

**AGENDA OF BUSINESS**  
**REGULAR MEETING OF THE CITY COUNCIL**  
**CITY OF GROSSE POINTE FARMS**  
**MONDAY, OCTOBER 12, 2020**

The Regular Meeting of the City Council of the City of Grosse Pointe Farms will be held virtually on Monday, October 12, 2020 at 7:00 p.m.

1. Pledge of Allegiance
2. Roll Call
3. Reading and consideration of the Minutes of the Regular City Council Meeting held on September 14, 2020.
4. Presentation by Grosse Pointe Public Library Board President Abigail Ward.
5. Public Hearing to consider a Site Plan Review for 260 Chalfonte Avenue, for the construction of a parking lot addition.
6. Zoning Board of Appeals
  - a. Public Hearing to consider an appeal to build a garage that exceeds one story and 15 feet at 348 Provencal Road.
7. Consent Agenda
  - a. Consideration of the annual SMART Municipal and Community Credit Contract for FY 2021.
  - b. Consideration of a request from the City Controller/Treasurer to approve September 2020 invoices.
  - c. Approval of legal bills.
8. Reports
  - a. Receive the September 2020 Public Safety Report.
9. Other Business.
10. Adjournment.

**DERRICK KOZICKI**  
**ASSISTANT CITY MANAGER & CITY CLERK**

To comply with the Americans with Disabilities Act (ADA), Any citizen requesting accommodation to attend this meeting, and/or to obtain this notice in alternate formats, please contact the ADA coordinator, [dkozicki@grossepointefarms.org](mailto:dkozicki@grossepointefarms.org), at least five business days prior to the meeting. Individuals with hearing or speech-impairments can participate in the meeting by telephone by dialing 7-1-1. Individuals who call will be paired with a Communications Assistant who will require the proper teleconference phone number and meeting ID (see below). To download and learn how to use Zoom visit [www.zoom.us](http://www.zoom.us) and read the attached instructions.

**Topic: City Council Meeting (10/12/2020)**  
**Time: Oct 12, 2020 07:00 PM Eastern Time (US and Canada)**

**Join Zoom Meeting**  
<https://us02web.zoom.us/j/84083542627?pwd=N0g2d1RVbjNSTjdSbWNOVFluV3hydZ09>  
**Meeting ID: 840 8354 2627**  
**Passcode: 327332**

**More options to join via Zoom and how to participate virtually below.**

**CITY OF GROSSE POINTE FARMS  
REGULAR COUNCIL MEETING  
OCTOBER 12, 2020**

PLEASE TAKE NOTICE that the meeting of the City of Grosse Pointe Farms City Council scheduled for October 12, 2020 starting at 7:00 pm will be conducted virtually (online and/or by phone), due to health concerns surrounding Coronavirus/COVID-19 under the Governor of Michigan's Executive Orders.

Public comment will be handled by the "Raise Hand" method as instructed below within Participant Controls.

To comply with the Americans with Disabilities Act (ADA), Any citizen requesting accommodation to attend this meeting, and/or to obtain this notice in alternate formats, please contact the ADA coordinator, [dkozicki@grossepointefarms.org](mailto:dkozicki@grossepointefarms.org), at least five business days prior to the meeting.

**Zoom Instructions for Participants** To join the conference by phone:

1. On your phone, dial the teleconferencing number provided below.
2. Enter the Meeting ID number and password (also provided below) when prompted using your touch- tone (DTMF) keypad.

Before a videoconference:

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. Details, phone numbers, and links to videoconference or conference call is provided below. The details include a link to "Join via computer" as well as phone numbers for a conference call option. It will also include the 11-digit Meeting ID.

To join the videoconference:

2. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
3. You have an opportunity to test your audio at this point by clicking on "Test Computer Audio." Once you are satisfied that your audio works, click on "Join audio by computer."

You may also join a meeting without the link by going to [join.zoom.us](https://join.zoom.us) on any browser and entering the Meeting ID and password provided below.

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number provided below.
2. Enter the Meeting ID number and password (also provided below) when prompted using your touch- tone (DTMF) keypad.

3. If you have already joined the meeting via computer, you will have the option to enter your 2-digit participant ID to be associated with your computer.

Participant controls in the lower left corner of the Zoom screen:



Using the icons in the lower left corner of the Zoom screen, you can:

- Mute/Unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- Invite other participants
- View Participant list – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand during Call to the Public
- Change your screen name that is seen in the participant list and video window
- Share your screen

Somewhere (usually upper right corner on your computer screen) on your Zoom screen you will also see a choice to toggle between “speaker” and “gallery” view. “Speaker view” shows the active speaker. “Gallery view” tiles all of the meeting participants.

Administration is inviting you to a scheduled Zoom meeting.

Topic: City Council Meeting (10/12/2020)

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Join Zoom Meeting

<https://us02web.zoom.us/j/84083542627?pwd=N0g2d1RVbjNSTjdSbWNOVFluV3hydZ09>

Meeting ID: 840 8354 2627

Passcode: 327332

One tap mobile

+16465588656,,84083542627#,,,,,0#,,327332# US (New York)

+13017158592,,84083542627#,,,,,0#,,327332# US (Germantown)

Dial by your location

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 840 8354 2627

Passcode: 327332

CITY OF GROSSE POINTE FARMS CITY COUNCIL  
REGULAR MEETING MINUTES  
SEPTEMBER 14, 2020 at 7:00 P.M.

A regularly scheduled meeting of the City Council for the City of Grosse Pointe Farms was held virtually and called to order at 7:00 p.m. on Monday, September 14, 2020, by Mayor Louis Theros.

Present: Mayor Louis Theros, Mayor Pro Tem Joe Ricci, Councilmembers John J. Gillooly, James C. Farquhar, Beth Konrad-Wilberding, Neil Sroka and Lev Wood.

Absent: None.

Also Present: Shane Reeside, City Manager, Derrick Kozicki, Assistant City Manager & City Clerk ; Debra Peck-Lichtenberg, City Controller & Treasurer; Daniel Jensen, Director of Public Safety; John Hutchins, Deputy Director of Public Safety; Matthew Baka, Director of Public Service; and William T. Burgess, City Attorney.

Mayor Theros led the Pledge of Allegiance.

**Council considered the Minutes of the Regular City Council Meeting held on August 10, 2020.**

Mayor Theros motioned to approve the Minutes of the Regular City Council Meeting held on August 10, 2020. **Motion carried.**

**Council held a public hearing to consider a dedicated road millage ballot proposal.**

Council heard a brief presentation from City Manager Reeside and City Controller/Treasurer Peck regarding the road millage ballot proposal.

Mayor Theros opened public comment at 7:05 p.m.

Andy Dervan, 306 Fisher Road stated he is not in favor of the road millage ballot language as proposed.

Mayor Theros closed public comment at 7:10 p.m.

Wood motioned, Gillooly seconded to place a dedicated road millage proposal on the November 3, 2020 ballot and to approve the language for a dedicated road millage ballot proposal (2.0 mills for a duration of 5-years) as written in Debra Lichtenberg's memo dated July 30, 2020.

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood. NO: None. ABSENT: None. **Motion carried.**

**Council held a Public Hearing to consider an appeal regarding the denial of a fence permit at 466 Calvin Avenue.**

Public Services Director Baka provided Council a brief explanation of the denial of the fence permit at 466 Calvin Avenue.

The applicant Andrea Joy of 466 Calvin Avenue was present to answer questions.



Wood asked the applicant if the new fence will located on their property and if the existing white picket fence would remain in its same location.

The applicant stated that the new fence would be located on their property and the neighbor's existing white picket fence will remain in the exact same location.

Mayor Theros opened public comment at 7:42 p.m.

No additional written or public comment was received.

Mayor Theros closed public comment at 7:43 p.m.

Sroka motioned, Ricci seconded to grant the applicant's request for a variance for a 6 foot fence permit pursuant to Section 6 of the fence ordinance (which allows City Council to reduce the requirements of the ordinance which would typically be 4 foot height limit on a fence) for the reasons stated at both the August and September public hearings, describing the need to reduce an unnecessary hardship.

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood. NO: None. ABSENT: None. **Motion carried.**

**Council held a Public Hearing to consider a Site Plan Review for 260 Chalfonte Avenue, for the construction of a parking lot addition.**

The applicant, Grosse Pointe Public School, was represented by Brownell Middle School Principal Rodger Hunwick, Joe Cangemi, Assoc. AIA/Project Manager at Ehresman Architects and Marc Chamberlin, AIA. Senior Architect at Ehresman Architects.

Mr. Cangemi gave a brief presentation regarding the proposed site plan for the parking lot addition at 260 Chalfonte Avenue. The applicant stated the parking lot is needed to increase parking capacity and to ensure that visitors enter the school in a secure manner.

Council discussed the proposed site plan with the applicant and alternative solutions to the parking and security issues.

Mayor Theros opened public comment at 8:35 p.m.

Andy Dervan, 306 Fisher Road, stated he was not in favor of the site plan as proposed.

Tom Rahl, 453 Touraine, stated he was not in favor of the site plan as proposed and requested an alternative site be determined for an additional parking lot. Specifically, he stated the parking lot should be placed in the court yard.

Mayor Theros opened public comment at 8:45 p.m.

Gillooly motioned, Konrad-Wilberding seconded to table the consideration of the Site Plan Review for 260 Chalfonte Avenue, for the construction of a parking lot addition until the October 12, 2020 Council Meeting.

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood. NO: None. ABSENT: None. **Motion carried.**

**Farquhar motioned, Ricci seconded to temporarily adjourn City Council and reconvene as the Zoning Board of Appeals.**

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood.  
NO: None. ABSENT: None. **Motion carried.**

**The Zoning Board of Appeals held a Public Hearing to consider a dimensional variance at 122 Muir Road to allow a covered porch to extend into the required front setback.**

Jim Budziak, applicant, gave a brief presentation regarding his variance request. He stated that he wanted an existing porch to be covered which would require the covered porch to come out 4 foot and 1 inch into the existing legal nonconforming front yard setback.

President Theros opened public comment at 9:00 p.m.

Maria Ward, property owner of 120 Muir Road, stated she was not in favor of granting the dimensional variance.

President Theros closed public comment at 9:05 p.m.

Wood motioned, Ricci seconded that the appeal of FPJ Investments be granted thereby authorizing issuance of a building permit to construct a new covered porch roof in accordance with the submitted plans dated August 7, 2020.

Additional information has been provided to the Board in a memo from Matt Baka dated September 4, 2020 and a review letter from McKenna dated August 31, 2020. The Board hereby grants a dimensional variance to allow for a new covered porch roof that will project four feet, one-inch into the existing legal nonconforming front-yard setback.

Such variance is granted on the basis that:

1. Strict application of the Zoning Ordinance would result in a practical difficulty for the user of the property due to the lack of viable alternatives that would conform with the precise restrictions of the Ordinance
2. The proposed project is in harmony with the predominant type of building in the district
3. The variance will result in substantial justice being done because the hardship suffered if a variance is not granted would be significant – the owner would have no way to safely enter and exit the building (free of ice, snow and rain) and there are no viable alternatives that would obviate the hardship
4. The practical difficulty is not self-created.
5. The variance will not substantially interfere with or injure the rights of others.

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood.  
NO: None. ABSENT: None. **Motion carried.**

**The Zoning Board of Appeals held a Public Hearing to consider a railing variance at 65 Mapleton Road.**

Jennifer Riley, property owner of 65 Mapleton Road, gave a brief presentation explaining why she is requesting a railing variance for her rental property at 65 Mapleton Road.

Wood stated he was contacted by the applicant because he is on the ordinance committee and conducted a site visit.

Wood stated that he is not in favor of granting the railing variance at 65 Mapleton Road.

Gillooly stated he is not in favor of granting the railing variance at 65 Mapleton Road.

The applicant decided to withdraw her request for a railing variance at 65 Mapleton Road.

**Farquhar motioned, Ricci seconded to temporarily adjourn the Zoning Board of Appeals and reconvene as City Council.**

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood.  
NO: None. ABSENT: None. **Motion carried.**

**Council considered the Consent Agenda.**

- a) Consideration of a request to appoint Mary Ellen Brayton to the Election Commission for a partial term ending January 2021.
- b) Consideration of a request from the Public Safety Department to purchase replacement bullet proof vests.
- c) Consideration of a request from the City Controller/Treasurer to approve August 2020 invoices.

Konrad-Wilber motioned, Farquhar seconded to approve the Consent Agenda.

ROLL CALL VOTE: YES: Theros, Farquhar, Gillooly, Konrad-Wilberding, Ricci, Sroka and Wood.  
NO: None. ABSENT: None. **Motion carried.**

**Council received the August 2020 Public Safety Report.**

City Manager Reeside informed Council that the Grosse Pointe Farms Foundation would be meeting on September 15, 2020 at 5:30 p.m. via Zoom.

City Manager Reeside informed Council that there would be a presentation regarding the Mack Avenue Improvement Plan on September 15, 2020 at 6:30 p.m. via Zoom.

Public Services Director Matt Baka provided Council a brief update regarding the Lake Shore Road repaving project.

Assistant City Manager and City Clerk Derrick Kozicki gave a brief presentation regarding the new website.

Council heard public comment under other business.

Mayor Theros adjourned the regular meeting at 9:50 p.m.

X

Derrick Kozicki  
Assistant City Manager and City Clerk

X

Louis Theros  
Mayor

**MEMORANDUM**

Date: October 2, 2020

To: Derrick Kozicki, City Clerk/Assistant City Manager

From: Matthew Baka, Director of Public Services

Subject: Chalfonte Ave., Final Site Plan Review

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Please be advised that an application and plans for final site plan review has been received for the construction of a new parking lot in the Commercial District (B-2), located at 260 Chalfonte. At the September 14, 2020 Council meeting, the plan was reviewed and discussed with the application. As a result of this discussion the Council tabled the review until the October meeting. The primary topics of discussion were related to the number of spaces necessary, the landscaping/screening, and the storm water management. The applicant has revised the plans based on these comments. The plan, as currently proposed, includes the construction of a new a 13 space parking lot (reduced from 16) in the front open space along Chalfonte with new lighting and burning bushes as screening material. The construction of the parking area will require the removal of one large tree (reduced from 4).

This plan has been reviewed by the City's planning consultant, McKenna Associates for architectural harmony and Zoning Ordinance compliance (please see the attached letter of recommendation).



# MCKENNA

October 5, 2020

Mr. Matthew Baka, AICP  
Public Services Director  
City of Grosse Pointe Farms  
17147 Maumee  
Grosse Pointe, MI 48230

## **SUBJECT:**

**260 CHALFONTE AVENUE BROWNELL MS PARKING LOT ADDITION REVISED SUBMISSION**

## **SITE PLAN APPLICATION INFORMATION**

- Owner: Grosse Pointe Public Schools, Brownell Middle School
- Address: 260 Chalfonte Avenue, east side of road just north of Calvin Avenue intersection
- Zoning District: CS Community Services District.

## **BACKGROUND**

At the September 14, 2020 City Council meeting, the school district presented a proposal to add 16 additional parking spaces, two (2) of which are barrier free, landscaping, and five (5) new building mounted light fixtures to support an improved school safety plan. The school district requested the City provide a courtesy review of the development plans, submitted on August 12, 2020. After discussion, the matter was tabled for further review and discussion at the October City Council meeting. Outstanding issues requested to be addressed at the next meeting included the number of spots necessary for visitor parking, a discussion of the stormwater retention plan, consideration of the proposal's impact on the site's existing mature trees and a reconsideration of the shrub species employed as landscape screening.

