



# City of Loudon, Tennessee

## Loudon Regional Planning Commission

AGENDA  
LOUDON CITY HALL  
2480 Hwy. 72 N.  
WEDNESDAY, July 9, 2025  
12:30 P.M.

1. Call to Order
2. Pledge of Allegiance and Roll Call

Debbie Hines, Chairman  
Kevin Bookout  
Dennis Brennan, Vice-Chairman  
Ham Carey  
Tim Dixon

Tim Henley, Secretary  
Brendan DeBoer  
David Meers  
Clayton Pangle  
Scott Wilson

3. Approval of Minutes – June 4, 2025 Meeting

4. Old Business:

- A. Application #185: Rezoning Request from R-2 High Density Residential District to Planned Development District (PDD), Tennessee National, Applicant, Tyler Gross, Owner, TN National, LLC, Tax Map 032, Group N/A, Parcel 001.00, R-2 High Density Residential District;
- B. Application #182: Amending Master Plan, Tennessee National, Applicant, Tyler Gross, Owner TN National, LLC, Tax Map 023, Group N/A, Parcel 001.00, PDD, Planned Development District, and Tax Map 032, Group N/A, Parcel 001.00, R-2 High Density Residential District;

5. New Business:

- A. Application #180: Site Plan Review, Bills Courtyard, Applicant and Property Owner Jay Alawadi – SSNA Inc., 700 Grove St, Tax Map 041B Group D Parcel 003.00, C-1 Central Business, H-1 Historic Zoning District;

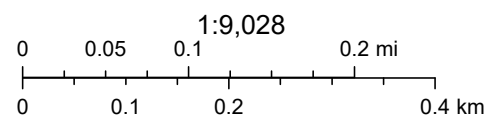
- B. Application #183: Final Plat Review, Pods 29 & 30, TN National, Applicant, Tyler Gross, Property Owner, TN National LLC, Tax Map 023, Group N/A, Parcel 001.00, PDD, Planned Development District;
- 6. Additional Public Comments
- 7. Announcements and/or comments from Board/Commission
- 8. Adjournment

# Loudon County - Parcel: 032 001.00



Date: May 30, 2025

County: LOUDON  
Owner: TN NATIONAL LLC  
Address: MATLOCK BEND RD  
Parcel ID: 032 001.00  
Deeded Acreage: 26.4  
Calculated Acreage: 0  
Vexcel Imagery Date: 2023



State of Tennessee, Comptroller of the Treasury, Division of Property Assessments (DPA), Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/ NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

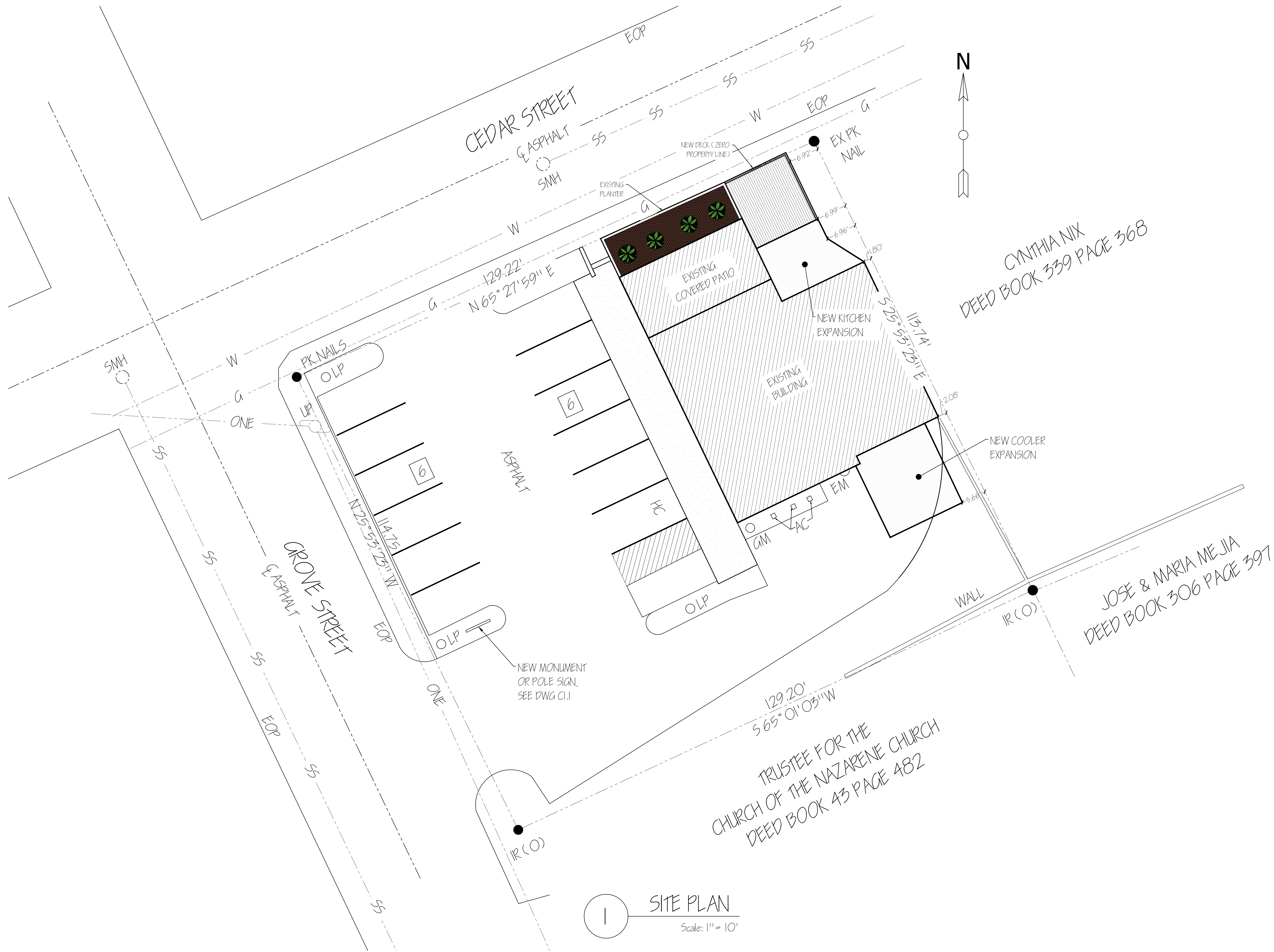




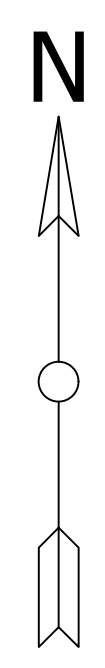








**SITE PLAN**  
Scale: 1" = 10'



CYNTHIA NIX  
DEED BOOK 339 PAGE 368

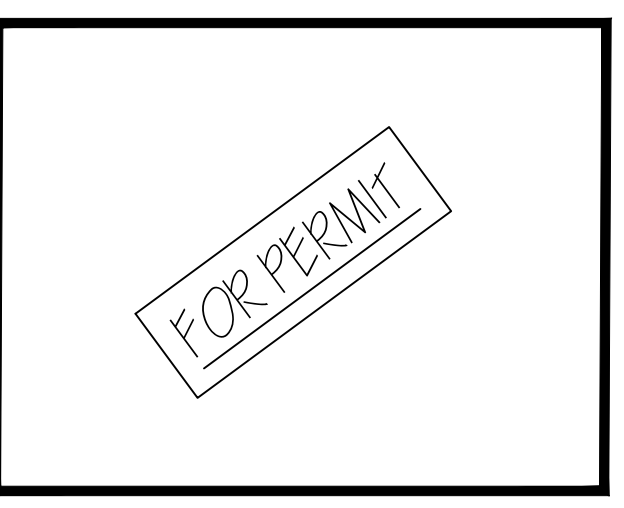
JOSE & MARIA MEJIA  
DEED BOOK 306 PAGE 397

TRUSTEE FOR THE  
CHURCH OF THE NAZARENE CHURCH  
DEED BOOK 43 PAGE 482

# ART Design

3979 Lowes Ferry Road  
Louisville, TN 37777  
(865) 724-9821  
ART\_Design1963@yahoo.com

General Notes		
No.	Revision/Issue	Date



Project Name BILL'S COURTYARD (GOODFELLAS) RENOVATIONS	
Project Address 700 GROVE STREET LOUISVILLE, TN 37774	
Contractor Name	
Contractor Address	

