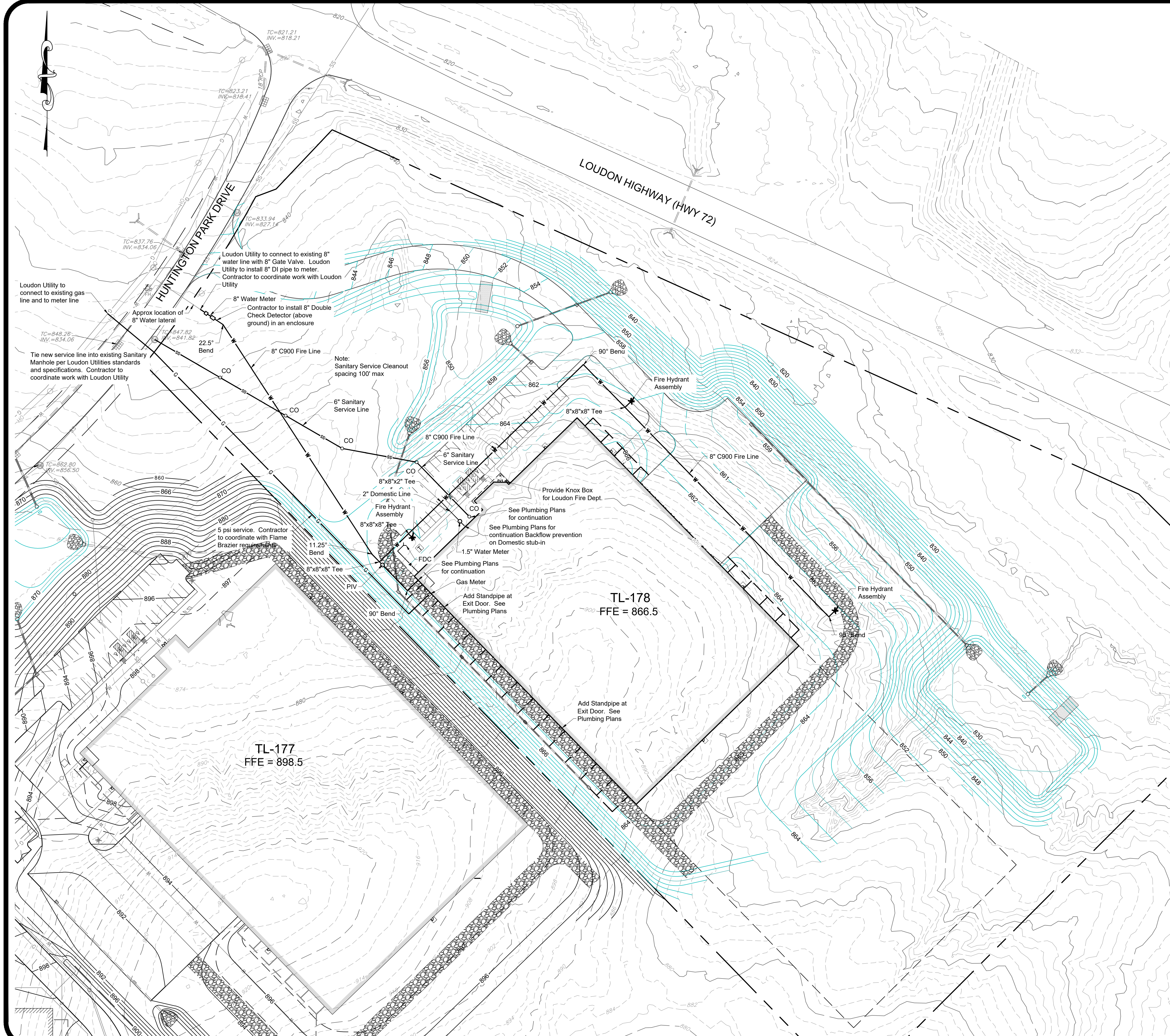
Site Grading and Drainage Plan

Revision: 1, Date: 4-3-25, Revisions per Loudon

Drawn By: CDB, Checked: EJB, Approved: CDB, Job No: 2022094, Scale: 1"=60', Date: 6-23-23

C201
Sheet No.

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General Notes

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- Vertical Datum: NAVD88
- Owner: Tenn-X, LLC
1321 Tonoka Town Center #304
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Utility Notes

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- All water and sanitary construction shall comply with local utility standard specifications.
- Maintain 10' horizontal separation between water and sanitary lines. Where waterlines cross sanitary lines, the water line shall be a minimum of 18" above the sanitary line.
- All trenching and shoring shall comply with OSHA standards.
- Contractor shall provide As-built survey by registered land surveyor and drawings to Land Development Solutions. Water line As-built drawings shall include horizontal and approximate vertical location for lines, valves, fire hydrants, meters, and any other pertinent information. Sanitary As-built drawings shall include manhole tops and inverts, tee-wye depths, all deviations from design plans, and any other pertinent information.
- Blocking shall be per local utility specifications.
- Minimum depth of cover over sewer line is 36".
- A minimum bedding layer of 6" of type 57 stone will be installed around the circumference of all pipe and fitting outside the limits of the roadway surface. Stone backfill to grade is required under all proposed roadways.
- All existing utility covers shall be adjusted to match new grades.
- Fire Lines from the Point of Service to the building are shown for reference only. All fire mains shall be designed and installed by a licensed sprinkler contractor.

Legend

	New Building/Parking Garage
	New Edge Pavement
	New Concrete Curb
	Finished Grade Contours
	New Curb Inlet
	New Junction Box
	New Storm Pipe
	Existing Contours
	Existing Edge Pavement
	Existing Edge Pavement
	Existing Wall
	Existing Storm Line
	Existing Storm Catch Basin
	Existing Headwall
	Existing Storm Manhole
	Property Line (Boundary)
	Existing Tree Line
	Existing Tree
	Existing Gas Line
	Existing Water Line
	Existing Fire Hydrant
	Existing Water Valve
	Existing Sanitary Sewer
	Existing Sanitary Manhole
	New Water Line
	New Fire Hydrant
	New Sanitary Sewer
	New Cleanout

APPROVED BY PURCHASER / TENANT _____ DATE _____

APPROVED BY DEVELOPER / SELLER _____ DATE _____

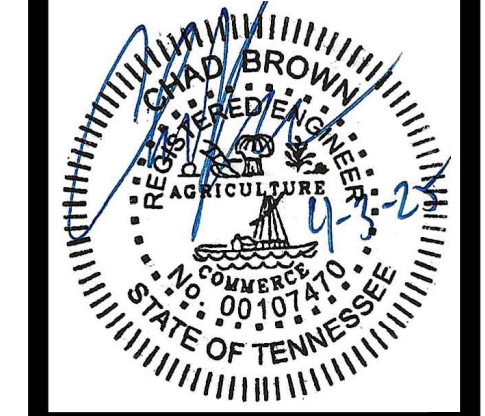
TL - 178
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LAND DEVELOPMENT SOLUTIONS

 310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
 PH. 865-671-2281

Drawing Description:
Site Utility Plan

No.	Date	Revision
1	4-3-25	Revisions per Loudon



Drawn By	CDB
Checked	EJB
Approved	CDB
Job No.	2022094
1"=60' Scale	6-23-23 Date
C401	
Sheet No.	