On October 1<sup>st</sup>, 2020 the school district submitted a revised site plan proposal that addresses some of these concerns. This proposal reduces the proposed parking space count to 13, one (1) of which is barrier free. The spots are reconfigured to save three (3) existing trees of the four (4) that were to be removed under the previous proposal. The submission still proposes deciduous screening for the landscape. We understand that the school district is concerned about maintenance of the screening and believes the deciduous species identified is hardier than evergreen alternatives and more tolerant to salt exposure resulting from snow removal on the parking lot, and thus would require less maintenance and replacement.

### **HEADQUARTERS**

235 East Main Street  
Suite 105  
Northville, Michigan 48167

☎ 248.596.0920  
✉ 248.596.0930  
[MCKA.COM](http://MCKA.COM)

**Communities for real life.**



## Landscaping

The school district proposes 65 dwarf burning bushes to screen the parking area. Understanding the concerns about replacement and maintenance, we still believe that evergreen landscaping provides a more aesthetically pleasing and consistent screen throughout the year. There are evergreen shrub species (e.g., yew, boxwood, inkberry holly, arborvitae, keteleeri juniper) that can successfully be used as parking screening materials and are appropriately hardy. The design and detailing of the landscape bed, as well as the snow removal strategy, can and should address the potential issue of salt contamination. One strategy to protect the shrubs and accommodate snow storage is to enlarge the landscape bed and shift the line of the proposed shrubs west (toward the sidewalk).

## Exterior Lighting

The school district proposes five (5) new exterior light fixtures on the west side of the building, consistent with the previous submission. We maintain our recommendation that the proposed shielded fixtures are aimed to avoid casting glare towards Chalfont Ave and neighboring homes.

## RECOMMENDATION

Based on the above review, we recommend that City Council ask the school district to incorporate the following suggestions into the new parking lot development at Brownell Middle School:

1. Provide 365-day screening for the new parking area by using evergreen shrubs instead of deciduous burning bushes and designing the landscape bed to accommodate snow removal and protect the screening material from potential hazards caused by salt exposure.
2. Aim the proposed shielded exterior lighting fixtures to avoid casting glare towards Chalfonte Ave. and neighboring homes.

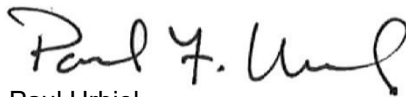
We look forward to discussing these comments with you at the October 12 City Council meeting.

Respectfully submitted,

**MCKENNA**



John Jackson  
President



Paul Urbiel  
Senior Principal Planner



| <b>LEGEND</b> |  |
|---------------|--|
|               | MANHOLE  |
|               | CATCH BASIN  |
|               | SEWER CLEAN OUT  |
|               | GAS METER  |
|               | GAS SHUT OFF VALVE   |
|               | VALVE BOX  |
|               | GATE VALVE & WELL  |
|               | WATER SHUT OFF VALVE   |
|               | FIRE HYDRANT   |
|               | SPRINKLER VALVE BOX  |
|               | LAWN SPRINKLER HEAD  |
|               | HAND HOLE  |
|               | ELECTRIC RISER OR METER  |
|               | TELEPHONE RISER  |
|               | CABLE TV RISER   |
|               | AIR CONDITION UNIT   |
|               | UTILITY POLE   |
|               | UTILITY POLE W/ TRANSFORMER  |
|               | UTILITY POLE W/ LAMP EXTENSION<br>(ARROW INDICATES DIRECTION OF ARM) |
|               | LIGHT POLE   |
|               | TRAFFIC SIGNAL   |
|               | SIGNAL W/ TRAFFIC SIGNAL (OVER ROAD)                                 |
|               | CITY WIRE  |
|               | CITY POLE  |
|               | GROUND LEVEL / DECORATIVE LIGHTING<br>FLAG POLE                      |
|               | PHONE OR PHONE BOOTH   |
|               | METAL OR CONC. POST  |
|               | MAILBOX  |
|               | SIGN   |
|               | WATER FOUNTAIN   |
|               | PARKING METER  |
|               | BILLBOARD OR LARGE SIGN  |
|               | BASKETBALL HOOP  |
|               | BOULDER  |
|               | STATUE OR SCULPTURE  |
|               | BENCH  |
|               | STUMP  |
|               | CONIFEROUS TREE  |
|               | DECIDUOUS TREE   |
|               | DECIDUOUS SHRUB  |
|               | CONIFEROUS SHRUB   |
|               | SECTION CORNER   |
|               | TRAVERSE POINT   |
|               | STRUCTURE NUMBER   |
|               | SDA POINT NO.  |
|               | SPOT ELEVATION   |
|               | TOP OF CURB ELEVATION  |
|               | GUTTER ELEVATION   |
|               | TOP OF PAVEMENT ELEVATION  |
|               | EDGE OF METAL ELEVATION  |
|               | TOP OF WALK ELEVATION  |
|               | TOP OF WALL ELEVATION  |
|               | BOTTOM OF WALL ELEVATION   |
|               | GROUND ELEVATION   |
|               | UNDERGROUND  |
|               | FIBER OPTIC  |
|               | CONCRETE   |
|               | ASPHALT  |
|               | FINISH FLOOR ELEVATION   |
|               | DOOR LEDGE ELEVATION   |
|               | FOUND IRON   |
|               | FOUND MOUND  |
|               | FOUND P.K. NAIL  |
|               | SET IRON W/SDA CAP   |
|               | SET P.K. NAIL  |
|               | SET P.K. NAIL W/SDA TAG  |
|               | SET MAGNETIC NAIL  |
|               | SET MAGNETIC NAIL W/SDA TAG  |
|               | MEASURED   |
|               | RECORD   |
|               | CALCULATED   |
|               | INVERT ELEVATION   |
|               | CORRODED METAL PIPE  |
|               | CG   |
|               | SN - SANITARY SEWER (SAN)  |
|               | ST - STORM SEWER (STM)   |
|               | WM - WATERMAIN (WM)  |
|               | OH - OVERHEAD WIRE   |
|               | STE - STEAM LINE   |
|               | O - OIL LINE   |
|               | E - UG ELECTRIC (ELEC.)  |
|               | P - UG PHONE (PH)  |
|               | CB - UG CABLE (CB)   |
|               | CL - GROUND LINK FENCE (CL)  |
|               | WF - WOODEN WIRE FENCE   |
|               | WW - WOODEN WIRE FENCE (WW)  |
|               | GL - GUARD RAIL  |
|               | EB - EDGE OF BRUSH/WOODS   |
|               | CD - CENTERLINE OF DITCH   |
|               | CV - CULVERT   |
|               | BS - BANK/TOP OF SLOPE   |
|               | MC - MAJOR CONTOUR   |
|               | MNC - MINOR CONTOUR  |
|               | BL - BOUNDARY LINES  |
|               | RL - ROW LINES   |
|               | SL - SECTION LINES   |
|               | PL - PROPERTY LINES  |
|               | AS - ASPHALT   |
|               | CO - CONCRETE  |
|               | GR - GRAVEL  |
|               | BR - BRICK / PAVERS  |
|               | WA - WATER   |

| THE STRUCTURE TABLE ON THIS DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE MANY TIMES AMBIGUOUS. IT WILL BE UP TO THE DESIGN ENGINEER TO DETERMINE THE PROPER PIPE SIZES AND CONNECTIONS. OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SONAR, ETC. MAY BE USED TO DETERMINE THE PROPER PIPE SIZES AND CONNECTIONS. |                                 |        |      |       |        |            |         |
|---|---------------------------------|--------|------|-------|--------|------------|---------|
| #   | TYPE                            | RIM    | SIZE | MTL   | INVERT | DIRECTION  | CONNECT |
| 1   | STORM MANHOLE                   | 581.42 | 36"  | RCP   | 565.80 | NNE 22°    | 10      |
|   |                                 |        | 36"  | RCP   | 565.85 | SSW 202°   |         |
|   |                                 |        | 18"  | PVC   | 574.34 | WNW 292°   |         |
|   | TOP / WATER                     | 566.02 |      |       |        |            |         |
|   | BOTTOM                          | 565.92 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | NORTH  |      |       |        |            |         |
| 2   | GATE VALVE & WELL               | 581.82 | 12"  | METAL | 576.57 | WNW 292°   |         |
|   | EAST AND WEST                   |        |      |       |        |            |         |
|   | TOP / WATER                     | 579.82 |      |       |        |            |         |
|   | BOTTOM                          | 574.82 |      |       |        |            |         |
| 3   | STORM MANHOLE                   | 581.93 | 10"  | CLAY  | 577.29 | SE 135°    |         |
|   |                                 |        | 48"  | RCP   | 562.73 | NNE 22°    | 14      |
|   |                                 |        | 48"  |       | 563.03 | SSW 202°   |         |
|   | TOP / WATER                     | 563.03 |      |       |        |            |         |
|   | BOTTOM                          | 562.83 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | NORTH  |      |       |        |            |         |
| 4   | STORM MANHOLE                   | 582.46 | 24"  | RCP   | 565.40 | ESE 115°   | 13      |
|   |                                 |        | 24"  | RCP   | 565.28 | WNW 292°   |         |
|   | BOTTOM                          | 565.35 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | WEST   |      |       |        |            |         |
| 5   | GATE VALVE & WELL               | 581.64 | 10"  | METAL | 575.16 | WSW 247°   |         |
|   | TOP / WATER                     | 580.94 |      |       |        |            |         |
|   | BOTTOM                          | 574.24 |      |       |        |            |         |
| 6   | SQUARE CATCH BASIN              | 580.93 | 8"   | PVC   | 577.69 | WNW 292°   | 12      |
|   | TOP / WATER                     | 577.73 |      |       |        |            |         |
|   | BOTTOM                          | 574.13 |      |       |        |            |         |
| 7   | STORM MANHOLE                   | 581.44 |      |       |        |            |         |
|   | COULD NOT VISIBLY SEE ANY PIPES |        |      |       |        |            |         |
|   | TOP / WATER                     | 568.44 |      |       |        |            |         |
|   | BOTTOM                          | 565.94 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | SOUTH  |      |       |        |            |         |
| 8   | SQUARE CATCH BASIN              | 581.14 | 12"  | RCP   | 577.62 | WNW 292°   | 9       |
|   | TOP / WATER                     | 577.94 |      |       |        |            |         |
|   | BOTTOM                          | 576.54 |      |       |        |            |         |
| 9   | SQUARE CATCH BASIN              | 581.11 | 12"  | RCP   | 577.18 | ENE 67°    | 8       |
|   |                                 |        | 12"  | RCP   | 574.99 | WSW 247°   | 11      |
|   | TOP / WATER                     | 575.71 |      |       |        |            |         |
|   | BOTTOM                          | 573.91 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | WEST   |      |       |        |            |         |
| 10  | STORM MANHOLE                   | 580.95 | 18"  | PVC   | 574.59 | WNW 292°   |         |
|   |                                 |        | 36"  | RCP   | 564.83 | SSW 202°   | 1       |
|   |                                 |        | 36"  | RCP   | 564.69 | NNE 22°    | 23      |
|   | TOP / WATER                     | 565.05 |      |       |        |            |         |
|   | BOTTOM                          | 564.85 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | NORTH  |      |       |        |            |         |
| 11  | STORM MANHOLE                   | 581.20 | 12"  | RCP   | 575.45 | ENE 67°    | 9       |
|   | TOP / WATER                     | 562.70 |      |       |        |            |         |
|   | BOTTOM                          | 562.30 |      |       |        |            |         |
| 12  | SQUARE CATCH BASIN              | 580.70 | 12"  | RCP   | 577.15 | ENE 67°    | 6       |
|   |                                 |        | 12"  | RCP   | 576.09 | SSW 202°   |         |
|   | TOP / WATER                     | 576.10 |      |       |        |            |         |
|   | BOTTOM                          | 573.30 |      |       |        |            |         |
| 13  | STORM MANHOLE                   | 583.53 | 10"  |       | 566.10 | ENE 67°    |         |
|   |                                 |        | 24"  |       | 565.77 | WSW 247°   | 4       |
|   | BOTTOM                          | 565.93 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | WEST   |      |       |        |            |         |
| 14  | STORM MANHOLE                   | 581.82 | 12"  | RCP   | 573.10 | NNE 22°    |         |
|   |                                 |        | 48"  | RCP   | 561.07 | NORTH 0°   | 15      |
|   |                                 |        | 48"  | RCP   | 561.17 | SOUTH 180° | 3       |
|   | TOP / WATER                     | 561.42 |      |       |        |            |         |
|   | BOTTOM                          | 561.12 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | NORTH  |      |       |        |            |         |
| 15  | STORM MANHOLE                   | 582.32 | 48"  | RCP   | 560.57 | NORTH 0°   | 20      |
|   |                                 |        | 48"  | RCP   | 560.68 | SOUTH 180° | 14      |
|   | TOP / WATER                     | 561.12 |      |       |        |            |         |
|   | BOTTOM                          | 560.62 |      |       |        |            |         |
|   | FLOW DIRECTION:                 | NORTH  |      |       |        |            |         |

REMOVE ASPHALT PAVEMENT TO FULL DEPTH (ASPHALT DEPTH APPROXIMATELY 4" OR LESS). AGGREGATE BASE TO REMAIN. SAWCUT FULL DEPTH WHERE NECESSARY. BASE TO BE PLACED ACCORDING TO EXISTING PAVEMENT. REMOVAL LIMITS TO BE FIELD VERIFIED BY ENGINEER.

1

REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ACCORDING TO EXISTING PAVEMENT. REMOVAL LIMITS TO BE FIELD VERIFIED BY ENGINEER.

2

CLEAR AND GRUB TO THE LIMITS SHOWN, INCLUDING REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, STONES, GRASS, BRUSH, SHRUBS, GRASS, AND TREES NOT INDICATED FOR PROTECTION. INCLUDING ROOTS, STRIP TOPSOIL, AND STOCKPILE ON SITE IN DESIGNATED LOCATION.

3

REMOVE EXISTING TREE (INCLUDING STUMPS AND ROOTS).

4

UNLESS OTHERWISE SPECIFIED, PROTECT EXISTING UTILITIES AND UTILITY STRUCTURES TO REMAIN.

5

EXISTING STORAGE AND MALBORES WITHIN THE CLEARING LIMITS ARE TO BE REMOVED AND SALVAGED. STAGE IN ON SITE LOCATION AS SPECIFIED BY OWNER.