Drawn by ART	Date 5/19/25
Checked by ART	Date 5/19/25
Job # ART25011	Sheet C.I.O





WALL SIGN

Scale: NTS



2 DUAL POLE SIGN

Scale: NTS

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FOR PERMIT

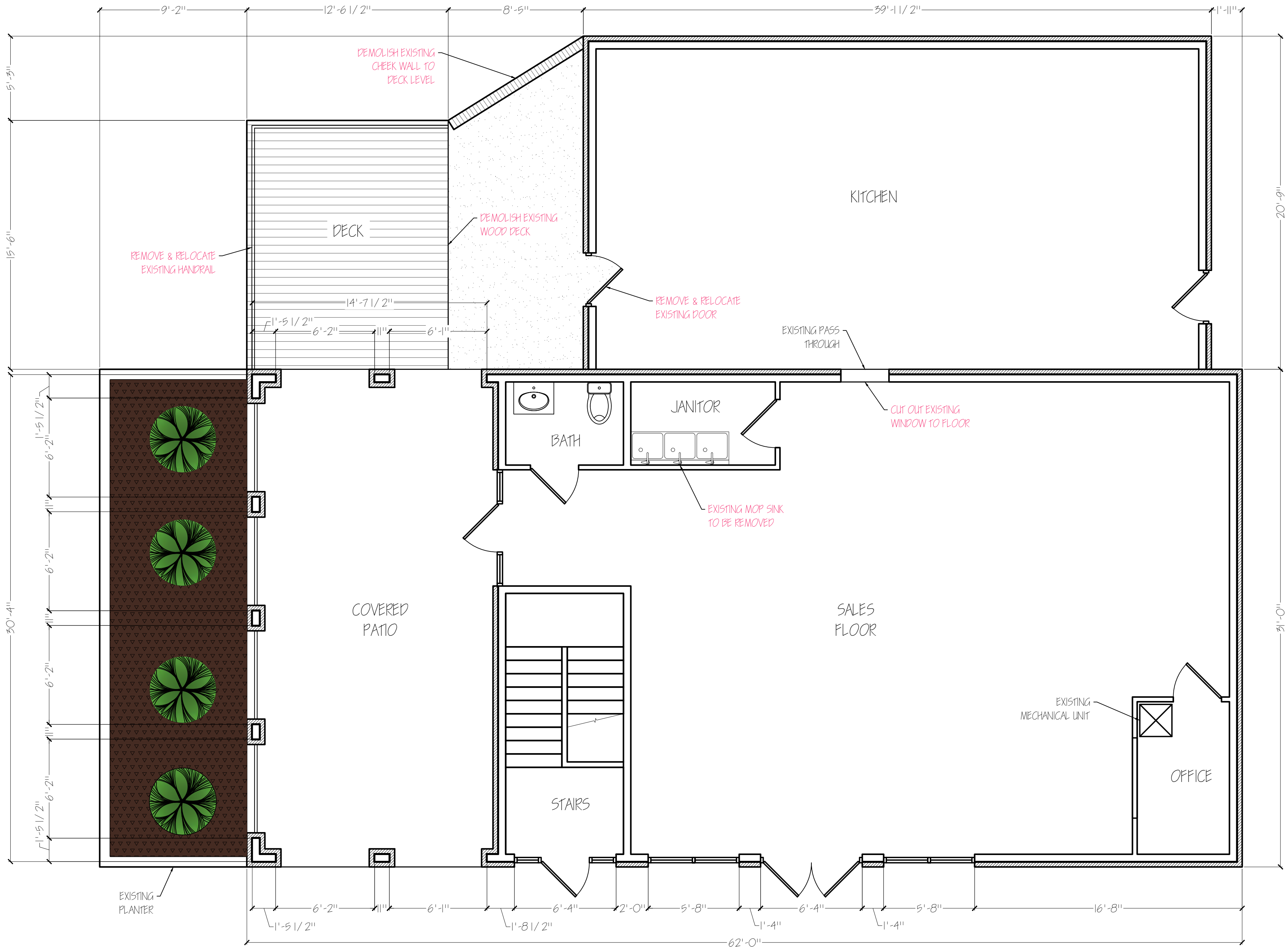
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1 EXISTING MAIN FLOOR PLAN w/ DEMO NOTES  
Scale: 1/4" = 1'-0"

DEMOLITION NOTES IN RED

## General Notes

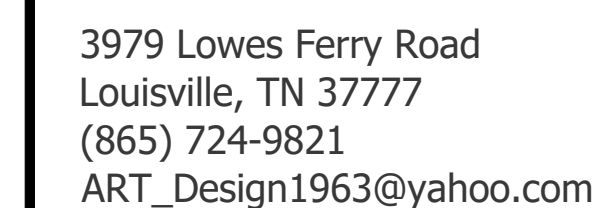
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Job #	ART25011	Sheet	A1.0





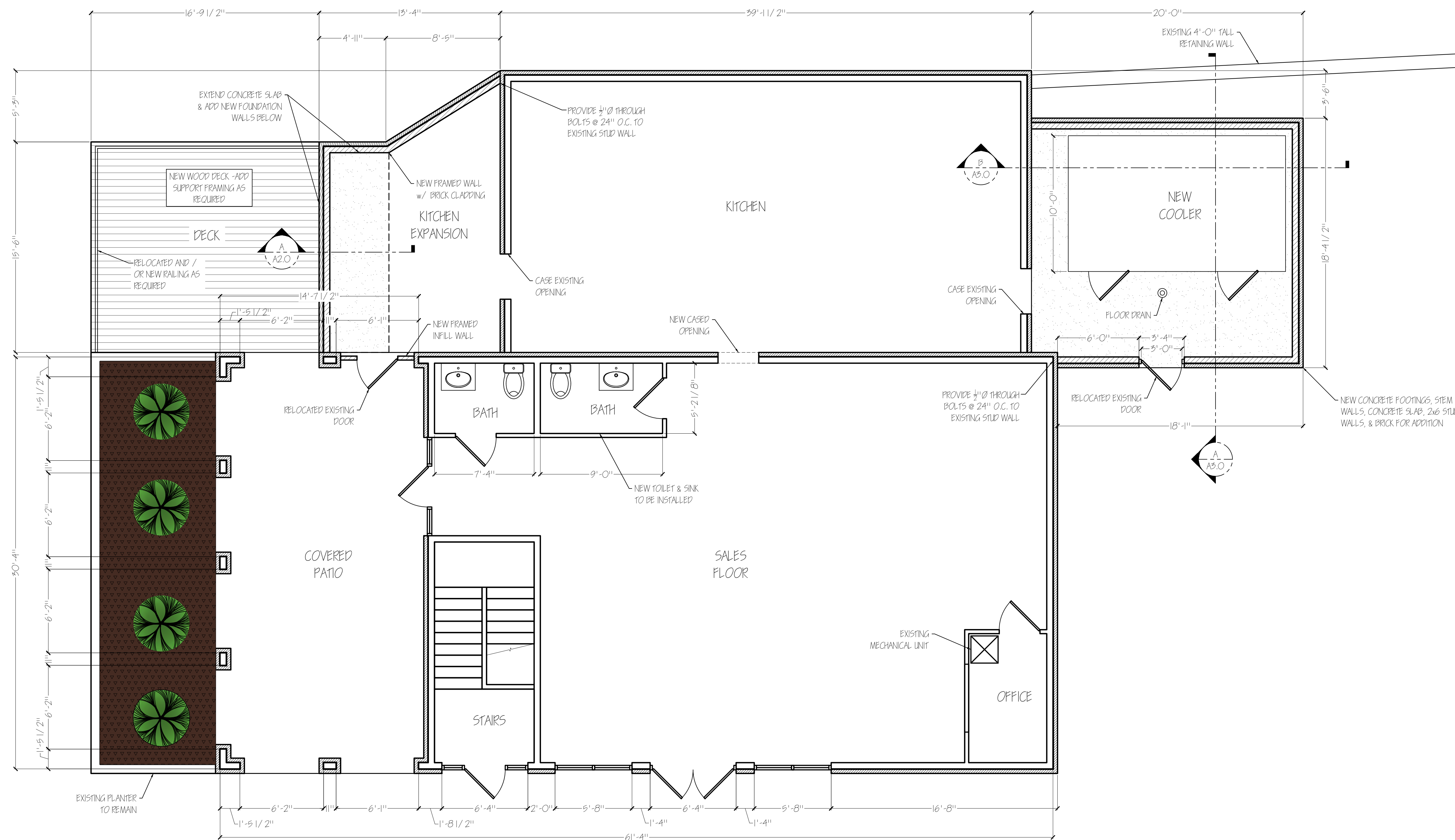
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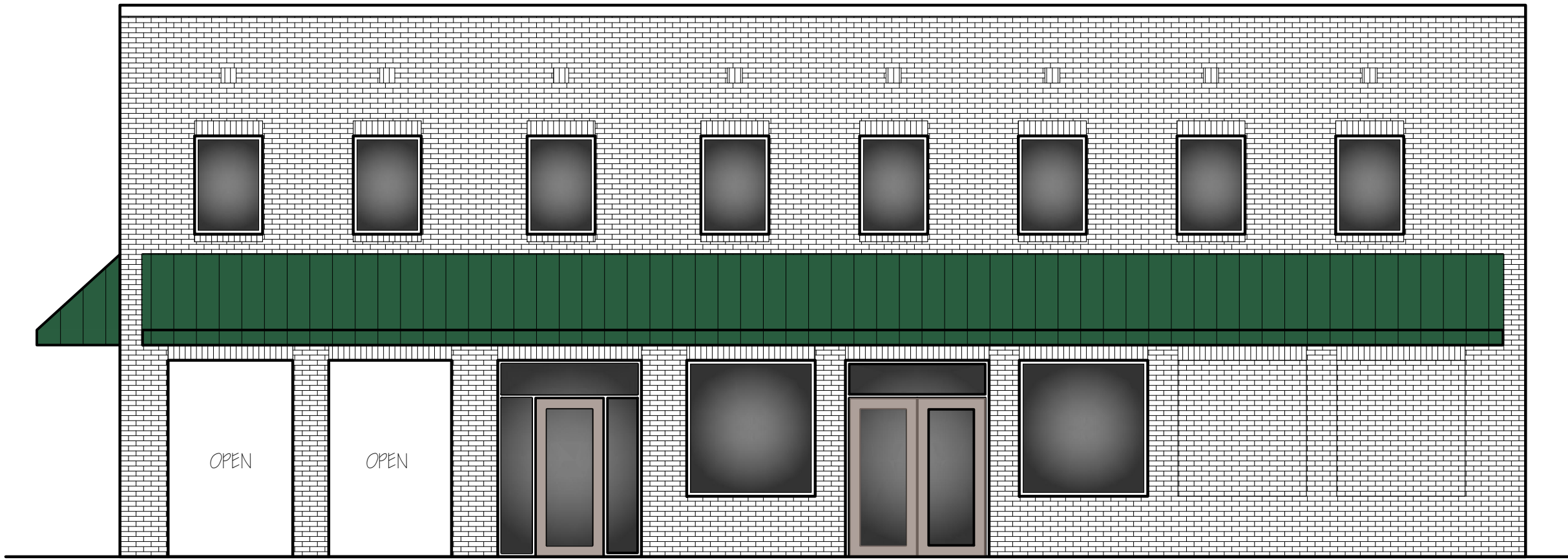
Drawn by ART	Date 5/19/25
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JOB # ART25011	Sheet A.1



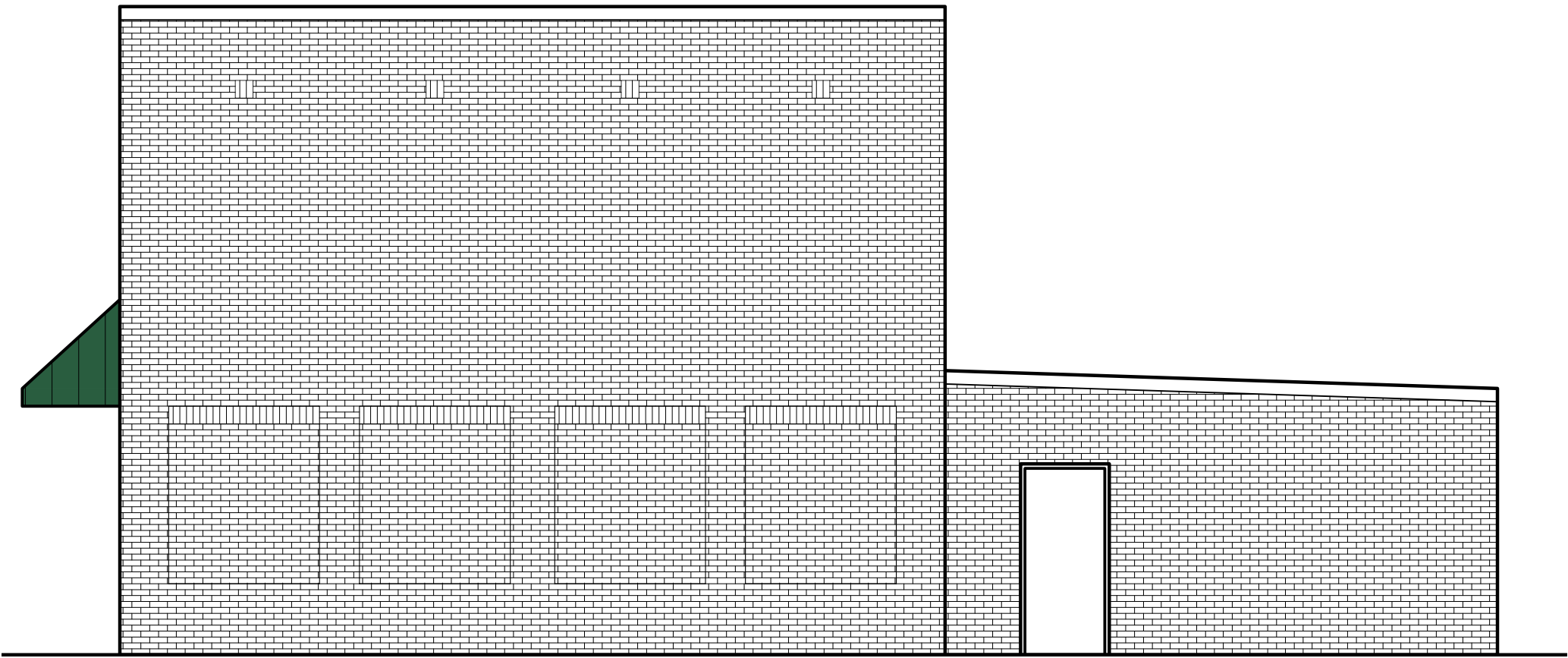
1 RENOVATED MAIN FLOOR PLAN Scale: 1/4" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL  
EXISTING DIMENSIONS & CONDITIONS  
PRIOR TO COMMENCING WORK!