6

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

CONTRACTOR TO PROVIDE UNIT WEIGHTS (120 PCF) IN THE BID DOCUMENTS FOR UNDERCUT AND REPLACEMENT OF POOR SOILS. UNIT PRICE TO INCLUDE DEPTH OF POOR SOILS AND IMPORT AND PLACEMENT OF CLASS II ENGINEERED FILL, 4" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

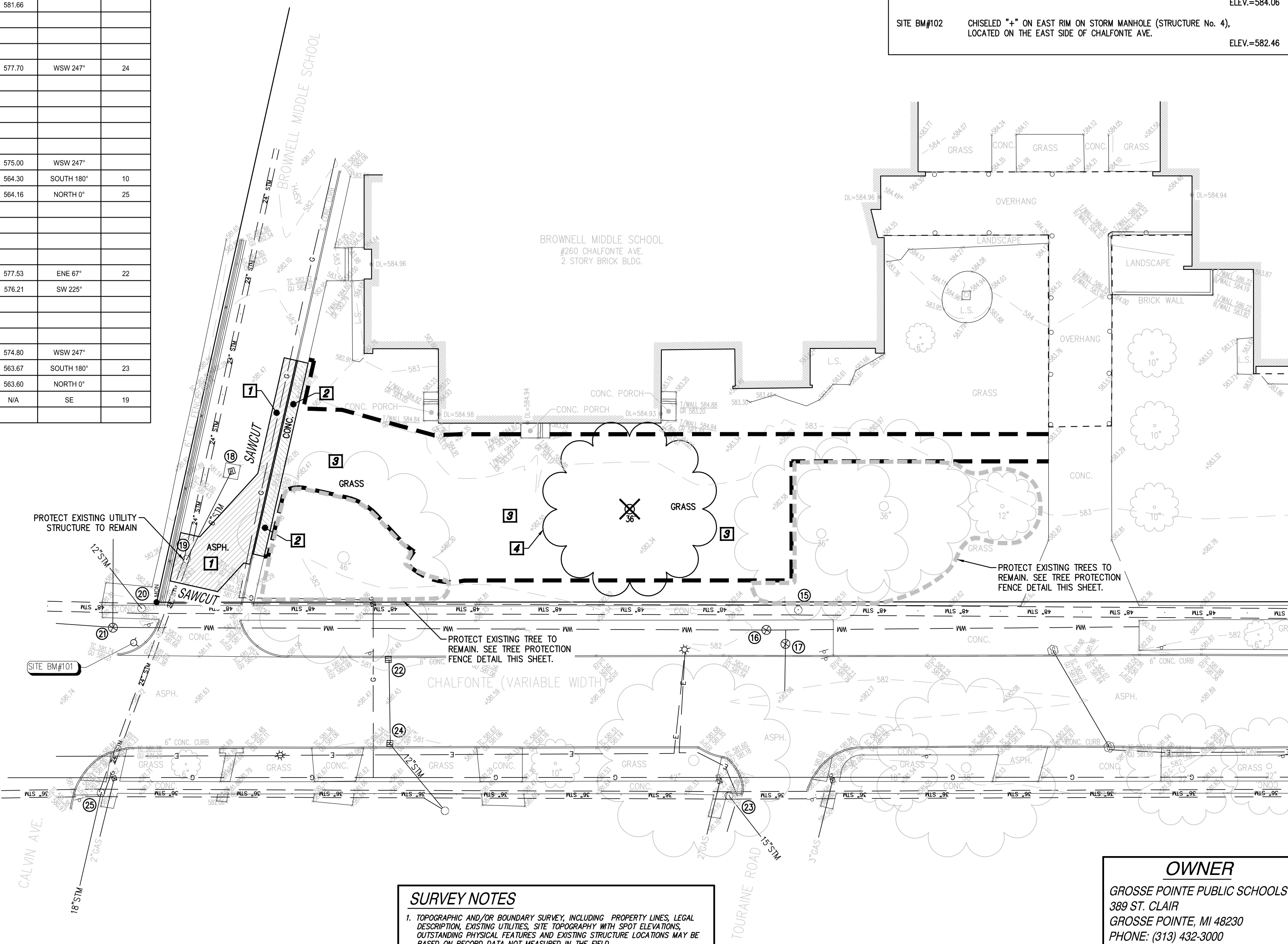
EXISTING SUPPORTED SLABS AT BUILDING ENTRY/DOORS TO REMAIN, UNLESS OTHERWISE DIRECTED. CONTRACTOR TO VERIFY LIMITS OF EXISTING SUPPORTED SLAB AND REMOVE ADJACENT WALKS AS SHOWN ON PLANS.

CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.



| UTILITY PROVIDER     | MISS-DIG RESULTS | DATE      | CONTACT          | CONTACT #    | CONTACT EMAIL                 |
|----------------------|------------------|-----------|------------------|--------------|-------------------------------|
| ATT                  | RECEIVED         | 4/27/2020 | LINDA DENNISUK   | 248-456-8256 | ld2154@att.com                |
| COMCAST              | RECEIVED         | 5/5/2020  | CRAIG PUDAS      | 248-809-2715 | CRAIG_PUDAS@CABLE.COMCAST.COM |
| DETROIT EDISON       | RECEIVED         | 5/19/2020 | SARA A. KIPP     | 313-235-5632 | Design_MissD@DETEnergy.com    |
| DTE GAS DISTRIBUTION | RECEIVED         | 4/30/2020 | BARBARA SAUNDERS | 313-235-5111 | SAUNDERSB@DTEENERGY.COM       |

|  |  |  |              |
|--|--|--|--------------|
|  | DATUM: GPS-DERIVED NAVD'88<br>SITE BM#100     ARROW ON HYDRANT, LOCATED ON THE NORTHWEST CORNER OF MANOR STREET AND CHALFONTE AVE. |  | ELEV.=584.49 |
|  | SITE BM#101     ARROW ON HYDRANT, LOCATED ON THE NORTHEAST CORNER OF CHALFONTE AVE. AND BROWELL MIDDLE SCHOOL DRIVE.               |  | ELEV.=584.06 |
|  | SITE BM#102     CHISELED "X" ON EAST RIM ON STORM MANHOLE (STRUCTURE No. 4), LOCATED ON THE EAST SIDE OF CHALFONTE AVE.            |  | ELEV.=582.46 |



1. TOPOGRAPHIC AND/OR BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS MAY BE BASED ON RECORD DATA NOT MEASURED IN THE FIELD.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION SHOWN ON THIS SURVEY AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.
4. CONTRACTOR SHALL CONTACT MISS D (811) THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR STAKING OF UTILITIES.

C1.1 - TOPOGRAPHICAL SURVEY AND DEMOLITION PLAN  
C1.2 - UTILITY AND GRADING PLAN  
C1.3 - PAVING AND LAYOUT PLAN

**OWNER**  
GROSSE POINTE PUBLIC SCHOOLS  
389 ST. CLAIR  
GROSSE POINTE, MI 48230  
PHONE: (313) 432-3000

 **3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG.  
1-800-482-7171**  
For free location of public utility lines

| ISSUE DATE | ISSUED FOR         |
|------------|--------------------|
| 07/20/2020 | DESIGN DEVELOPMENT |
| 10/12/2020 | SITE PLAN REVIEW   |
|            |                    |
|            |                    |
|            |                    |
|            |                    |
|            |                    |
|            |                    |
|            |                    |
| DRAWN      | JS                 |
| CHECKED    | JS                 |
| APPROVED   | TS                 |



**EHRESMAN**  
ARCHITECTS

803 W. Big Beaver Road, Suite 350, Troy, MI 48084 | 248.244.9710  
ehresmanarchitects.com



236 MILL STREET  
ROCHESTER, MI  
48307  
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(800) 598-1600

# PROJECT

## GROSSE POINTE PUBLIC SCHOOLS BROWNELL MS RENOVATIONS

GROSSE POINTE FARMS  
MICHIGAN

SHEET

## Topographical Survey and Demolition Plan

PROJECT NUMBER

2019-030  
SD NP20071

SHEET NUMBER

C1.1

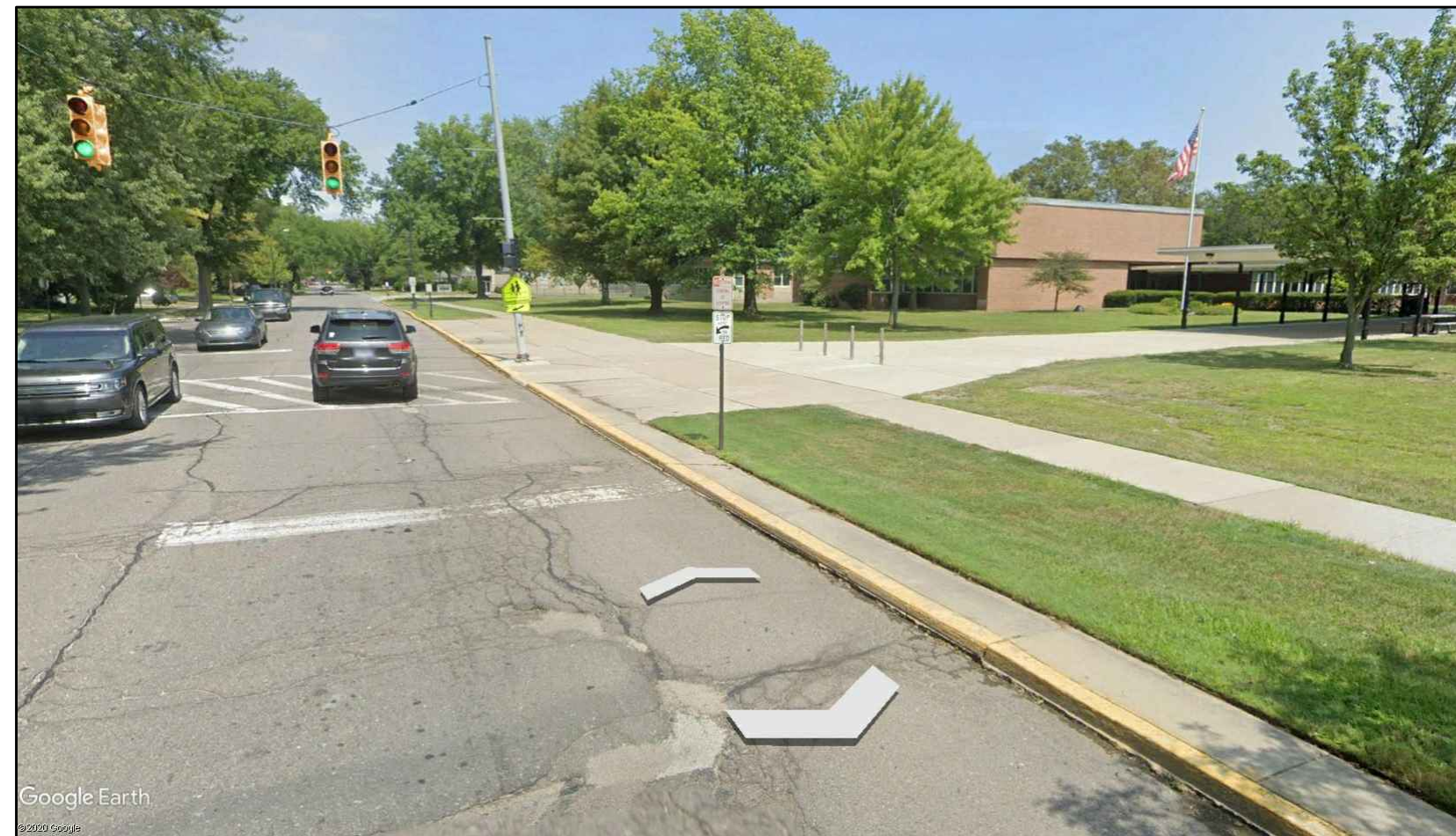




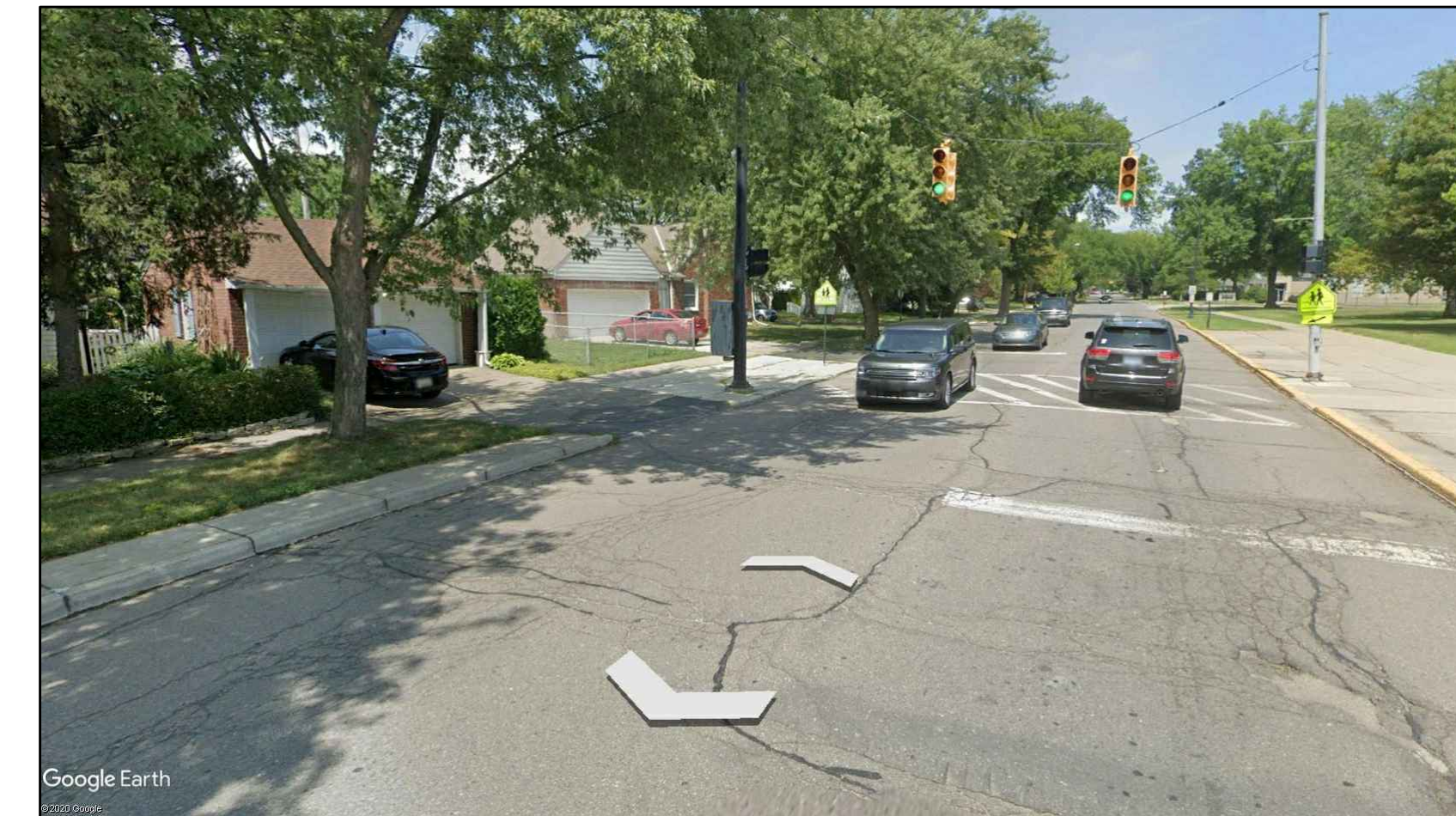








4 Image 3 - Looking North East  
11



5  
11

Image 4 - Looking North

| ISSUE DATE | ISSUED FOR       |
|------------|------------------|
| 09/14/2020 | Site Plan Review |
| 10/12/20   | Site Plan Review |
|            |                  |
|            |                  |
|            |                  |
|            |                  |
|            |                  |
|            |                  |
|            |                  |
|            |                  |
| DRAWN      |                  |
| CHECKED    |                  |
| APPROVED   |                  |



3 Image 2 - Looking South  
11



2 Image 1 - Looking South East  
11



1 Brownell Aerial



PROJECT

GROSSE POINTE  
PUBLIC SCHOOLS  
BROWNELL MS  
RENOVATIONS

GROSSE POINTE FARMS  
MICHIGAN

SHEET


PROJECT NUMBER  
2019-030

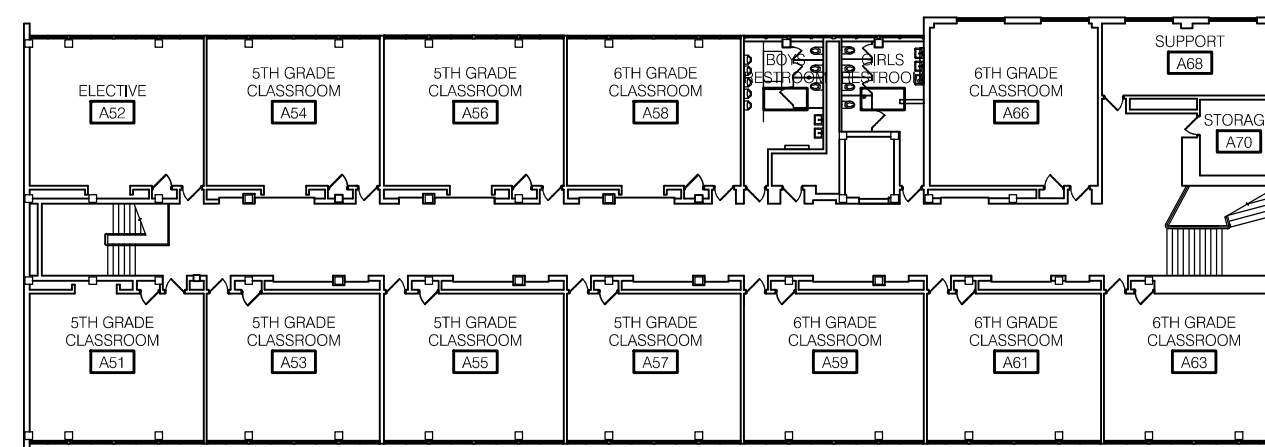
SHEET NUMBER



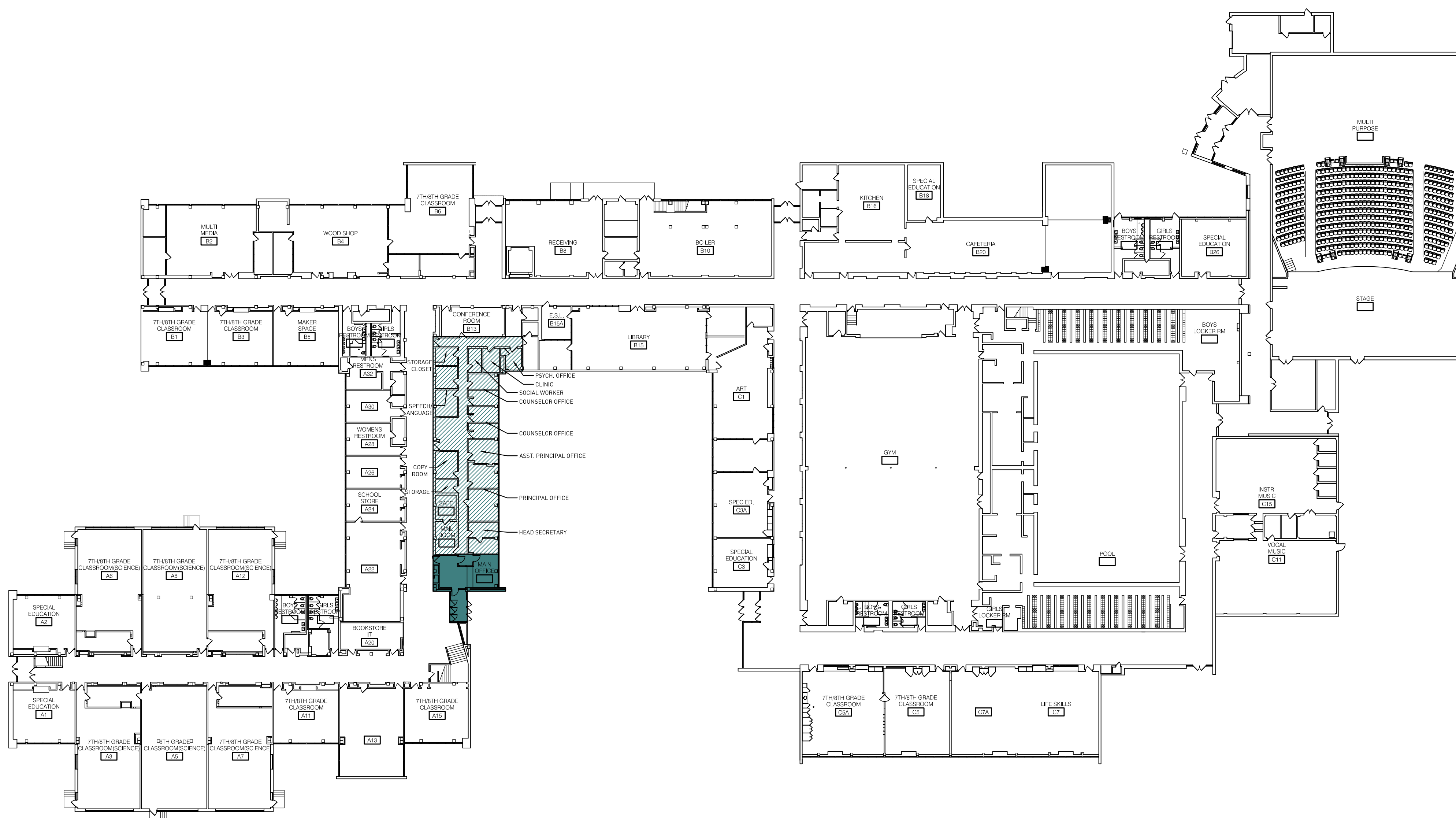




3,150 SF  EXISTING OFFICE



2 Second Floor  
SE5 Scale: 1/32"=1'-0"



1 First Floor  
SE5 Scale: 1/32"=1'-0"

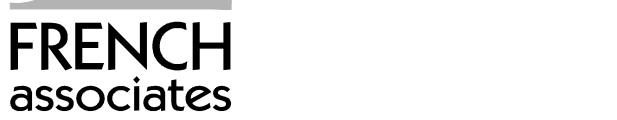


| ISSUE DATE | ISSUED FOR                    |
|------------|-------------------------------|
| 04/28/20   | Schematic Design Package      |
| 09/24/20   | Owner Schematic Design Review |
| 10/12/20   | Site Plan Review              |
|            |                               |
|            |                               |
|            |                               |
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|            |                               |
|            |                               |
|            |                               |
|            |                               |
| DRAWN      |                               |
| CHECKED    |                               |
| APPROVED   |                               |

G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.

G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.

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## PPSS

Grosse Pointe Farms,  
Michigan

## Schematic Design

## 100

SHEET NUMBER

## 2520

## **MEMORANDUM**

Date: October 2, 2020

To: Derrick Kozicki–Assistant City Manager/City Clerk

From: Matthew Baka – Director of Public Services

Subject: 348 Provencal – Height variance, accessory structure

---

### **Executive Summary**

The owner of property located at 348 Provencal is in the process of renovating the existing home on the site, which is in the R-1AAA Dwelling District. The applicant would like to construct a new two-story garage/accessory structure. As proposed, the structure would be 27 ft tall with a maximum of 15 feet permitted per the Zoning Ordinance. This proposed structure does not comply with the regulations of the Zoning Ordinance. Accordingly, they are now requesting approval of a height variance to allow for the second story to be constructed.

The second story of the structure is proposed to be utilized as a residential unit for a full-time nanny. Section 201 (1)(a) of the ordinance permits residential accommodations for servants or caretakers. However, the rental of a “carriage house” to a separate individual or family would not be permitted and would require a separate variance. If approved, Council may wish to consider including a condition of approval stipulating that the garage is only permitted to be used for permissible uses allowed by the Zoning Ordinance unless an additional variance is granted.

Approval by the Board of Zoning Appeals for a variance is required in accordance with Article XVII of the Zoning Ordinance if, in addition to the requirements of the standards set forth in the Zoning Ordinance, the following standards are met:

1. The variance is in harmony with and serves the intent and purpose of this Ordinance after considering:
  - A. The extent of the variance in relation to the requirement;
  - B. The effect, if the variance is allowed, of the increased population density produced on available governmental facilities and on the character of the district;



C. Whether a proposed building is in harmony with the predominant type of building in the district in size, character, location and intended use.

2. The variance will result in substantial justice being done, considering the public benefits intended to be secured by this Ordinance, the hardships or difficulties suffered if a variance is not granted, and whether the hardship or difficulty can be obviated by some method other than a variance.
3. The variance will not substantially interfere with or injure the rights of persons whose property is affected by the proposed variance.
4. The proposed variance meets the standards of Article XXV.

The requirements of Article XXV are as follows;

- a. The application is consistent and will promote the intent and purpose of this Ordinance.
- b. The proposed use or activity will be compatible with adjacent land uses, the natural environment and natural resources, and the capacities of public services and facilities affected by the proposal.
- c. The application will promote the use of land in a socially and economically desirable manner, and maintain the character of the area.
- d. The proposed use structure activity is consistent with the public health, safety, and welfare of the residents of Grosse Pointe Farms.

Please see the attached- memo from McKenna Planning Consultants for an analysis of the request. Please place this request on the next available City Council agenda for review and consideration.



**MCKENNA**

October 5, 2020

Mr. Matt Baka  
Community Services Director  
City of Grosse Pointe Farms  
17147 Maumee  
Grosse Pointe, MI 48230

**ATTENTION: BOARD OF ZONING APPEALS**  
**SUBJECT: 348 PROVENCAL VARIANCE REQUEST**  
**ZONING: R-1AAA**  
**APPLICANT: C. BLAKE (BUILDER) ON BEHALF OF K. WRIGLEY AND P. BOISI (HOMEOWNERS)**

Dear Mr. Baka:

We reviewed the application submitted by Christopher Blake, Builder/Designer on behalf of Kendall Wrigley and Paul Boisi, the owners of 348 Provencal, for a variance to allow the construction of a detached two-story accessory structure.

Section 1503.2 of the Grosse Pointe Farms Zoning Ordinance states that an accessory structure, as is proposed, cannot exceed 14 feet in height, measured from established grade to the highest point of the roof. The proposed height of the proposed garage structure is 27 feet, which is 13 feet higher than permitted by right.



**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

O 248.596.0920  
F 248.596.0930  
**MCKA.COM**

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## PLAN DETAILS

Construction drawings of the proposed accessory structure as well as a site plan identifying proposed related landscape work on the site were provided. The structure is designed to include a garage with storage for two cars, a golf simulator and pool equipment on the first floor as well as a covered porch. The second floor is designed to include a one-bedroom residential unit with a floor area of approximately 1,400 SF.

The façade of the structure is designed to be clad in brick and cement fiber siding, with a standing seam copper-clad awning above the vehicle doors. The gabled roof is designed to be clad in asphalt shingles. The porch is designed to have columns clad in PVC decorative covers and covered by a flat roof with a synthetic roof membrane.

## REQUEST

The applicant requests the following variance, pursuant to the Zoning Ordinance:

Sec. 1503.\* ACCESSORY BUILDINGS AND STRUCTURES: The applicant is requesting a variance of 13 feet from the maximum height to construct an accessory structure, resulting in a structure height of 27 feet.

The table provided shows the dimensional requirements for accessory structures, as well as dimensions of the proposed structure. The submitted landscape plan implies that the siting of the structure will comply with the coverage and setback requirements, but dimensions were not provided.

| STANDARD                                    | REQUIREMENT   | PROPOSED CONDITIONS | PROPOSED COMPLIANCE |
|---|---|---------------------|---------------------|
| Accessory Coverage of Rear Yard             | <35% of Rear Yard   | Not dimensioned     | Unknown             |
| Accessory Building Location to Side of Yard | No less than 3'   | Not dimensioned     | Unknown             |
| Accessory Building Rear Setback             | No less than 3'   | Not dimensioned     | Unknown             |
| Accessory Building Height                   | One Story,<br>No more than 15' in the case of a garage and 14' in all other cases | Two Stories,<br>27' | No                  |

## VARIANCE COMMENTS

Per *Section 1702* of the Zoning Ordinance, the BZA must find that “practical difficulty” has been demonstrated and make findings regarding the following standards prior to acting on a proposed variance. Additional information brought forward by the Board, the applicant, and/ or during the public hearing should be incorporated into the record prior to the Board making any determination. The Ordinance outlines the following criteria for consideration in determining a variance. Our comments follow:

**1. The variance must be in harmony with and serve the intent and purpose of the Ordinance, considering the following:**

**a. The extent of the variance in relation to the requirement.**

The variance request is nearly twice the height of the maximum allowed for an accessory structure.

**b. The effect, if the variance is allowed, of the increased population density produced on available governmental facilities and on the character of the district.**

The variance requested would not produce an increased population density, nor will it require additional government resources, beyond previous and planned conditions.

**c. Whether the proposed building is in harmony with the predominant type of building in the district in terms of size, character, location, and intended use.**

The proposed structure is designed to be harmonious with the predominant estate building types along Provencal. Based on site observations, there are several carriage houses on Provencal.

2. **The variance must result in substantial justice being done, considering the public benefits intended to be secured by this Ordinance, the hardships or difficulties suffered if a variance is not granted, and whether the hardship or difficulty can be obviated by some method other than a variance.**

While the property is functional in its current form, providing the minimum number of two enclosed parking spaces required by code. As mentioned before, there are a number of other homes on Provencal that have carriage houses that exceed the maximum height for accessory structures.

3. **The variance will not substantially interfere with or injure the rights of persons whose property is affected by the proposed variance.**

We do not anticipate the proposed two-story carriage house to cause negative effects to adjacent property owners or the public at large. The existing mature landscape and proposed landscaping plan provides screening from most of the first floor of the proposed structure to Crescent St. properties in Grosse Pointe Woods to the north and to the neighboring property on Provencal to the northwest. The neighboring property to the southwest has an accessory structure proximate to the subject property's driveway that would screen much of the proposed structure to the southwest. The proposed structure is distant and would be well-buffered from Provencal.

### **RECOMMENDATION**

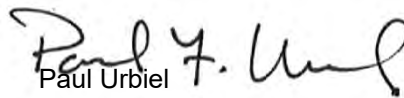
This variance request is substantial numerically, and the property is not functionally impacted by the requirements of the Ordinance. However, the proposed structure is well screened from surrounding properties and buffered from Provencal Road. We recommend the ZBA consider the applicant's justifications of practical difficulty to find whether a practical difficulty has been demonstrated, and thus a variance is warranted.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

**MCKENNA**

  
John Jackson  
President

  
Paul Urbiel  
Senior Principal Planner



## II. Variance Justification

It is the burden of the applicant to present sufficient evidence to the Zoning Board of Appeals, which justifies the variance request. Unless the Board has enough evidence to make a determination, a variance cannot be granted. The applicant or persons acting in his/her behalf should be prepared to discuss the exact size and dimensions of the proposal, the physical characteristics of the property, and be prepared to discuss the necessity of the variance in detail. In the space below, please state the principle points upon which the appeal is made (You may attach additional sheets if necessary).

**IIa.** The Board of Appeals can only grant a variance if there are special conditions or circumstances which are peculiar to the land or structure involved and which are not applicable to the same district.

**Please identify any peculiar or unusual conditions present to justify a variance:**

SEE ATTACHED

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**IIb.** The Board can only grant a variance if the above-described conditions do not result from the actions of the applicant.

**Explain why the above conditions should not be regarded as self created:**

SEE ATTACHED

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**IIc.** The Board can only grant a variance if compliance with the provisions of the Ordinance would deprive the applicant of property rights enjoyed by others in the same district.

**Describe or identify other properties in the district enjoying the same property rights you are requesting:**

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**IId.** The Board of appeals can consider evidence of hardship or quality of life if a variance is not granted.