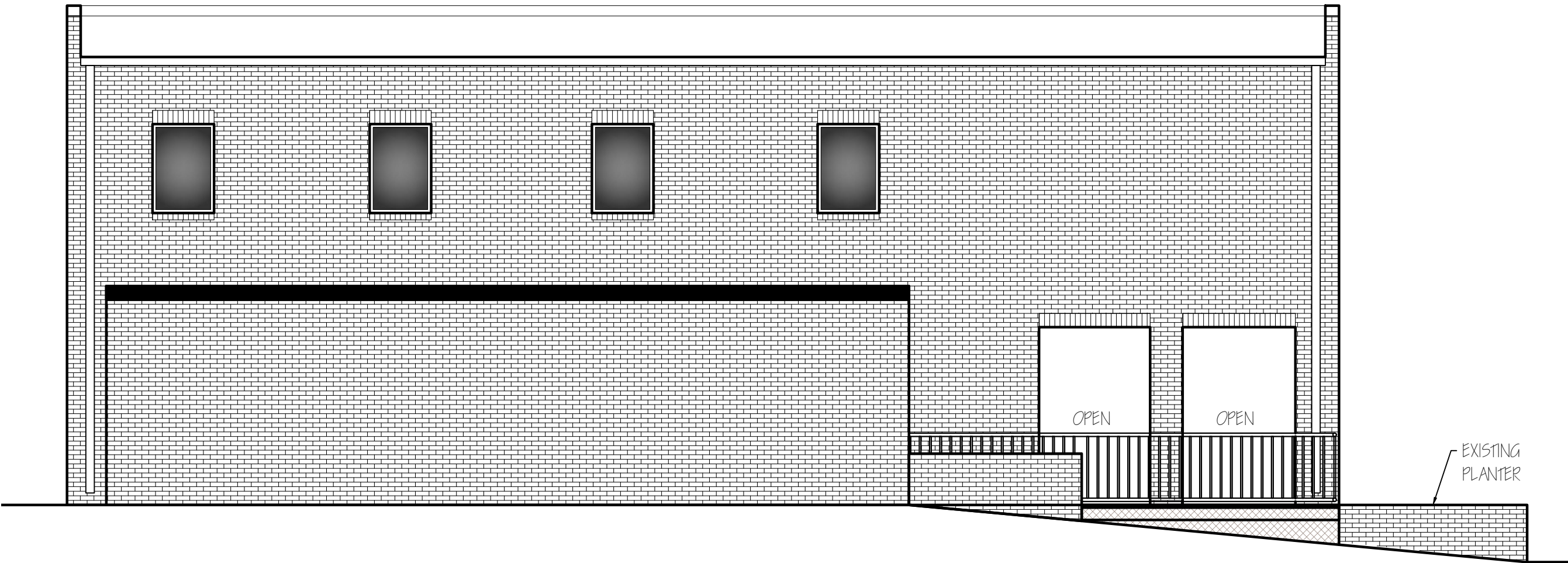


1 FRONT ELEVATION  
Scale: 3/16" = 1'-0"

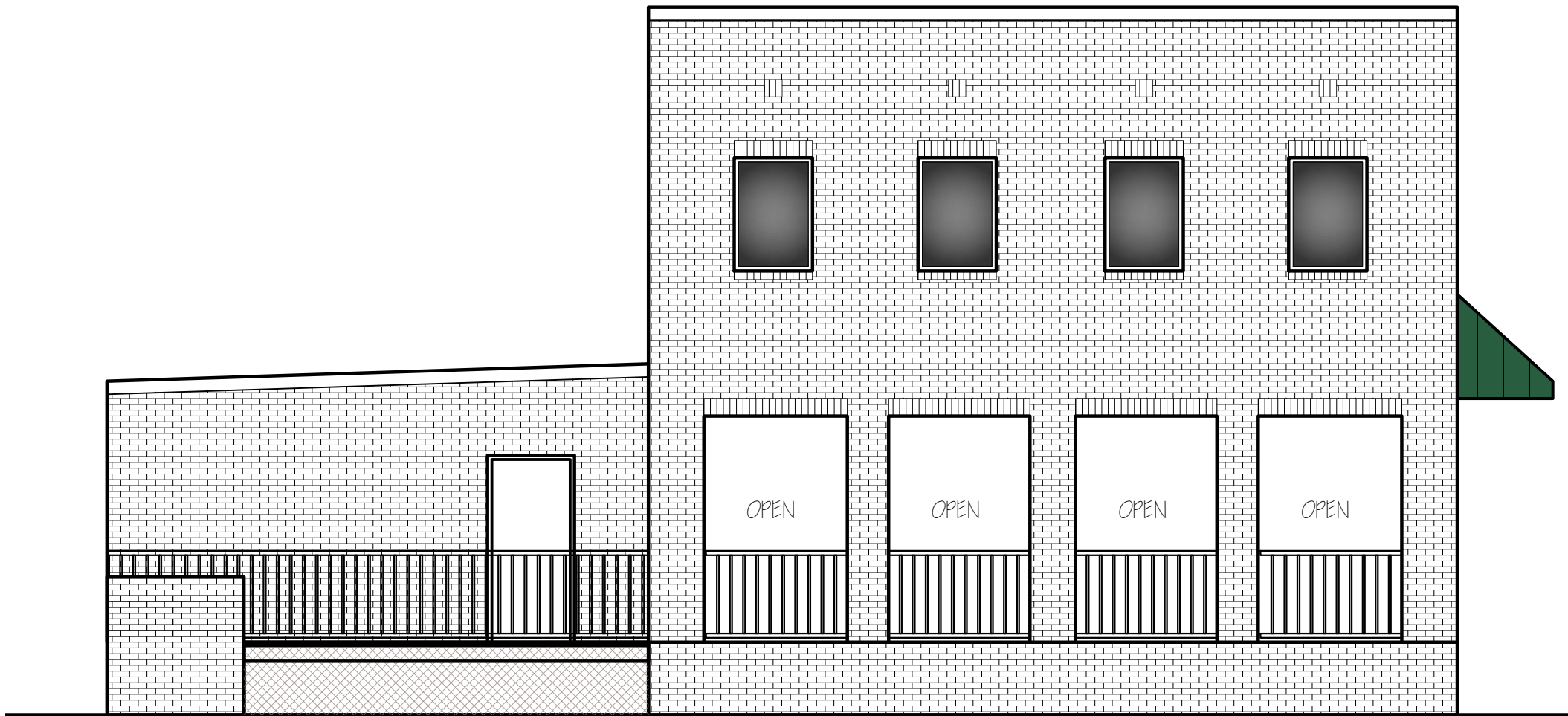


2 RIGHT ELEVATION  
Scale: 3/16" = 1'-0"

EXISTING ELEVATIONS



3 REAR ELEVATION  
Scale: 3/16" = 1'-0"



4 LEFT ELEVATION  
Scale: 3/16" = 1'-0"

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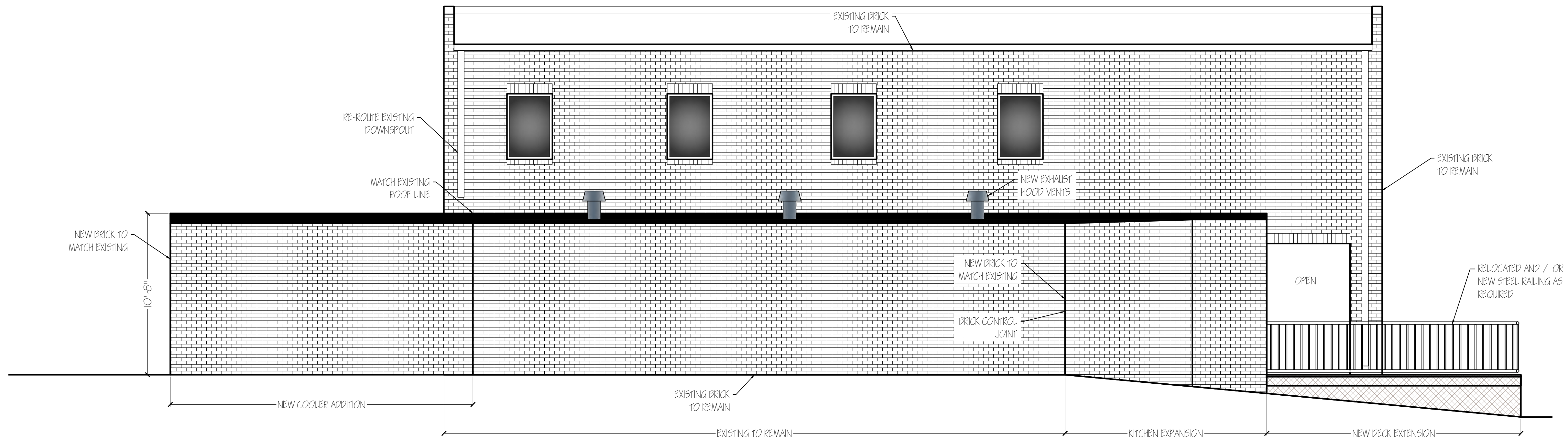
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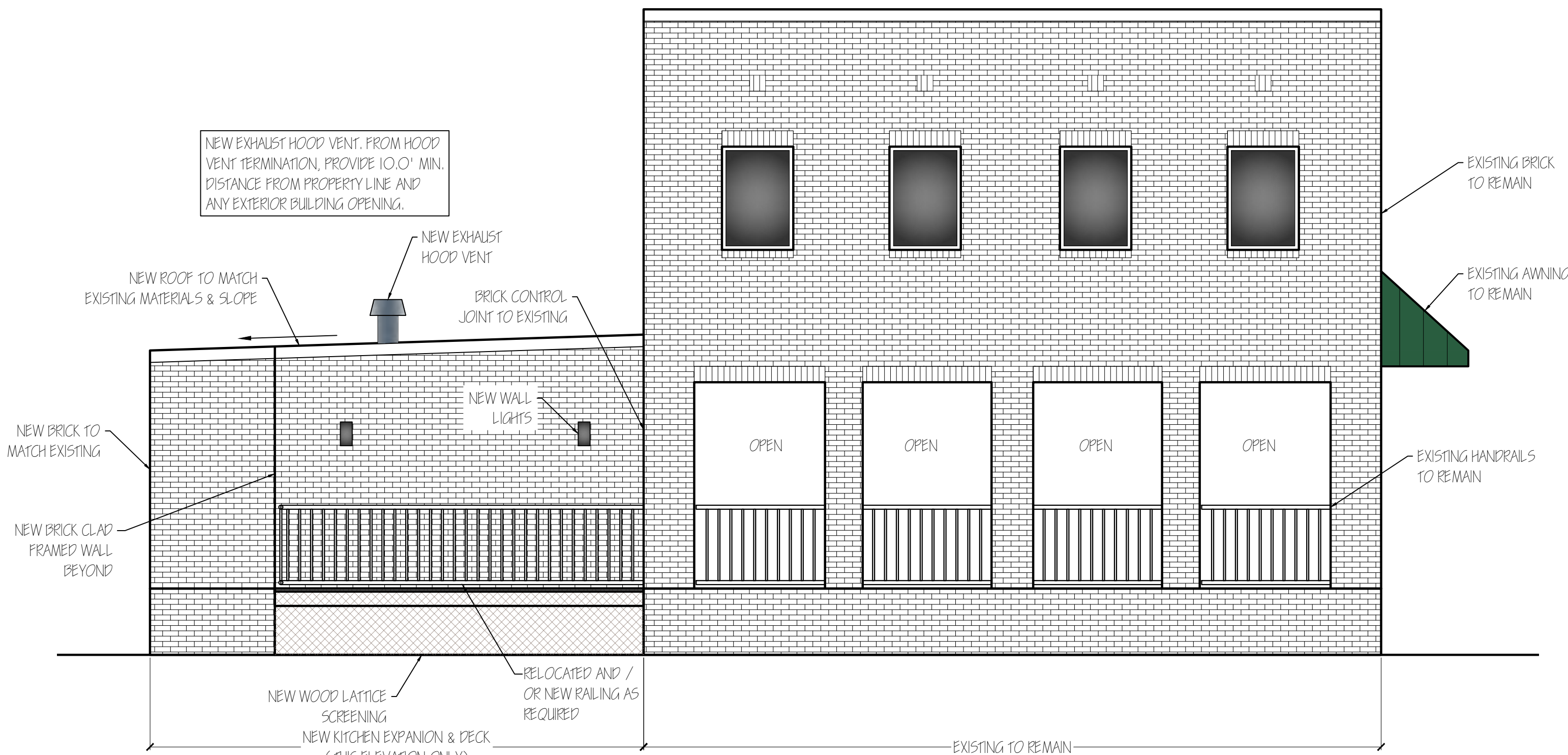
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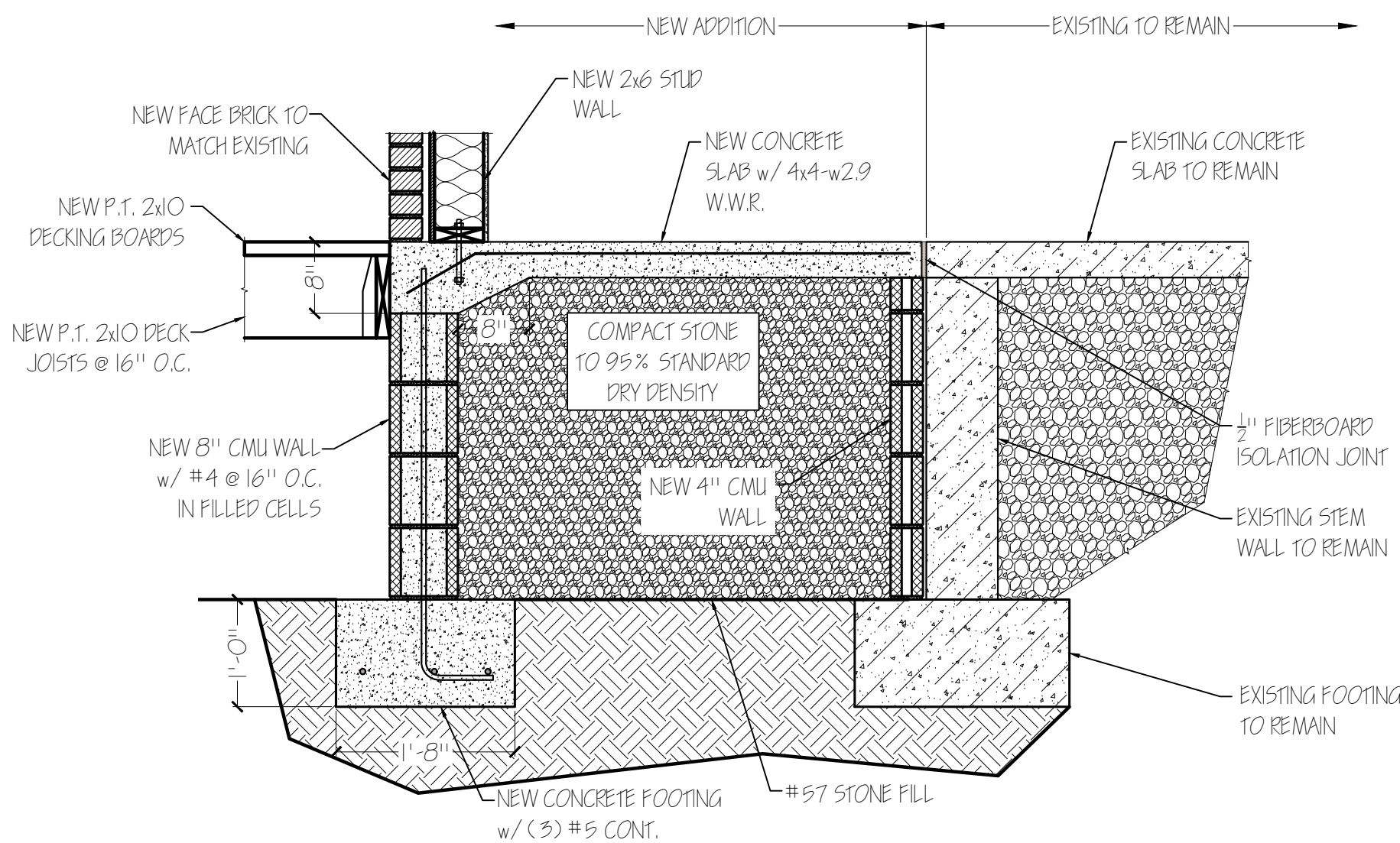


1 REAR ELEVATION  
Scale: 1/4" = 1'-0"

## RENOVATED ELEVATIONS



2 LEFT ELEVATION  
Scale: 1/4" = 1'-0"



A SECTION @ NEW WALL  
Scale: 3/4" = 1'-0"



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FOR PERMIT

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BILL'S COURTYARD (GOODFELLAS)  
RENOVATIONS

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700 GROVE STREET  
LOUISVILLE, TN 37774

Contractor Name

Contractor Address

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ART  
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5/19/25

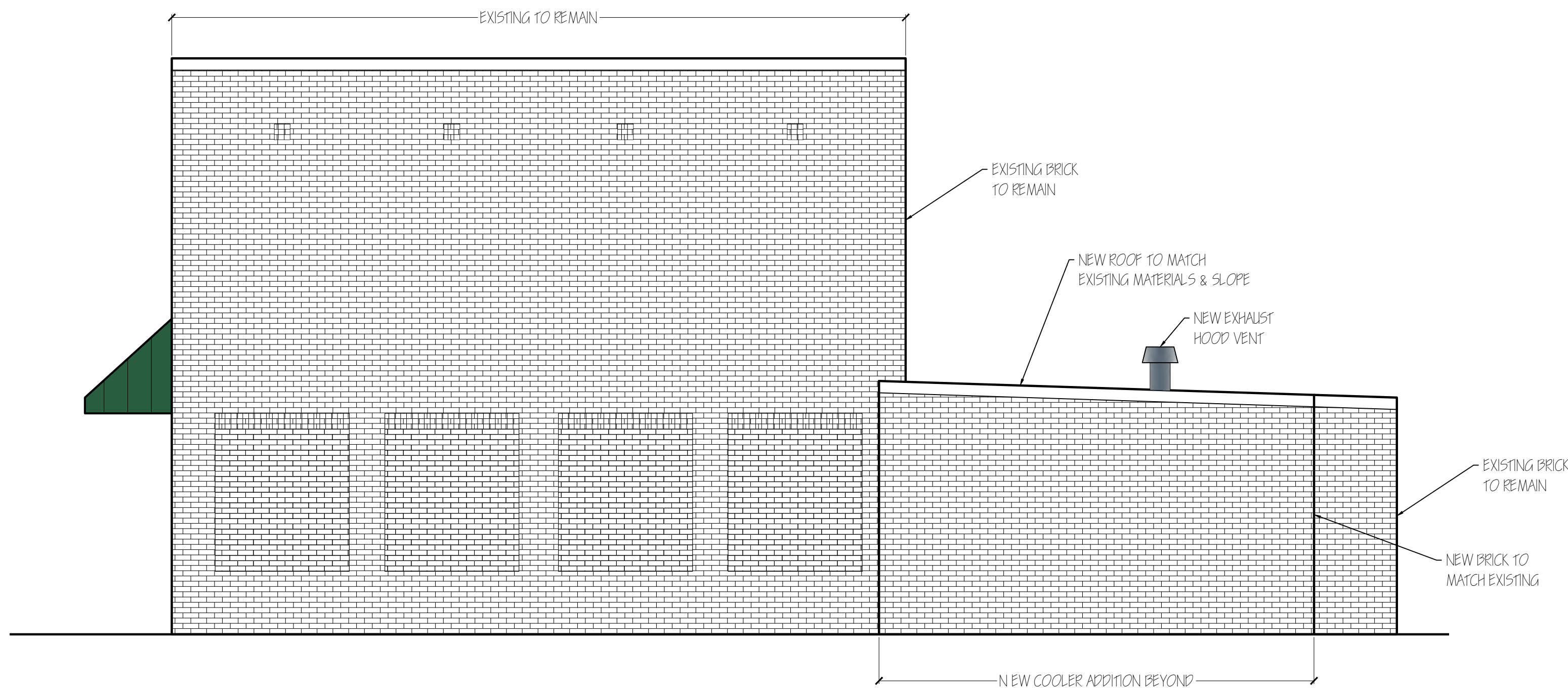
Checked by  
ART  
Date  
5/19/25

Job #  
ART25011  
Sheet  
A2.2



1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"

RENOVATED ELEVATIONS



2 RIGHT ELEVATION  
Scale: 1/4" = 1'-0"



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## General Notes

### FOUNDATION GENERAL NOTES:

- All concrete to be  $f'c = 4000$  psi @ 28 days.
- All reinforcing steel to be ASTM A615, Grade 60 unless noted otherwise.
- All anchor bolts to be ASTM A1554, Grade 36.
- All subgrade preparation and compaction is to be in accordance with recommended practices.
- Frost Depth 12"

2018 IBC STRUCTURAL DATA (ASCE 7-22):  
BASIC WIND SPEED: 105 MPH, CATEGORY II  
GROUND SNOW LOAD: 24 PSF  
SEISMIC DESIGN CATEGORY: C  
SITE CLASS: D (ASSUMED)  
 $S_{DS} = 0.40g$   
 $S_{D1} = 0.18g$   
(Seismic Data based on wide area data set.)  
Seismic Design Method = Equivalent Lateral Force (ELF)

DESIGN LOADINGS:  
FLOOR LIVE LOAD: 100 PSF  
DECK LIVE LOAD: 60 PSF  
FLOOR DEAD LOAD: 15 PSF + 10 PSF PARTITIONS  
ROOF LIVE LOAD: 20 PSF  
ROOF DEAD LOAD: 15 PSF  
ROOF SNOW LOAD: 16 PSF

ALLOWABLE SOIL BEARING CAPACITY: 2000 PSF (ASSUMED)

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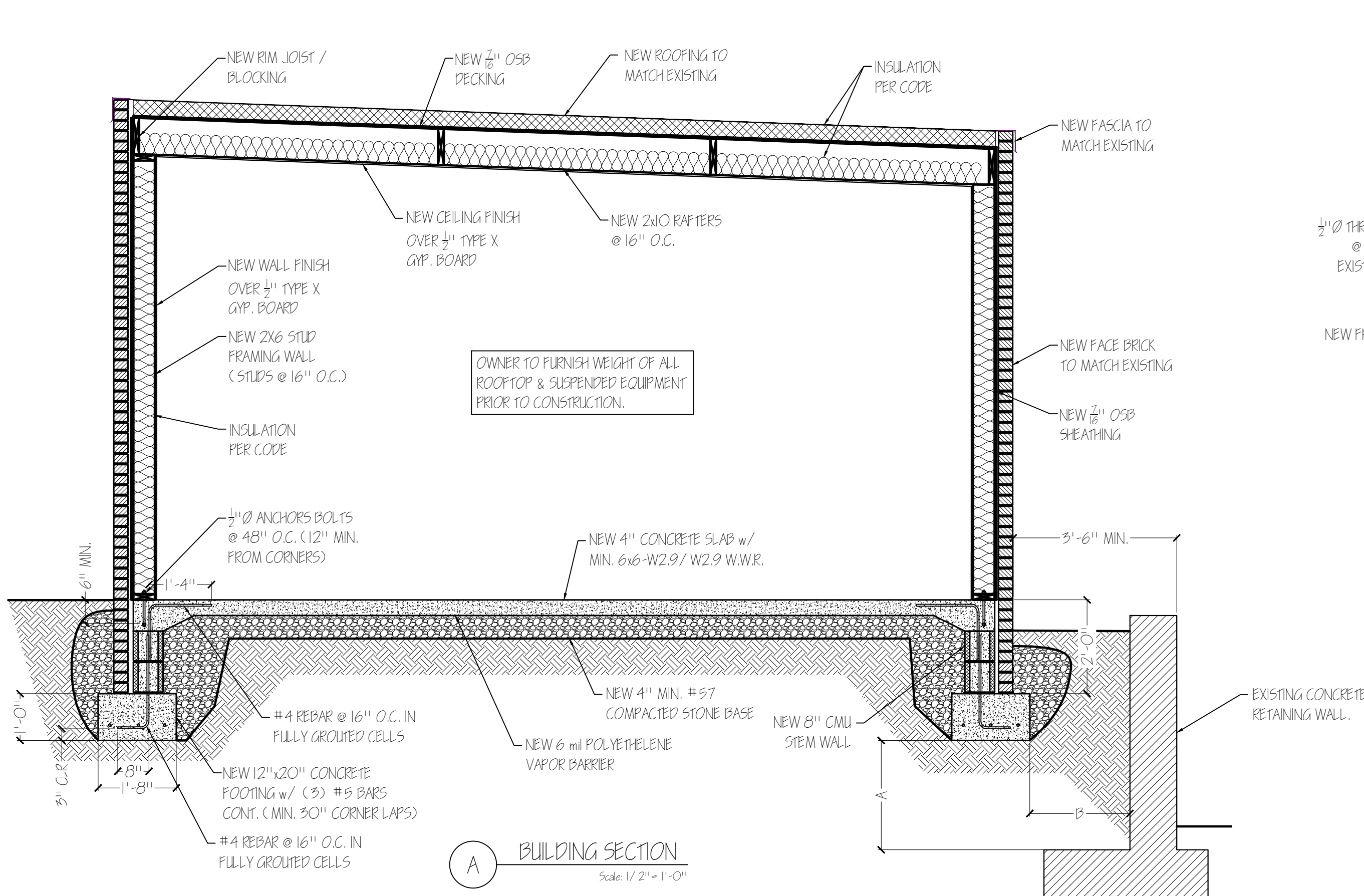
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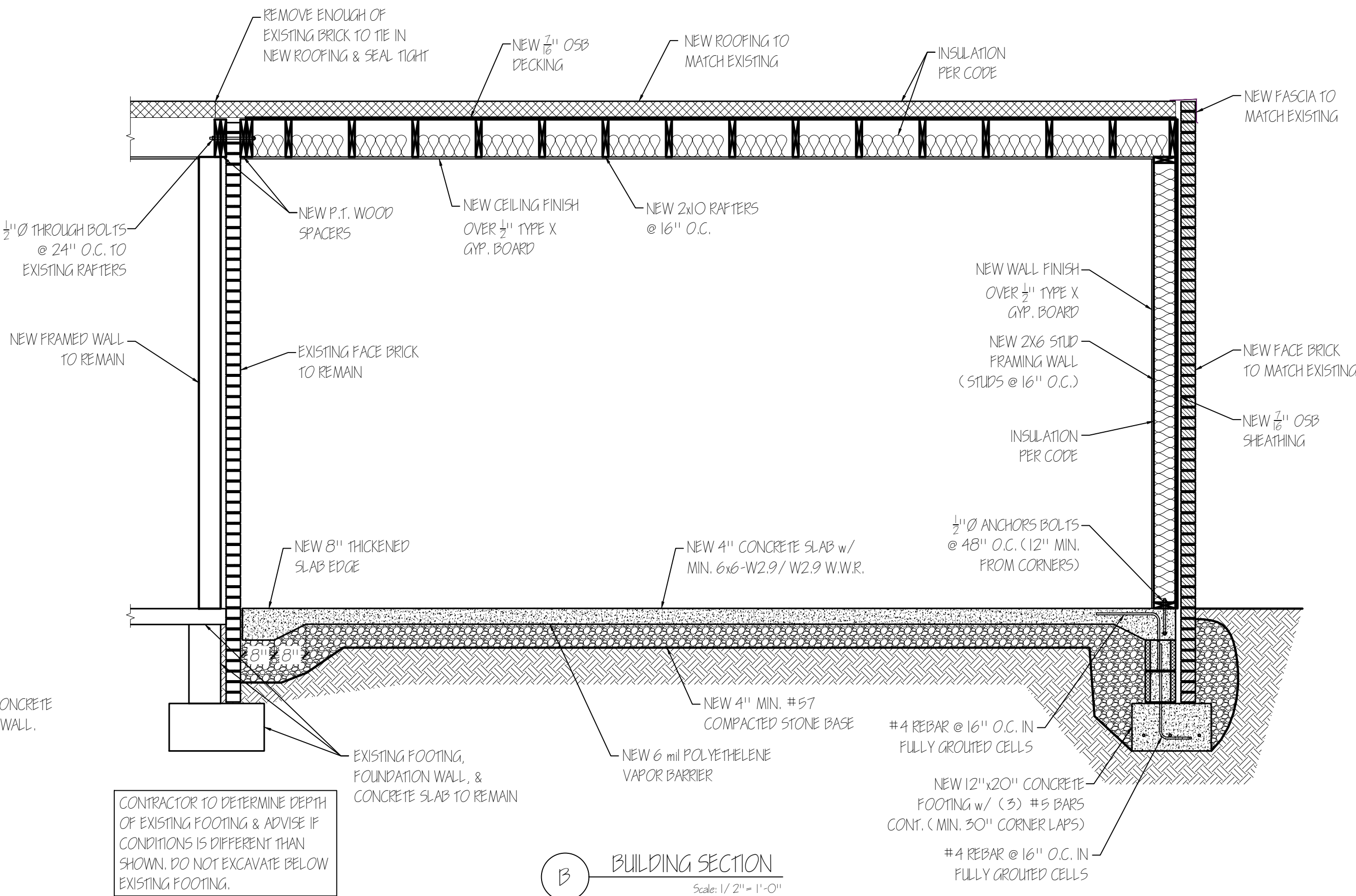
Contractor Name