**Please explain the hardship or practical difficulty that will result if a variance is not granted:**

SEE ATTACHED

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**IIe.** It is the objective of the Zoning Ordinance to establish minimum standards in the interest of public health, safety, comfort, convenience and general welfare in the City of Grosse Pointe Farms. The Board can only grant a variance if there will not be substantial detriment to the neighboring property and will not be contrary to the spirit and intent of the Zoning Ordinance.

**Explain why granting a variance will not be detrimental to the neighboring property. Also, provide information on how the impact of this project may be minimized:**

SEE ATTACHED

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### III. Request to be placed on agenda and signature

The undersigned hereby requests a review and approval of a variance from provisions of the City of Grosse Pointe Farms Zoning Ordinance as described herein and authorizes City elected officials and employees to inspect the site of the proposed work.

Further, the applicant affirms and acknowledges the following:

- That the applicant will make reasonable efforts to contact adjacent neighbors, adjacent neighbors means contiguous properties and those across the street who reasonably have a line of sight to a new building or building modification, affected by the applicant's proposal to show and discuss the proposed work prior to the public hearing date set for this appeal.
- That the granting of the appeal or other favorable decisions does not relieve the applicant from compliance with all other provisions of the Zoning Ordinance or other codes adopted by the City of Grosse Pointe Farms.
- That the applicant has legal interest in the property as described on this application.
- That the applicant will comply with any and all conditions imposed by the Board of Appeals in the granting of the requested variance or other favorable decisions.
- That the statements contained in this application and any attachments are true and correct to the best of his/her knowledge and belief.

Signature of Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

If the applicant is not the property owner, the property owner must read and sign below.

The undersigned hereby affirms and acknowledges that he/she/they are the owner(s) of the property described in this application, and hereby authorizes the applicant to submit this application and represents the undersigned in the matter being reviewed before the Zoning Board of Appeals.

Signature of Property Owner: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_

Date: \_\_\_\_\_





**CITY OF GROSSE POINTE FARMS  
ZONING BOARD OF APPEALS APPLICATION  
SECTION II. VARIANCE JUSTIFICATION**

**SEPTEMBER 11, 2020**

Ila. A 14' tall garage structure cannot have a second floor and would look out of place on the same property as the main house which is 30' tall. The proposed building coordinates well with the main house.

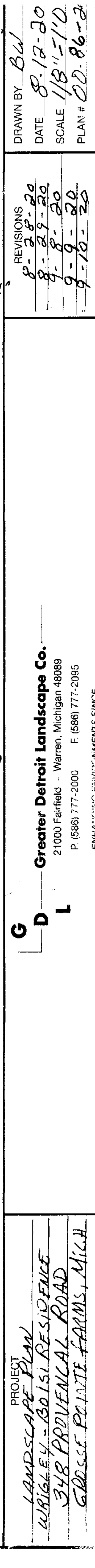
Ilb. Owner needs a living space for their full time nanny.

Ilc. There are numerous carriage houses on Provencal.

Ild. If the proposed structure is built at 14', it will not be compatible with the main house and will look out of place. It will also not accommodate the living space for the nanny.

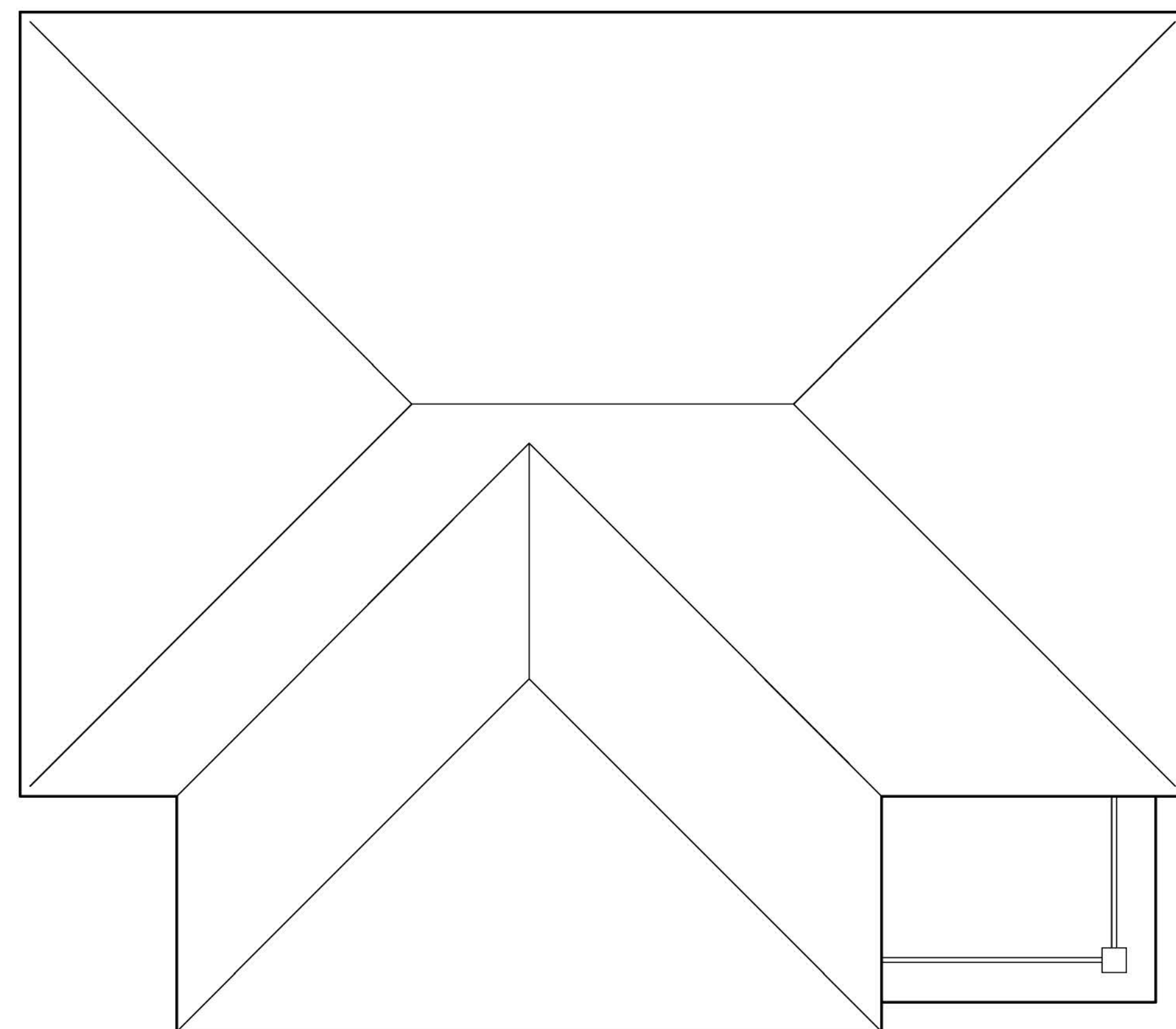
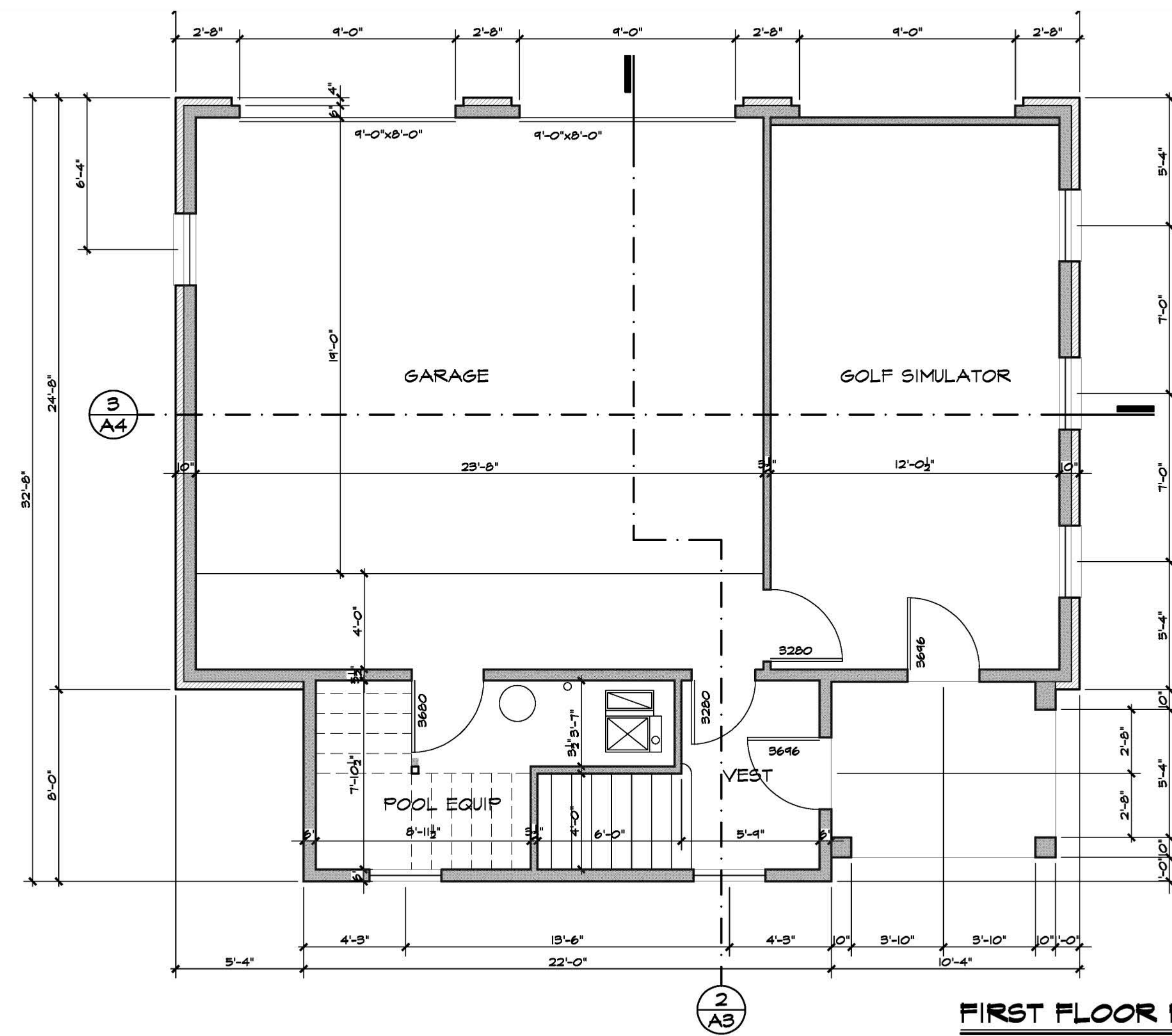
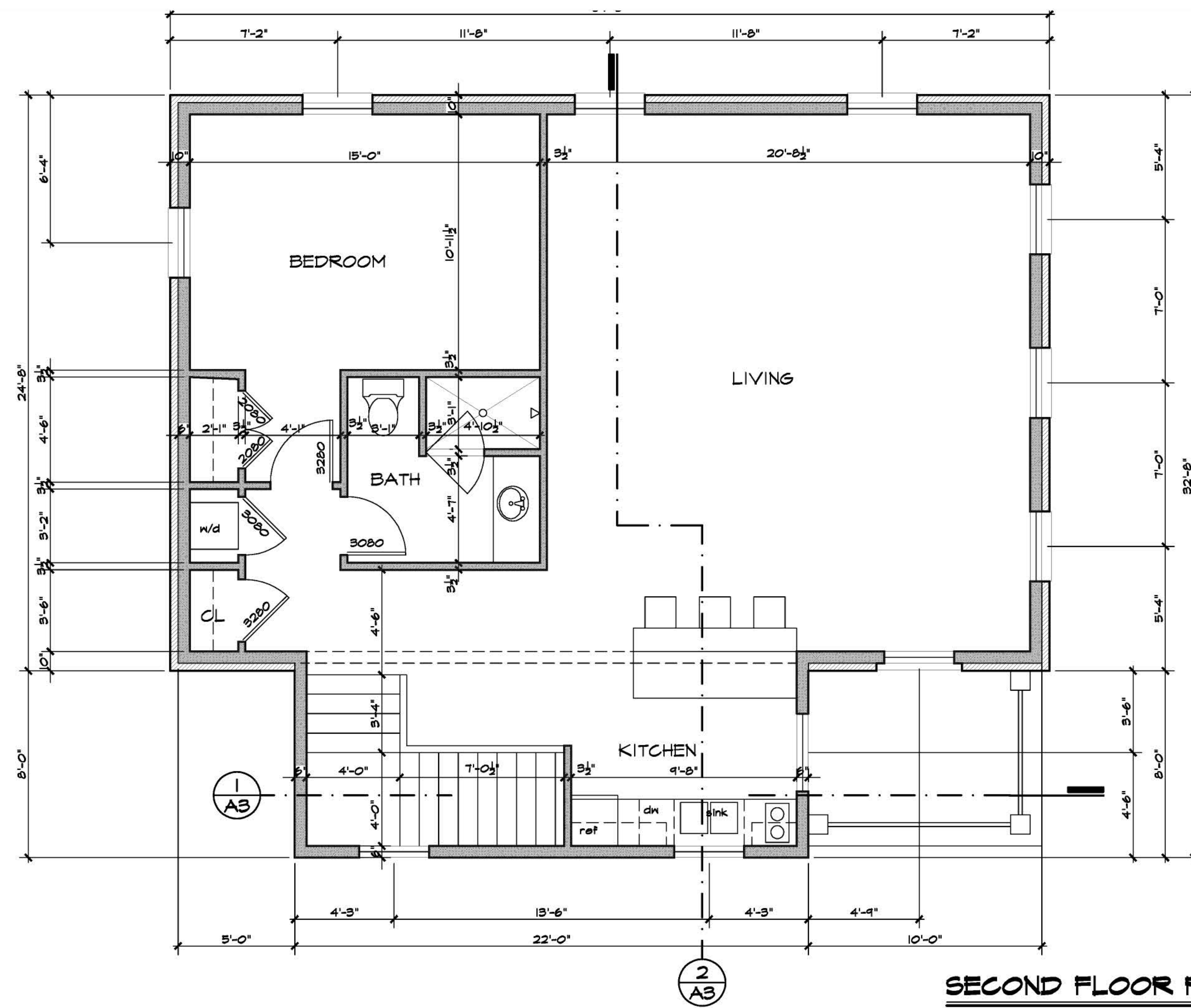
Ile. The neighboring property to the east has a pool house which is taller than 14' approximately 5' from the owner's east property line and which would block the neighbor's view of the proposed structure.