Contractor Address

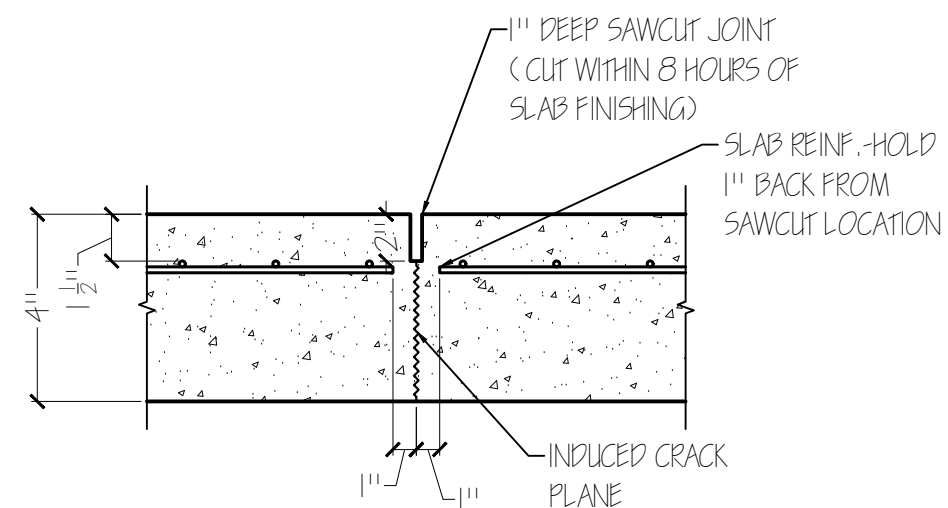
Drawn by ART	Date 5/19/25
Checked by ART	Date 5/19/25
JOB # ART25011	Sheet A5.0



NOTE: "B" DIMENSION MUST MATCH OR EXCEED "A" DIMENSION TO ENSURE THAT ADDITIONAL LATERAL LOAD IS NOT EXERTED ON EXISTING RETAINING WALL.

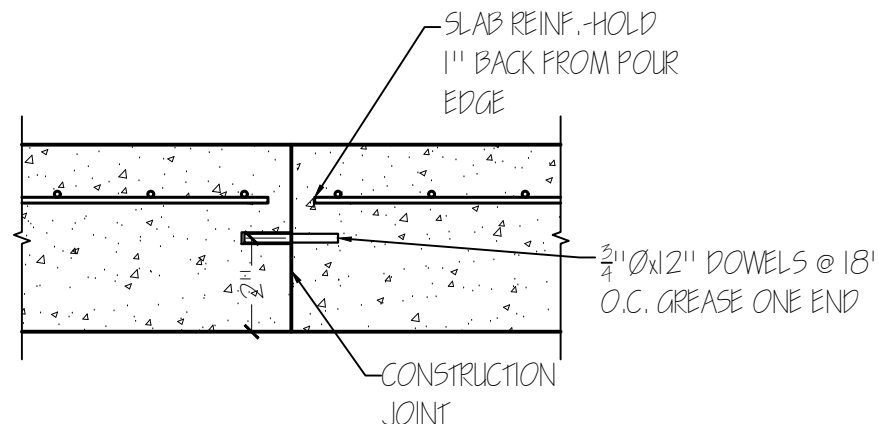


CONTRACTOR TO DETERMINE DEPTH OF EXISTING FOOTING & ADVISE IF CONDITIONS IS DIFFERENT THAN SHOWN. DO NOT EXCAVATE BELOW EXISTING FOOTING.



1 SECTION @ CONTRACTION JOINT  
Scale: 1" = 1'-0"

CONTRACTION / CONSTRUCTION JOINTS NOT TO EXCEED 12'-0" IN EITHER DIRECTION.

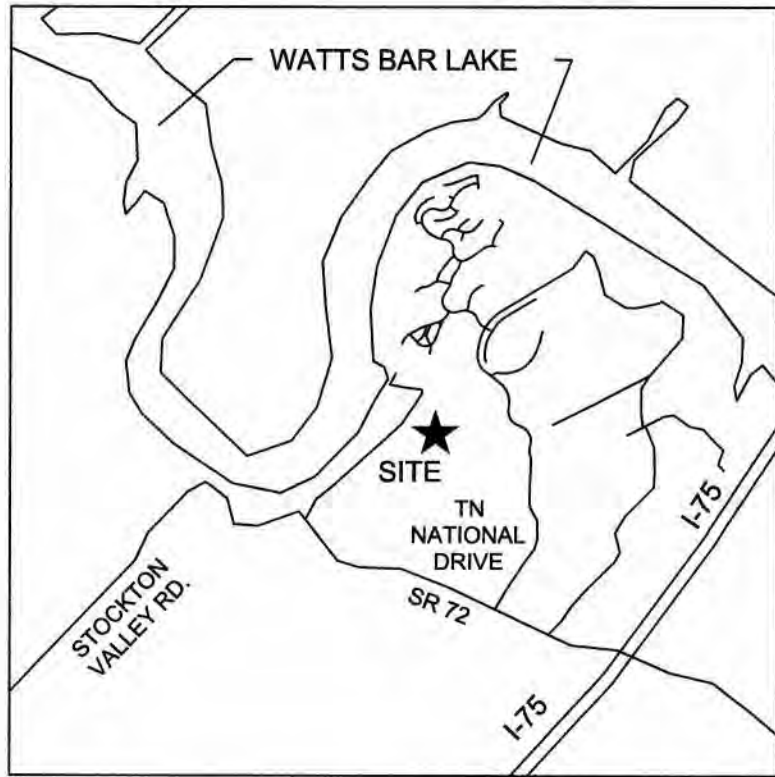


2 SECTION @ CONSTRUCTION JOINT  
Scale: 1" = 1'-0"

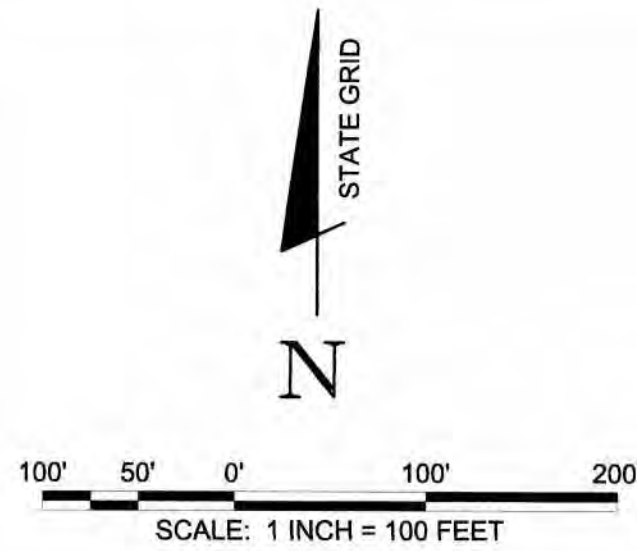
## TEMPORARY BRACING:

TEMPORARY BRACING WILL BE INHERENT TO THE CONSTRUCTION OF THIS STRUCTURE, AS IT IS WITH ALL STRUCTURES. THIS WILL BE DICTATED BY SEVERAL FACTORS INCLUDING SEQUENCE OF CONSTRUCTION AVAILABILITY OF MATERIALS, PROJECT PHASING AND OTHERS. THE SCHEME FOR THIS TEMPORARY IS THE RESPONSIBILITY OF THE BUILDER.