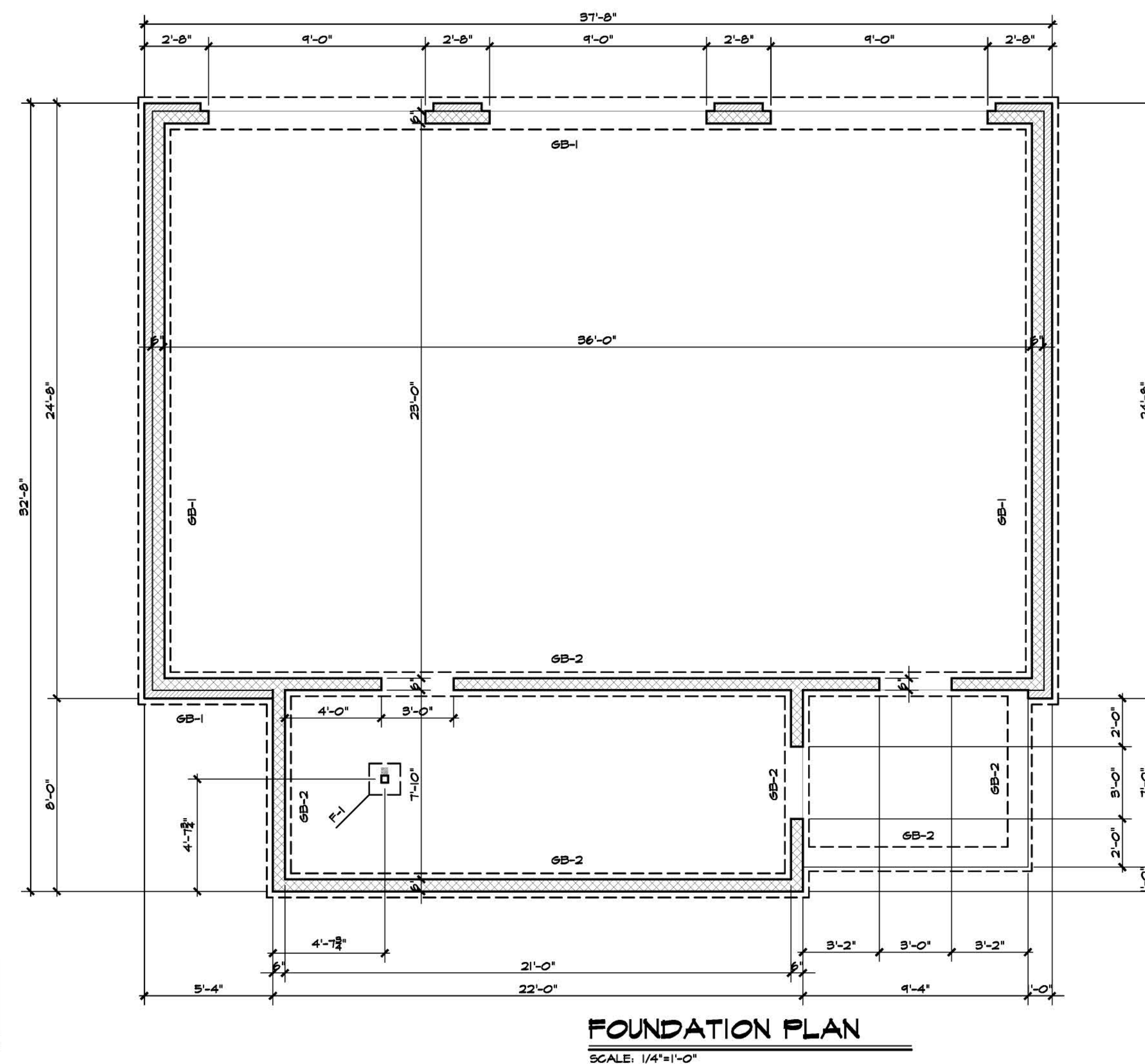


NOTE: WOULD NEED TO GET NEIGHBORS PERMISSION  
TO REMOVE 2 BLUE SPRUCE SPREADING TAXUS AND  
1 TALL TAXUS BY BRICK WALL. THE TRUNKS  
ARE CLOSE TO LOT LINE TREES ARE OVER HANGING  
YOUR PROPERTY LINE  
NOTE: CAN WE INSTALL CABLE SOME AT START  
OF DRIVE WAY WITHOUT NEIGHBORS PERMISSION





| FOOTING SCHEDULE |                              |                      |  |
|------------------|------------------------------|----------------------|--|
| MARK             | SIZE                         | REINFORCING          |  |
| F-1              | 16"x16" CENTER ON POST ABOVE | 2-#5 BARS EA WAY     |  |
| 6B-1             | 16"x42" CENTER ON WALL ABOVE | #5 BARS TOP & BOTTOM |  |
| 6B-2             | 12"x42" CENTER ON WALL ABOVE | #5 BARS TOP & BOTTOM |  |

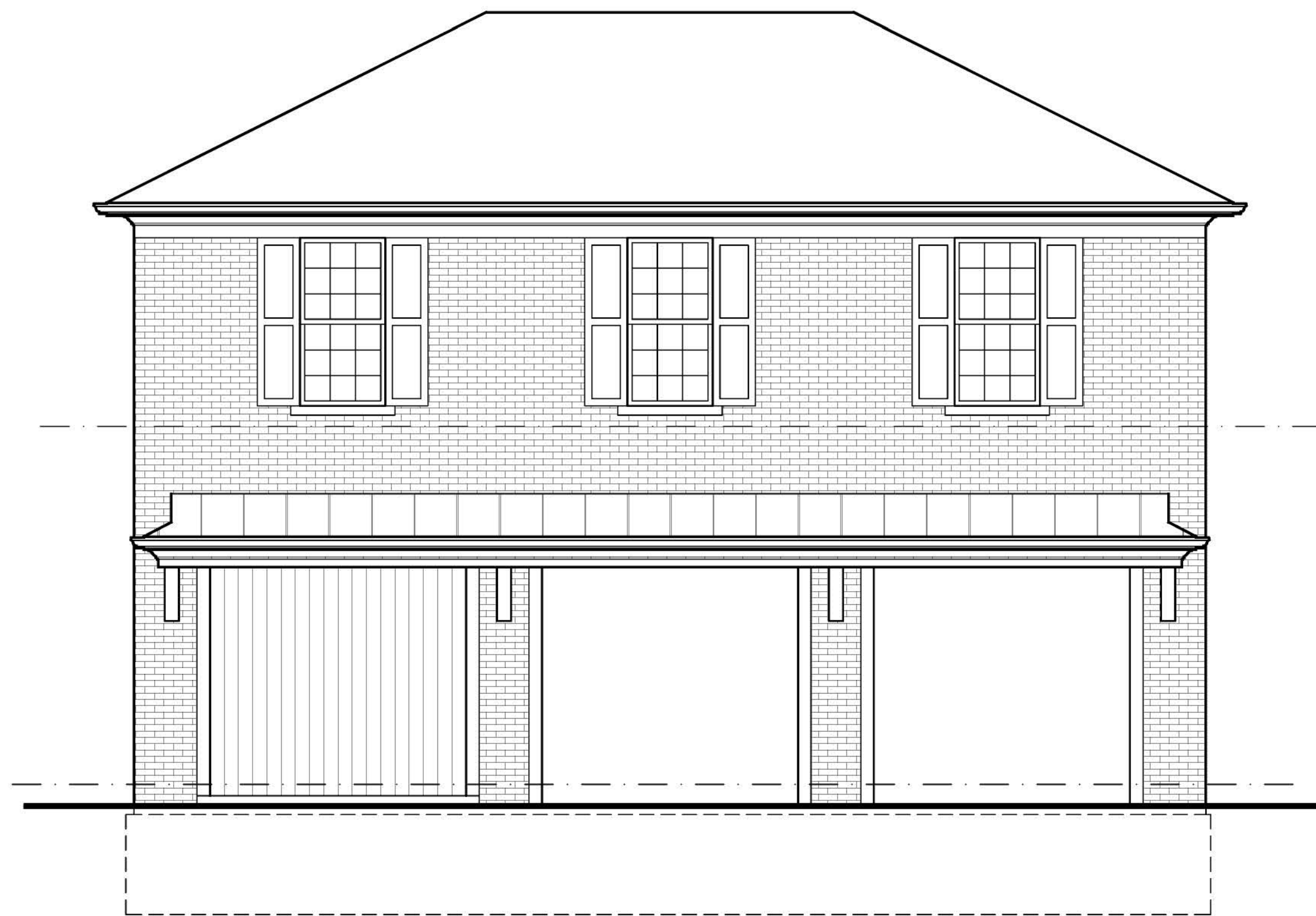


**PROPOSED CARRIAGE HOUSE**  
348 PROVENCAL, GROSSE POINTE FARMS, MICHIGAN

## FLOOR PLANS

**james  
debard  
architects**  
245 wimpole dr  
rochester hills, mi 48309  
248.608.2999 ph.  
248.608.2996 fax  
jamesdebardarchitects  
@yahoo.com

Revised:  
Issued : 9/21/20  
Job No : 2034



PROPOSED CARRIAGE HOUSE  
348 PROVENCAL, GROSSE POINTE FARMS, MICHIGAN

ELEVATIONS

**james  
depard  
architects**  
245 wimpole dr  
rochester hills, mi 48309  
248.608.2999 ph.  
248.608.2996 fax  
jamesdepardarchitects  
@yahoo.com