VICINITY MAP  
NOT TO SCALE



LEGEND

- 1341 ADDRESS
- EASEMENT TO BE ABANDONED AND/OR RELOCATED
- NEW 20' DRAINAGE EASEMENT

NOTES:

- TOTAL POD AREA - 48.82 ACRES WITH 29 LOTS, OPEN SPACE AND ROAD RIGHT-OF-WAY.
- ZONING - PLANNED DEVELOPMENT DISTRICT REFERENCE THE LOUDON ZONING ORDINANCE, SECTION 14-415-NEIGHBORHOOD EDGE-DEVELOPMENT STANDARDS FOR ALL SITE DEVELOPMENT REGULATIONS.
- SETBACKS ARE 25-FOOT FRONTYARD, 5-FOOT SIDEYARD AND 15-FOOT REARYARD.
- PROPOSED USE IS RESIDENTIAL, AVERAGE LOT SIZE IS 1.24 ACRES.
- ROADS WILL BE PRIVATE WITHIN A 50-FOOT RIGHT-OF-WAY AND UTILITY EASEMENT.
- SANITARY SEWER WILL BE A LOW PRESSURE SYSTEM AND WILL BE CONSTRUCTED TO LOCAL SEWER DISTRICT STANDARDS.
- WATER WILL BE PUBLIC AND CONSTRUCTED TO LOCAL WATER DISTRICT STANDARDS.
- IMPROVEMENTS WILL BE CONSTRUCTED TO CONFORM TO LOCAL MUNICIPALITY STANDARDS.
- DEED REFERENCE - D.B. 430, PAGE 659
- UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS OF 12' ALONG ALL ROAD RIGHT-OF-WAYS AND 5' ALONG ALL SIDE AND REAR LOT LINES PLUS OTHER EASEMENTS AS SHOWN.
- UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS SHALL BE CENTERED ON DRAINAGE & SEWER STRUCTURES AS INSTALLED.
- PROPOSED ROAD GRADES EXCEED THE 10% MAXIMUM AS DESCRIBED IN THE CITY OF LOUDON SUBDIVISION REGULATIONS FROM STATION 0+56-1+75 AND 5+50-7+35 ON EAGLES CREST COURT; HOWEVER, THE PROPOSED ROAD GRADES COMPLY WITH THE REQUIREMENTS SET FORTH IN THE CITY OF LOUDON DEVELOPMENT MANUAL SECTION 3-102.

N/F: LOUDON COUNTY SOLID  
WASTE DISPOSAL COMMISSION  
D.B. 350, PG. 26

N/F: TN NATIONAL LLC  
D.B. 430, PG. 659

N/F: LOUDON COUNTY SOLID  
WASTE DISPOSAL COMMISSION  
D.B. 212, PG. 216

LINE TABLE		
Line #	Direction	Length
L1	S14°21'16"E	76.72'
L2	S43°01'46"W	64.60'
L3	S25°41'47"W	50.00'
L4	N64°18'13"W	53.23'
L5	S28°28'33"E	81.86'
L6	S87°14'42"E	50.00'
L7	S77°00'01"E	20.17'
L8	N64°18'13"W	53.23'
L9	S83°55'05"W	10.88'
L10	N83°55'05"E	10.88'
L17	S56°41'57"W	183.77'
L18	OMIT	OMIT

LOT AREAS		
LOT	SQ.FT.	ACRES
1	12,954	0.30
2	17,132	0.39
3	22,178	0.51
4	27,350	0.63
5	32,523	0.75
6	37,695	0.87
7	42,868	0.98
8	47,551	1.09
9	356,803	8.19
10	173,379	3.98
11	150,910	3.46
12	50,172	1.15
13	50,431	1.16
14	50,431	1.16
15	50,431	1.16
16	50,403	1.16

LOT AREAS		
LOT	SQ.FT.	ACRES
17	48,469	1.11
18	45,206	1.04
19	48,405	1.11
20	OMIT	OMIT
21	48,536	1.14
22	84,702	1.94
23	77,675	1.78
24	90,433	2.08
25	67,549	1.55
26	60,680	1.39
27	72,559	1.67
28	73,496	1.69
29	68,138	1.56
30	35,987	0.83

C/L 20' DRAINAGE EASEMENT LINE TABLE		
Line #	Direction	Length
L11	N43°20'30"W	150.00'
L12	N76°52'18"W	166.27'
L13	N54°10'24"W	152.81'
L14	S16°41'49"E	216.31'
L15	S51°14'09"W	25.51'
L16	S35°22'44"W	107.20'

CURVE TABLE					
Curve #	Length	Radius	Delta	Chd. Length	Chd. Bearing
C1	14.33'	11.00'	74°39'02"	13.34'	N78°22'16"E
C2	124.95'	175.00'	40°54'37"	122.32'	S84°45'32"E
C3	176.43'	125.00'	80°52'05"	162.14'	S34°21'07"W
C4	161.65'	475.00'	19°29'56"	160.87'	N12°30'16"E
C5	101.57'	525.00'	11°05'04"	101.41'	S08°17'50"W
C6	170.47'	525.00'	18°36'16"	169.72'	S23°08'30"W
C7	61.56'	525.00'	6°43'06"	61.52'	S35°48'11"W
C8	10.82'	11.00'	56°22'07"	10.39'	S10°58'40"W
C9	275.90'	54.00'	292°44'15"	59.82'	N50°50'16"W
C10	10.82'	11.00'	56°22'07"	10.39'	N67°20'48"E
C11	55.70'	475.00'	6°43'06"	55.66'	N35°48'11"E
C12	84.48'	475.00'	10°11'24"	84.37'	N27°20'56"E
C13	160.65'	225.00'	40°54'37"	157.26'	N84°45'32"W
C14	247.00'	175.00'	80°52'05"	227.00'	S34°21'07"W
C15	117.81'	75.00'	90°00'00"	106.07'	S38°55'05"W
C16	10.82'	11.00'	56°22'07"	10.39'	N67°53'51"W
C17	275.90'	54.00'	292°44'15"	59.82'	S06°04'55"E
C18	10.82'	11.00'	56°22'07"	10.39'	N55°44'01"E
C19	196.35'	125.00'	90°00'00"	176.78'	N38°55'05"E
C20	4.33'	125.00'	1°59'01"	4.33'	S42°02'16"W

SEE SHEET 2 FOR  
CERTIFICATIONS

OWNER:  
TN NATIONAL, LLC  
8301 TN NATIONAL DR.  
LOUDON, TN 37774  
ATTN: NICK JAMES  
PHONE: 865-408-9992

SURVEYOR:  
BARGE DESIGN SOLUTIONS  
520 WEST SUMMIT HILL DR.  
KNOXVILLE, TN 37902  
TIM ROBINSON, RLS 2044  
PHONE: 865-934-4142

FINAL PLAT

TAX MAP 23, PART OF PARCEL 1.00  
TENNESSEE NATIONAL POD 29 & 30  
LOUDON COUNTY, TENNESSEE

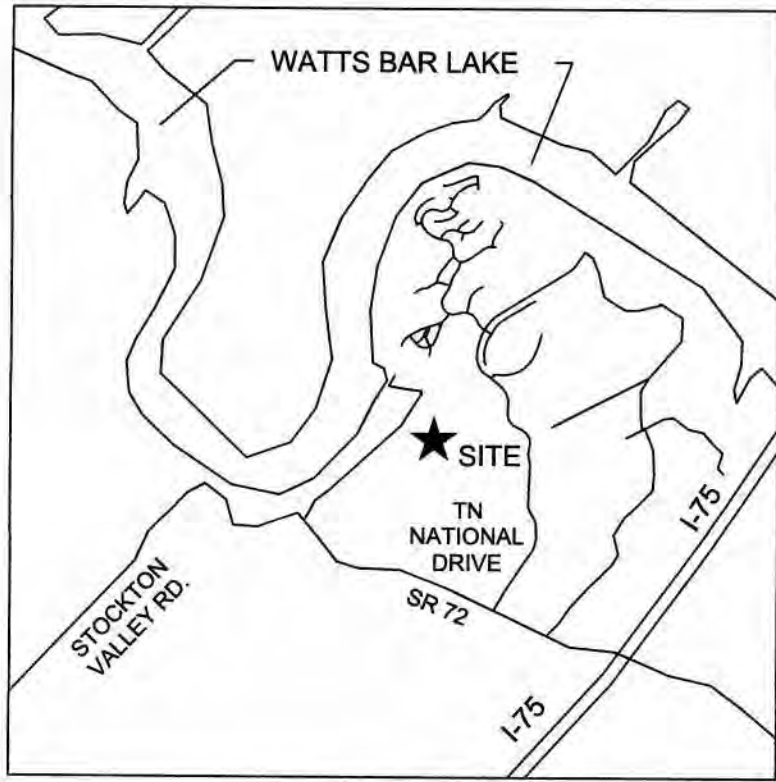
REVISION INFORMATION

REV 0

SHEET 1 OF 2

FILE NO. 35824-23





VICINITY MAP  
NOT TO SCALE

NOTES:

1. TOTAL POD AREA - 48.82 ACRES WITH 29 LOTS, OPEN SPACE AND ROAD RIGHT-OF-WAY.
2. ZONING - PLANNED DEVELOPMENT DISTRICT REFERENCE THE LOUDON ZONING ORDINANCE, SECTION 14-415-NEIGHBORHOOD EDGE-DEVELOPMENT STANDARDS FOR ALL SITE DEVELOPMENT REGULATIONS.
3. SETBACKS ARE 25-FOOT FRONTYARD, 5-FOOT SIDEYARD AND 15-FOOT REARYARD.
4. PROPOSED USE IS RESIDENTIAL, AVERAGE LOT SIZE IS 1.24 ACRES.
5. ROADS WILL BE PRIVATE WITHIN A 50-FOOT RIGHT-OF-WAY AND UTILITY EASEMENT.
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10. UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS OF 12' ALONG ALL ROAD RIGHT-OF-WAYS AND 5' ALONG ALL SIDE AND REAR LOT LINES PLUS OTHER EASEMENTS AS SHOWN.
11. UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS SHALL BE CENTERED ON DRAINAGE & SEWER STRUCTURES AS INSTALLED.
12. PROPOSED ROAD GRADES EXCEED THE 10% MAXIMUM AS DESCRIBED IN THE CITY OF LOUDON SUBDIVISION REGULATIONS FROM STATION 0+56-1+75 AND 5+50-7+35 ON EAGLES CREST COURT; HOWEVER, THE PROPOSED ROAD GRADES COMPLY WITH THE REQUIREMENTS SET FORTH IN THE CITY OF LOUDON DEVELOPMENT MANUAL SECTION 3-102.

Certification of Sewerage Systems

I certify that the sewage disposal system installed, or proposed for installation fully meet requirements of the Tennessee State Health Department, and is approved as shown with all restrictions/conditions as noted.

Date: \_\_\_\_\_  
Local Health Authority

Certificate of Approval of Street Names and Addresses

I hereby certify that (1) the names of existing public roads shown on this subdivision plat are correct, (2) the names of any new road, whether public or private, do not duplicate any existing names and said names are approved, and (3) the property addresses of the lots shown on this plat are in conformance with the E-911 System.

Date: \_\_\_\_\_  
E-911 Authority

Certificate of Streets

I certify that the streets and related appurtenances installed, or proposed for installation, fully meet the specifications established by the Regional Planning Commission.

Date: \_\_\_\_\_  
Road Engineer/Highway Commission

Certificate of Approval for Recording

I certify that this plat has been found to comply with the subdivision requirements for the planning region, with the exception of such variances, if any, which are noted. All improvements have been installed or an acceptable surety posted in order to assure completion. This plat is approved for recording in the office of the County Register.

Date: \_\_\_\_\_  
Secretary, Regional Planning Commission

Certification of Approval of Water Systems

I certify that the water system installed, or proposed for installation fully meet requirements of the Tennessee State Health Department, and is hereby approved as shown.

Date: \_\_\_\_\_  
City or County Health Officer

Certificate of Ownership and Dedication

This is to certify that the owner (s) of the property shown and described hereon hereby adopt this subdivision plat and dedicate all streets, alleys, walks, parks or other public ways and open spaces to public or private uses as noted.

Date: \_\_\_\_\_  
Owner:

Certification of Survey

I hereby certify that this is category \_\_\_\_\_ survey and the ratio of precision of the unadjusted survey is 1:\_\_\_\_\_. This survey has been prepared in accordance with The Standards of Practice for Land Survey in the state of Tennessee.

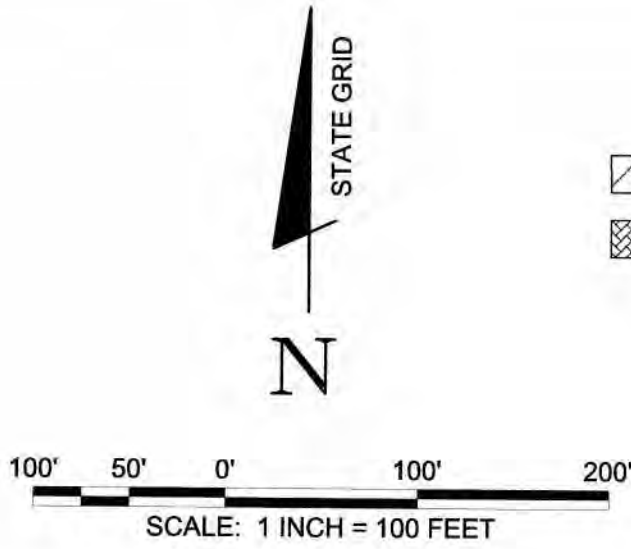
Date: \_\_\_\_\_  
Tenn. Reg. No. \_\_\_\_\_  
Date: 5-28-25

LEGEND

1341 ADDRESS

EASEMENT TO BE ABANDONED AND/OR RELOCATED

NEW 20' DRAINAGE EASEMENT



MATLOCK BEND ROAD

N/F: TN NATIONAL LLC  
D.B. 430, PG. 659

N/F: TN NATIONAL LLC  
D.B. 430, PG. 659

TENNESSEE NATIONAL  
POD 28  
PLAT BOOK \_\_\_\_\_ PG. \_\_\_\_\_

U.S. CELLULAR LEASE  
D.B. T1043, PG. 516

OPEN SPACE  
0.38 AC  
16,763 SF

N/F: LOUDON COUNTY SOLID  
WASTE DISPOSAL COMMISSION  
D.B. 212, PG. 216

LINE TABLE		
Line #	Direction	Length
L1	S14°21'16"E	76.72'
L2	S43°01'46"W	64.60'
L3	S25°41'47"W	50.00'
L4	N64°18'13"W	53.23'
L5	S28°28'33"E	81.86'
L6	S87°14'42"E	50.00'
L7	S77°00'01"E	20.17'
L8	N64°18'13"W	53.23'
L9	S83°55'05"W	10.88'
L10	N83°55'05"E	10.88'
L17	S56°41'57"W	183.77'
L18	OMIT	OMIT

C/L 20' DRAINAGE EASEMENT LINE TABLE		
Line #	Direction	Length
L11	N43°20'30"W	150.00'
L12	N76°52'18"W	166.27'
L13	N54°10'24"W	152.81'
L14	S16°41'49"E	216.31'
L15	S51°14'06"W	25.51'
L16	S35°22'44"W	107.20'

LOT AREAS		
LOT	SQ.FT.	ACRES
1	12,954	0.30
2	17,132	0.39
3	22,178	0.51
4	27,350	0.63
5	32,523	0.75
6	37,695	0.87
7	42,868	0.98
8	47,551	1.09
9	356,803	8.19
10	173,379	3.98
11	150,910	3.46
12	50,172	1.15
13	50,431	1.16
14	50,431	1.16
15	50,431	1.16
16	50,403	1.16

LOT AREAS		
LOT	SQ.FT.	ACRES
17	48,469	1.11
18	45,206	1.04
19	48,405	1.11
20	OMIT	OMIT
21	49,536	1.14
22	84,702	1.94
23	77,675	1.78
24	90,433	2.08
25	67,549	1.55
26	60,680	1.39
27	72,559	1.67
28	73,496	1.69
29	68,138	1.56
30	35,987	0.83

CURVE TABLE					
Curve #	Length	Radius	Delta	Chd. Length	Chd. Bearing
C1	14.33'	11.00'	74°39'02"	13.34'	N78°22'16"E
C2	124.95'	175.00'	40°54'37"	122.32'	S84°45'32"E
C3	176.43'	125.00'	80°52'05"	162.14'	S34°21'07"W
C4	161.65'	475.00'	19°29'56"	160.87'	N12°30'16"E
C5	101.57'	525.00'	11°05'04"	101.41'	S08°17'50"W
C6	170.47'	525.00'	18°36'16"	169.72'	S23°08'30"W
C7	61.56'	525.00'	6°43'06"	61.52'	S35°48'11"W
C8	10.82'	11.00'	56°22'07"	10.39'	S10°58'40"W
C9	275.90'	54.00'	292°44'15"	59.82'	N50°50'16"W
C10	10.82'	11.00'	56°22'07"	10.39'	N67°20'48"E
C11	55.70'	475.00'	6°43'06"	55.66'	N35°48'11"E
C12	84.48'	475.00'	10°11'24"	84.37'	N27°20'56"E
C13	160.85'	225.00'	40°54'37"	157.26'	N84°45'32"W
C14	247.00'	175.00'	80°52'05"	227.00'	S34°21'07"W
C15	117.81'	75.00'	90°00'00"	106.07'	S38°55'05"W
C16	10.82'	11.00'	56°22'07"	10.39'	N67°53'51"W
C17	275.90'	54.00'	292°44'15"	59.82'	S06°04'55"E
C18	10.82'	11.00'	56°22'07"	10.39'	N55°44'01"E
C19	196.35'	125.00'	90°00'00"	176.78'	N38°55'05"E
C20	4.33'	125.00'	1°59'01"	4.33'	S42°02'16"W

**BARGE**  
DESIGN SOLUTIONS



FINAL PLAT

TAX MAP 23, PART OF PARCEL 1.00  
**TENNESSEE NATIONAL POD 29 & 30**  
LOUDON COUNTY, TENNESSEE

REVISION INFORMATION		CHK.	DATE	DESCRIPTION
REV.	DR.	DR.	TDR	ISSUED FOR REVIEW
0				

SHEET 2 OF 2

FILE NO. 35824-23

OWNER:  
TN NATIONAL, LLC  
8301 TN NATIONAL DR.  
LOUDON, TN 37774  
ATTN: NICK JAMES  
PHONE: 865-408-9992

SURVEYOR:  
BARGE DESIGN SOLUTIONS  
520 WEST SUMMIT HILL DR.  
KNOXVILLE, TN 37902  
TIM ROBINSON, RLS 2044  
PHONE: 865-934-4142