Revised:  
Issued : 9/21/20  
Job No : 2034

A-2







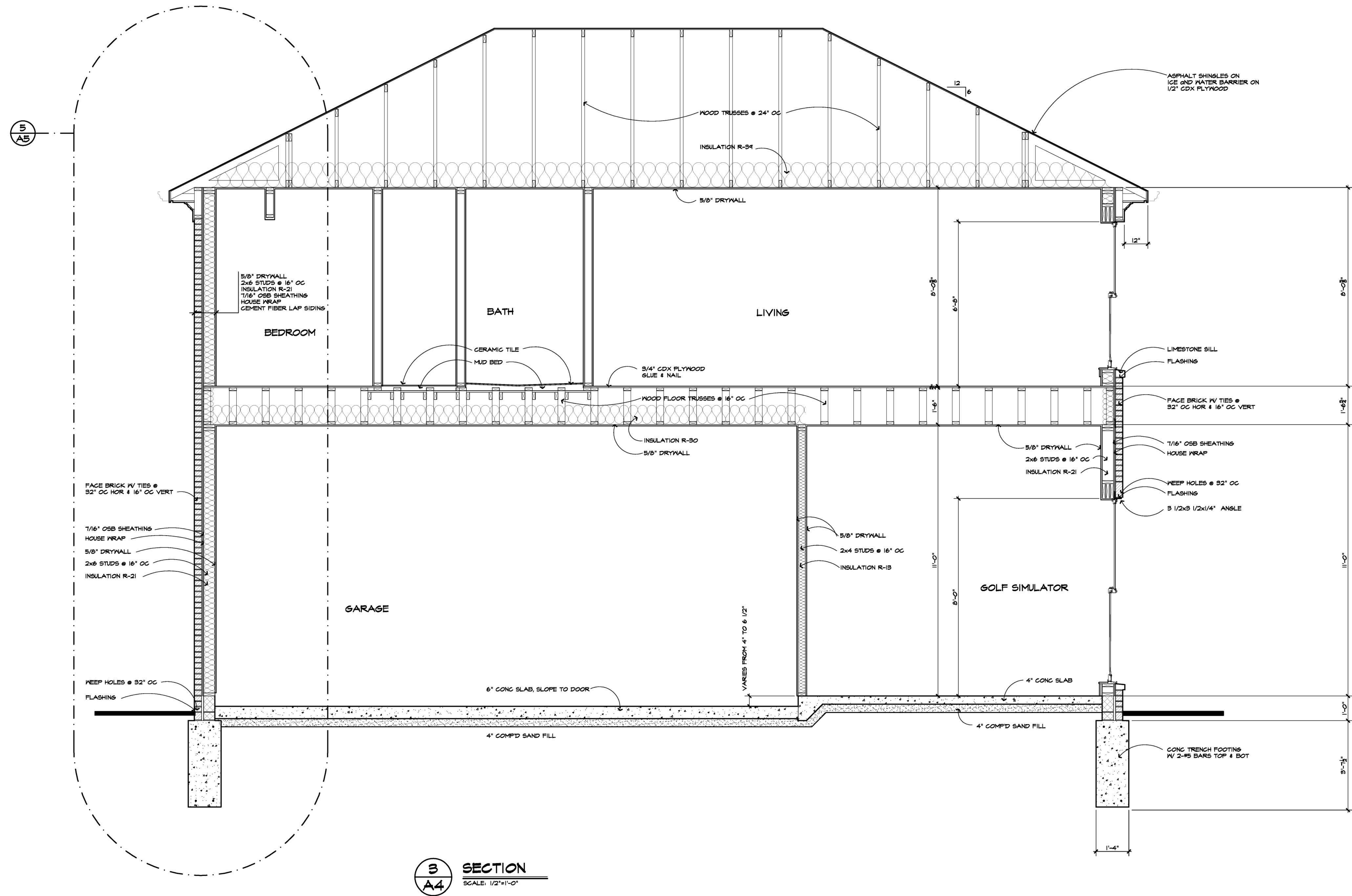
PROPOSED CARRIAGE HOUSE  
348 PROVENCAL, GROSSE POINTE FARMS, MICHIGAN

SECTION

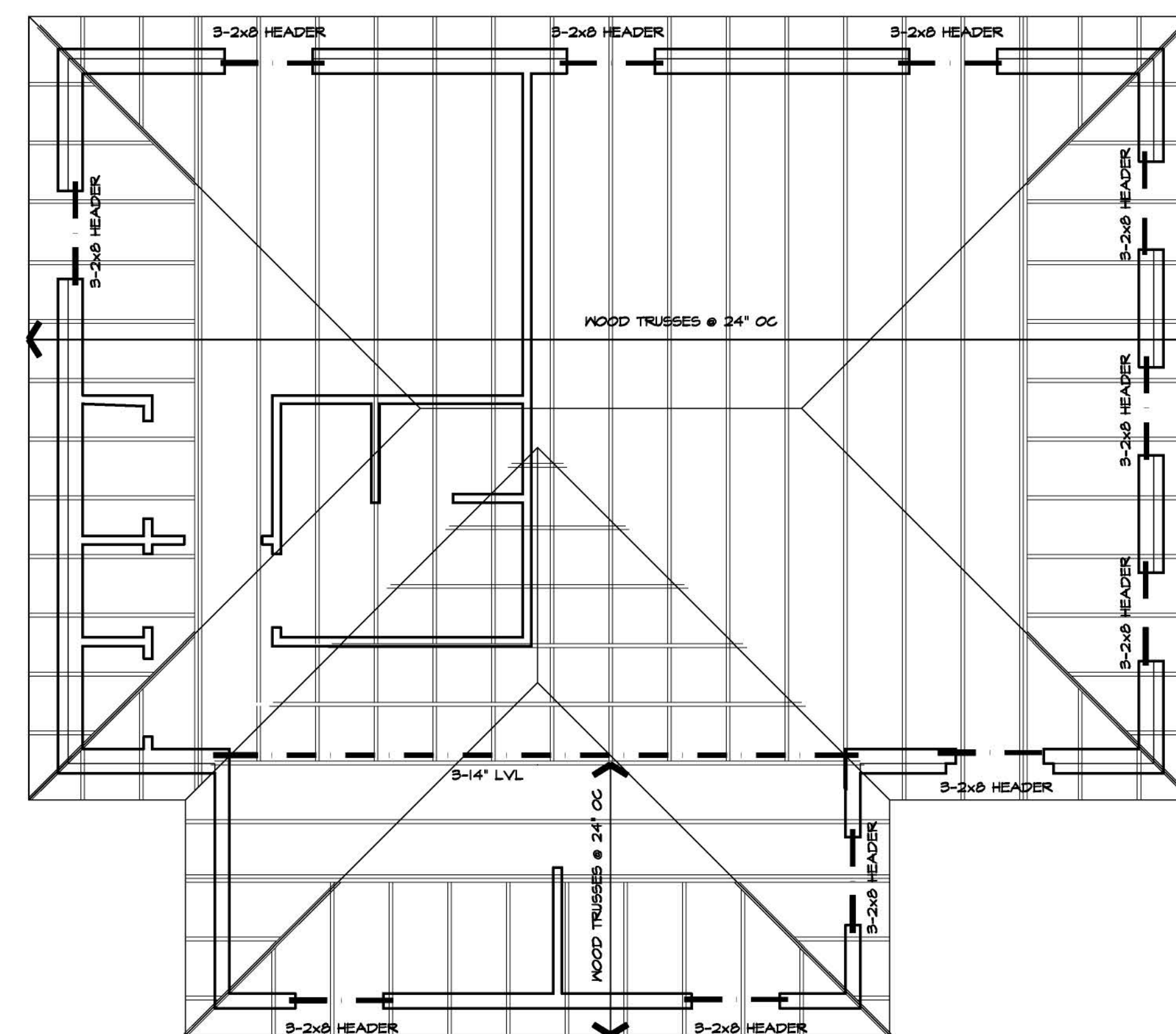
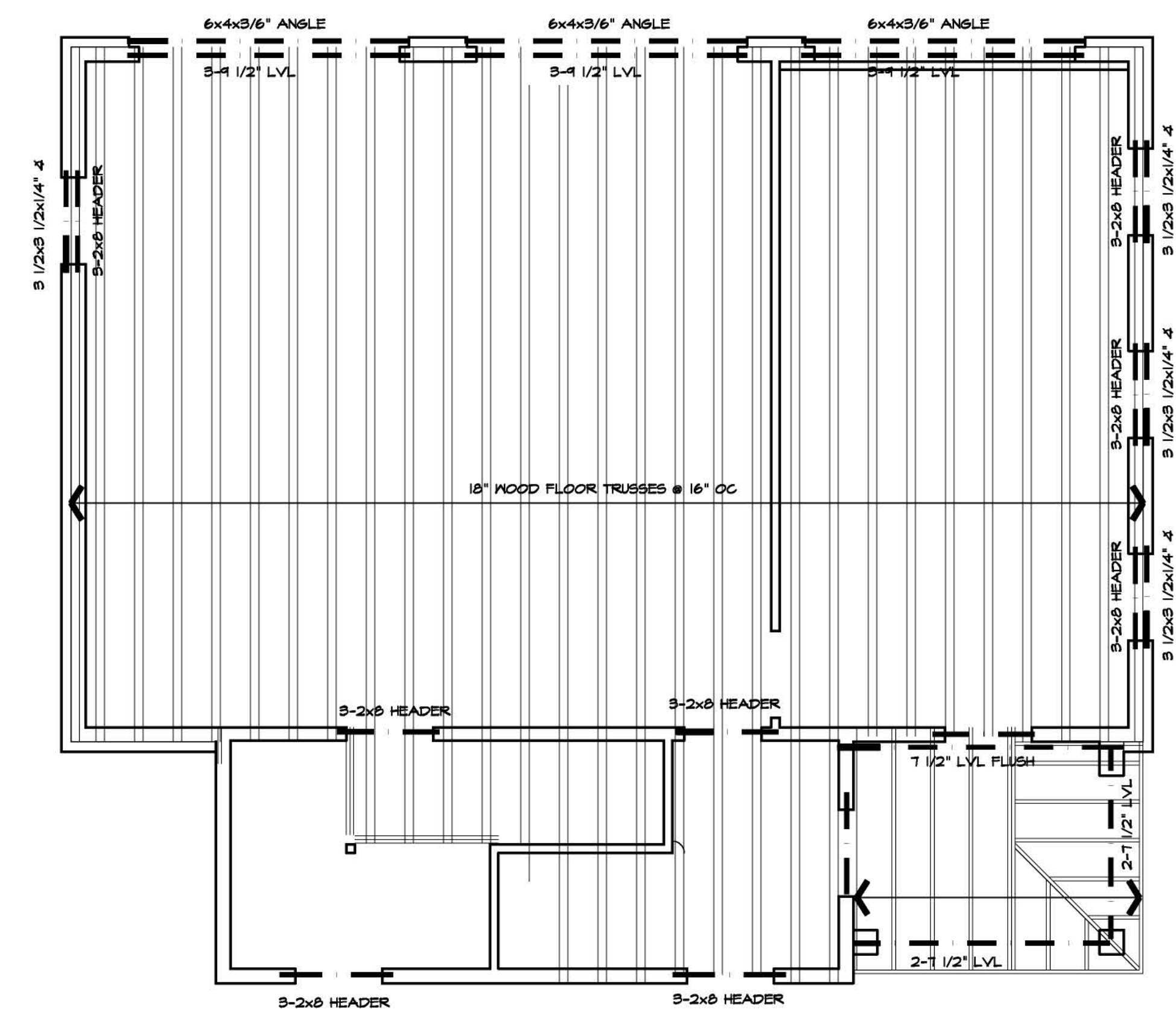
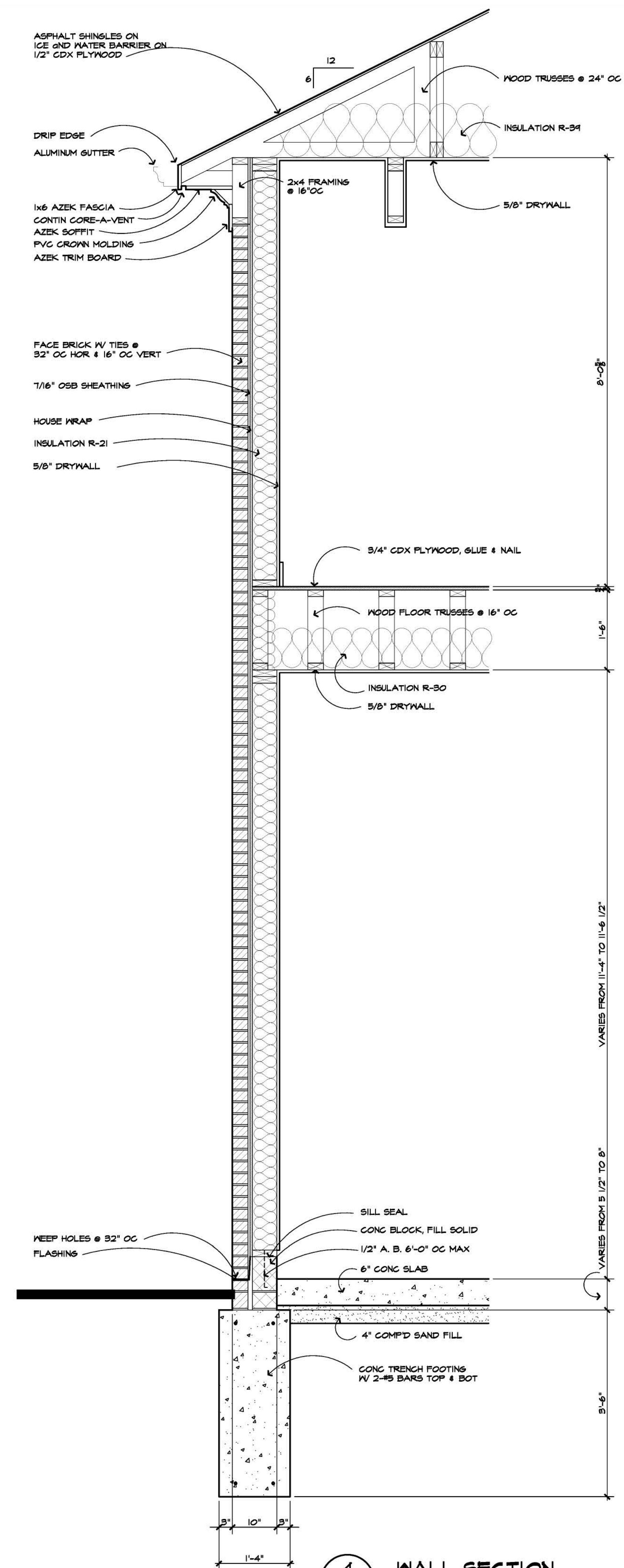
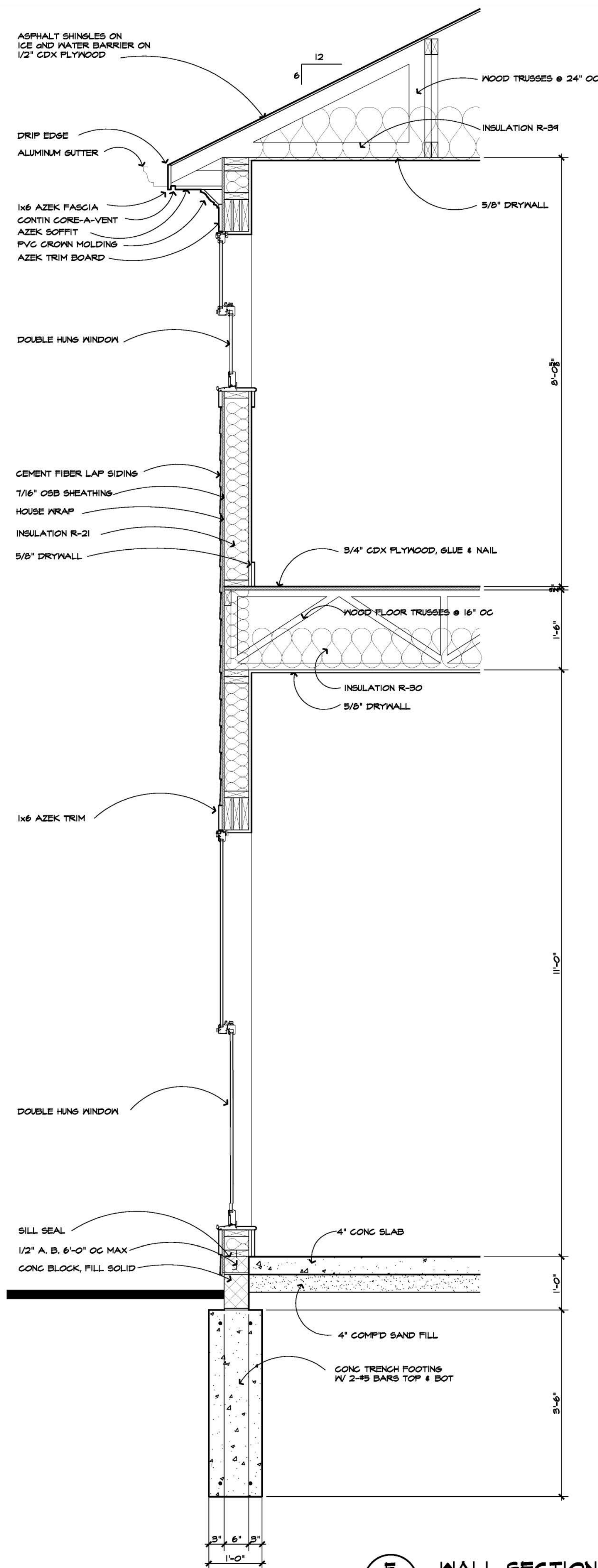
**james  
debard  
architects**  
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rochester hills, mi 48309  
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@yahoo.com

Revised:  
Issued: 9/21/20  
Job No: 2034

A-4







**PROPOSED CARRIAGE HOUSE**  
348 PROVENCAL, GROSSE POINTE FARMS, MICHIGAN

**PROPOSED CARRIAGE HOUSE**  
348 PROVENCAL, GROSSE POINTE FARMS, MICHIGAN

## FRAMING PLANS, WALL SECTIONS

james  
depard  
architects

245 wimpole dr  
rochester hills, mi 48309  
248.608.2999 ph.  
248.608.2996 fax  
jamesdebardarchitects  
@yahoo.com

Revised:  
Issued : 9/21/20  
Job No : 2034

A-5



## City of Grosse Pointe Farms

90 Kerby Road, Grosse Pointe Farms, Michigan 48236-3161  
*phone 313 885.6600 fax 313 885.0917*

### MEMORANDUM

---

To: The Honorable Mayor and Council

From: Derrick Kozicki, City Clerk and Assistant City Manager

Date: 10/06/2021

Re: SMART FY 2021 Community and Municipal Credits

The City has historically transferred its Municipal and Community Credits to Pointe Area Assisted Transportation Services (PAATS). For Fiscal Year (FY) 2021, our Municipal and Community Credits Funds are \$24,705.

Enclosed is the copy of the Municipal and Community Credits Contract for the FY 2021 and a brochure which describes PAATS.

Following its review of the enclosure documents, if the City Council desires to continue to transfer the City's Municipal and Community Credits to PAATS, the Administration recommends City Council approve the transfer of the City's \$24,705 Municipal and Community Credits to PAATS and authorize the execution of the FY 2021 Municipal and Community Credits Contracts.

If you have any questions or require additional information, please let me know.

**Attachments: 1) Community and Municipal Credit Contract for Fiscal Year 2021**

---

# MUNICIPAL CREDIT and COMMUNITY CREDIT CONTRACT FOR FY 2021

I, Shane Reeside, as the City Manager of the City of Grosse Pointe Farms (hereinafter, the "Community") hereby apply to SMART and agree to the terms and conditions herein, for the receipt and expenditure of **Municipal Credits** available for the period July 1, 2020 through June 30, 2021 (Section 1 below), and **Community Credits** available for the period July 1, 2020 to June 30, 2021 (Section 2 below); and further agree that the **Municipal and Community Credits Master Agreement** between the parties is incorporated herein by reference. A description of the service the Community shall provide hereunder is set forth in **Exhibit A**, and the operating budget for that service is set forth in **Exhibit B**, both of which are attached hereto and incorporated herein.

1. The Community agrees to use \$9,310 in **Municipal Credit** funds as follows:

- (a) Transfer to \_\_\_\_\_ Funding of: \$ \_\_\_\_\_  
TRANSFeree COMMUNITY
- (b) Van/Bus Operations At the cost of: \$ \_\_\_\_\_  
(Including Charter and Taxi services)
- (c) Services Purchased from SMART At the cost of: \$ \_\_\_\_\_  
(Including Tickets, Shuttle Services/Dial-a-Ride)
- (d) Services Purchased from Subcontractor At the cost of: \$ 9,310  
PAATS (Pointe Area Assisted Transportation Services)  
(NAME OF SUBCONTRACTOR)  
(See attached Subcontractor Service Agreement)

**Total \$ 9,310**

SMART intends to provide Municipal Credit funds under this contract to the extent funds for the program are made available to it by the Michigan Legislature pursuant to Michigan Public Act 51 of 1951. Municipal Credit funds made available to SMART through legislative appropriation are based on the State's approved budget. In the event that revenue actually received is insufficient to support the Legislature's appropriation, it will result in an equivalent reduction in funding provided to the Community pursuant to this Contract. In such event, SMART reserves the right, without notice, to reduce the payment of Municipal Credit funds by the amount of any reduction by the legislature to SMART. All Municipal Credit funding must be spent by June 30, 2023; all funds not spent by that date will revert back to SMART pursuant to Michigan Public Act 51 of 1951, for expenditure consistent with Michigan law and SMART policy.

2. The Community agrees to use \$15,395 in **Community Credit** funds available as follows:

- (a) Transfer to \_\_\_\_\_ Funding of: \$ \_\_\_\_\_  
TRANSFeree COMMUNITY
- (b) Van/Bus Operations At the cost of: \$ \_\_\_\_\_  
(Including Charter and Taxi services)
- (c) Services Purchased from SMART At the cost of: \$ \_\_\_\_\_  
(Including Tickets, Shuttle Services/Dial-a-Ride)



- (d) Capital Purchases At the cost of: \$ \_\_\_\_\_
- (e) Services Purchased from Subcontractor At the cost of: \$ 15,395  
PAATS (Pointe Area Assisted Transportation Services)  
(NAME OF SUBCONTRACTOR)  
(See attached Subcontractor Service Agreement)

**Total \$15,395**

To the extent that this Contract calls for a payment of funds directly from SMART to a subcontractor, Community hereby acknowledges that it is the party entitled to receive such funds and is affirmatively authorizing and directing SMART to pay such funds directly to the subcontractor on its behalf. Capital purchases permitted with Community Credits are subject to applicable state and federal regulations, and SMART policy, including procurement guidelines. When advantageous, SMART may make procurements directly. Reimbursement for purchases made by Community requires submission of proper documentation to support the purchase (i.e. purchase orders, receiving reports, invoices, etc.). Community Credit dollars available in FY 2021, may be required to serve local employer transportation needs per the coordination requirements set forth in the aforementioned Master Agreement. All Community Credit funds must be spent by June 30, 2024; any funds not spent by that date may revert back to SMART for expenditure consistent with SMART policy.

The Parties acknowledge and agree that this Agreement may be executed by electronic signature, which shall be considered as an original signature for all purposes and shall have the same force and effect as an original signature. The Parties agree that the electronic signatures appearing on this Agreement are the same as handwritten signatures for the purposes of validity, enforceability and admissibility. Without limitation, "electronic signature" shall include faxed versions of an original signature or electronically scanned and transmitted versions (e.g., via pdf) of an original signature.

This agreement shall be binding once signed by both parties.

**SUBURBAN MOBILITY AUTHORITY  
FOR REGIONAL TRANSPORTATION**

**CITY OF GROSSE POINTE FARMS**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Shane Reeside  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
City Manager  
Title

\_\_\_\_\_  
Date

\_\_\_\_\_  
10/13/2020  
Date

INVOICES  
SEPTEMBER 2020

| Vendor                                 | Amount       | Description  |
|--|--------------|--|
| Art Tucker                             | \$ 32,055.00 | Water main repairs, sewer televising & repairs   |
| Asphalt Control Corporation            | \$ 33,834.50 | Sidewalk & road repairs related to water main breaks and catch basin repairs; water plant driveway repairs   |
| DTE Energy                             | \$ 24,666.00 | Street Lights  |
| Grosse Pointes-Clinton Refuse Disposal | \$ 14,853.41 | Refuse disposal and administration   |
| Hubbell, Roth & Clark                  | \$ 51,373.96 | Sea Wall Topographic Survey; 2020 Road Improvement Project; 2020 Water Main Replacement Project; Pier Park High Water Level Flood Protection Study; 2019/2020 Emergency Sewer Repairs; Sewer Separation Project; various other water & street projects |
| Motorola Solutions, Inc.               | \$66,334.38  | Maintenance agreements - Dispatch & Public Safety radios; Purchase of additional prep radios and equipment   |

INVOICE DATE: SEPTEMBER 9, 2020  
 INVOICE NO.: 1507851

 CITY OF GROSSE POINTE FARMS  
 90 KERBY ROAD  
 GROSSE PTE. FARMS, MI 48236

ATTN: SHANE L. REESIDE, CITY MANAGER

CLIENT/MATTER NO.: 004439-00079

RE: MISCELLANEOUS LABOR MATTERS

## PRIVILEGED AND CONFIDENTIAL

FOR PROFESSIONAL SERVICES THROUGH AUGUST 31, 2020

USD

|   |           |               |
|---|-----------|---------------|
| TOTAL FEES CURRENT INVOICE .....          | \$        | 901.00        |
| TOTAL DISBURSEMENTS CURRENT INVOICE ..... | \$        | 13.60         |
| <b>TOTAL CURRENT INVOICE .....</b>        | <b>\$</b> | <b>914.60</b> |

OUTSTANDING INVOICES ON THE MATTER BILLED ON THIS CURRENT INVOICE AS OF SEPTEMBER 9, 2020

| <u>INVOICE</u>                              | <u>DATE</u> | <u>BILLED VALUE</u> | <u>PAYMENTS</u> | <u>OUTSTANDING</u> |
|---|-------------|---------------------|-----------------|--------------------|
| 1503330                                     | 08/18/20    | 689.00              | (0.00)          | 689.00             |
| TOTAL OUTSTANDING FROM PRIOR INVOICES ..... |             |                     |                 | \$ 689.00          |
| <b>TOTAL AMOUNT DUE .....</b>               |             |                     |                 | <b>\$ 1,603.60</b> |

## Remittance Instructions

\*\*\*Terms: Due and Payable Upon Receipt\*\*\*

| <u>Mail To:</u>  | <u>ACH Instructions:</u>   | <u>Wire Instructions:</u>  |
|--|--|--|
| Dickinson Wright PLLC<br>2600 W. Big Beaver<br>Suite 300<br>Troy, MI 48084 | JP Morgan Chase Bank N.A.<br>28660 Northwestern Highway<br>Southfield, MI 48034<br>ABA Number: 072 000 326<br>Account# 38852<br><br>(Please Reference Invoice Numbers) | JP Morgan Chase Bank N.A.<br>28660 Northwestern Highway<br>Southfield, MI 48034<br>ABA Number: 021 000 021<br>Swift Code: CHASUS33 (International)<br>Account# 38852<br><br>(Please Reference Invoice Numbers) |



**GROSSE POINTE FARMS DEPARTMENT OF PUBLIC SAFETY  
MONTHLY REPORT FOR: SEPTEMBER 2020**

WHILE CONTAINED IN THE ENCLOSED DATA REPORTED TO THE STATE AND FEDERAL GOVERNMENT, THE FOLLOWING SERIOUS OR UNUSUAL POLICE AND FIRE INCIDENTS OCCURRED DURING SEPTEMBER 2020

**POLICE INCIDENTS**

Officers took a report from the 400 block of Hillcrest for a larceny from automobile on September 1<sup>st</sup>. The vehicle was parked in the driveway overnight with the driver window rolled down. Some of the items were located by a resident nearby and returned to the owner.

On September 8<sup>th</sup> Officers stopped a vehicle for speeding on Lakeshore. An investigation revealed the driver was intoxicated and in the vehicle officers located an unregistered loaded 9mm semi-automatic handgun.

On September 13<sup>th</sup> Officers stopped a vehicle on Mack near Elizabeth Court for an equipment violation. Upon speaking with the occupants an officer observed a pistol style AK-47 on the front floor. The subjects were taken into custody.

On September 23<sup>rd</sup> Officers observed a subject urinating in public in the area of Mack and Moross. Officers attempted to speak with the combative subject. Upon their investigation the subject spat on Officers at scene. The subject was taken into custody.

**VEHICLE THEFTS**

On September 9<sup>th</sup> and again on September 18<sup>th</sup>, Officers took 3 reports of a fail to return rental vehicles. With information of the incidents, officers and the detective bureau were able to track down and locate all 3 of the vehicles the same day they were reported. All were returned to the rental company and warrants are being sought for the persons(s) responsible.

**JUVENILE INCIDENTS**

On September 22<sup>nd</sup> Officers responded to the 300 block of Touraine for loud yelling. Officers located the area and were able to learn a juvenile was making a threat to harm themselves. The officer was able to assist with transporting the juvenile to a local hospital.

**FIRE INCIDENTS**

Please see the report from Fire Specialist.

# Fire Division

Compiled By:

Ray Krause, Fire Inspector

Monthly Report For:

**September, 2020**

| <u>Calls For Service</u>    | <u>Responses</u> | <u>This Year</u> | <u>Last Year</u> |
|-----------------------------|------------------|------------------|------------------|
| Residential                 | <u>0</u>         | <u>10</u>        | <u>3</u>         |
| Commercial                  | <u>0</u>         | <u>0</u>         | <u>0</u>         |
| Automobile                  | <u>0</u>         | <u>1</u>         | <u>2</u>         |
| False Alarms                | <u>5</u>         | <u>59</u>        | <u>66</u>        |
| CO Alarms                   | <u>4</u>         | <u>23</u>        | <u>15</u>        |
| Miscellaneous               | <u>7</u>         | <u>29</u>        | <u>36</u>        |
| <u>Total Responses</u>      | <u>16</u>        | <u>121</u>       | <u>122</u>       |
| <hr/>                       |                  |                  |                  |
| <u>Mutual Aid: Received</u> | <u>1</u>         | <u>7</u>         | <u>5</u>         |
| <u>Mutual Aid: Given</u>    | <u>0</u>         | <u>7</u>         | <u>3</u>         |
| <hr/>                       |                  |                  |                  |
| Engine 3 Responses          | <u>3</u>         | <u>69</u>        | <u>92</u>        |
| Ladder 3 Responses          | <u>2</u>         | <u>38</u>        | <u>28</u>        |
| Service 3 Responses         | <u>4</u>         | <u>19</u>        | <u>18</u>        |
| <hr/>                       |                  |                  |                  |
| <u>Fire Losses</u>          |                  |                  |                  |
| Residential Buildings       | <u>0</u>         | <u>260000</u>    | <u>20000</u>     |
| Commercial Buildings        | <u>0</u>         | <u>0</u>         | <u>0</u>         |
| Contents of Buildings       | <u>0</u>         | <u>128000</u>    | <u>20000</u>     |
| Automobiles                 | <u>0</u>         | <u>1000</u>      | <u>33000</u>     |
| Miscellaneous               | <u>0</u>         | <u>0</u>         | <u>0</u>         |

**Fire Prevention Bureau**

|                    | <u>This Month</u> | <u>This Year</u> |
|--------------------|-------------------|------------------|
| Inspections        | <u>8</u>          | <u>28</u>        |
| Violations Cited   | <u>64</u>         | <u>456</u>       |
| Appearance Tickets | <u>0</u>          | <u>0</u>         |
| Follow Ups         | <u>7</u>          | <u>22</u>        |
| Plan Review        | <u>0</u>          | <u>5</u>         |
| Miscellaneous      | <u>0</u>          | <u>4</u>         |
| Pre-Fire Survey    | <u>0</u>          | <u>0</u>         |

## **Community Relations**

|                  |          |          |
|------------------|----------|----------|
| Block Parties    | <u>0</u> | <u>1</u> |
| Birthday Parties | <u>0</u> | <u>9</u> |
| Special Events   | <u>0</u> | <u>2</u> |

## Maintenance

|               |  |
|---------------|--|
| Apparatus     |  |
| Building      |  |
| Miscellaneous |  |

## Fire Training

SCBA/Ladder training and Pump Ops.



**PUBLIC SAFETY DEPARTMENT**  
**REPORTED OCCURRENCES INVESTIGATED**  
**FOR: September 2020**

| Nature of Police Investigations        | 20 Actual | 20 Attempts | 20 Total | 20 YTD | 19 YTD |
|--|-----------|-------------|----------|--------|--------|
| Murder & Non Negligent Manslaughter    | 0         | 0           | 0        | 0      | 0      |
| Negligent Manslaughter                 | 0         | 0           | 0        | 0      | 0      |
| 1st Degree Criminal Sexual Conduct     | 0         | 0           | 0        | 0      | 0      |
| 2nd Degree Criminal Sexual Conduct     | 0         | 0           | 0        | 0      | 0      |
| 3rd Degree Criminal Sexual Conduct     | 0         | 0           | 0        | 1      | 0      |
| 4th Degree Criminal Sexual Conduct     | 0         | 0           | 0        | 0      | 0      |
| Indecent Exposure                      | 0         | 0           | 0        | 0      | 0      |
| Molesting                              | 0         | 0           | 0        | 0      | 0      |
| Other Sex Offenses                     | 0         | 0           | 0        | 0      | 0      |
| Robbery (armed)                        | 0         | 0           | 0        | 1      | 2      |
| Robbery (unarmed)                      | 0         | 0           | 0        | 0      | 0      |
| Breaking & Entering                    | 0         | 0           | 0        | 6      | 1      |
| Felonious Assault                      | 0         | 0           | 0        | 0      | 0      |
| Domestic Violence                      | 0         |             | 0        | 10     | 7      |
| Other Assaults                         | 1         | 0           | 1        | 7      | 1      |
| Kidnapping                             | 0         | 0           | 0        | 0      | 0      |
| Arson                                  | 0         | 0           | 0        | 0      | 0      |
| Motor Vehicle Thefts                   | 0         | 0           | 0        | 5      | 10     |
| Larceny Other                          | 3         | 0           | 3        | 15     | 16     |
| Larceny From Auto                      | 1         | 0           | 1        | 5      | 15     |
| Bicycle Thefts                         | 0         | 0           | 0        | 2      | 5      |
| Retail Fraud                           | 1         | 0           | 1        | 12     | 7      |
| Fraud: Embezzlement, credit cards & ID | 5         | 0           | 5        | 40     | 26     |

| Nature of Police Investigations           | 2020 Month | 20 YTD | 19 YTD |
|---|------------|--------|--------|
| Malicious Destruction of Property         | 2          | 13     | 12     |
| Arrests for carrying concealed weapon     | 2          | 6      | 1      |
| Arrests for Narcotics & Drugs             | 0          | 9      | 16     |
| Narcotic & Drug Investigations            | 0          | 2      | 4      |
| Arrest for OUIL (drunken driving)         | 4          | 38     | 48     |
| Detoxification Treatment                  | 0          | 0      | 0      |
| Liquor Law Violation                      | 0          | 0      | 0      |
| Disorderly Conduct                        | 0          | 0      | 1      |
| Vagrancy Arrests                          | 0          | 0      | 0      |
| Suicide                                   | 0          | 3      | 1      |
| Attempted Suicide                         | 0          | 1      | 3      |
| Accidental Deaths                         | 0          | 0      | 0      |
| Deaths "Natural" DOA                      | 3          | 17     | 5      |
| Missing Persons                           | 0          | 2      | 1      |
| Bomb Threats                              | 0          | 0      | 0      |
| Arrests for Other Agencies **             | 0          | 15     | 38     |
| Dog & Animal Bites                        | 0          | 2      | 1      |
| Misc. Call & Complaints                   | 271        | 2203   | 2187   |
| Bicycle Licenses Issued                   | 1          | 6      | 10     |
| Permits to Purchase & Register Firearms   | 39         | 246    | 150    |
| Persons Fingerprinted                     | 20         | 203    | 357    |
| Impounded Vehicles (held by police)       | 15         | 121    | 237    |
| Residential Alarm Response                | 41         | 484    | 471    |
| Business Alarm Response                   | 6          | 129    | 116    |
| Felony Arrests                            | 2          | 47     | 47     |
| Misdemeanor Arrests                       | 13         | 214    | 270    |
| Violations Issued-Traffic                 | 100        | 711    | 1410   |
| Violations Issued-Parking Meter           | 97         | 1144   | 2129   |
| Violations Issued-Other Parking           | 18         | 151    | 316    |
| Violations-Animal Ordinance               | 0          | 7      | 4      |
| Violations-Other                          | 0          | 4      | 0      |
| Juvenile cases referred to Juvenile Court | 0          | 1      | 5      |
| Mutual Aid Responses                      | 4          | 69     | 70     |

\*\* Totals included in felony/misd



|                                     | 2020 Month | 2020 YTD | 2019 YTD |
|-------------------------------------|------------|----------|----------|
| <b>Total Roadway Accidents:</b>     | 10         | 90       | 131      |
| Personal Injury Accident            | 2          | 15       | 22       |
| Property Damage Accidents           | 8          | 75       | 109      |
| *Hit & Run Accidents                | 1          | 10       | 3        |
| *Fatal Accidents                    | 0          | 0        | 0        |
|                                     |            |          |          |
| <b>Total Off-Roadway Accidents:</b> | 0          | 17       | 20       |
| Personal Injury Accidents           | 0          | 0        | 0        |
| Property Damage Accidents           | 0          | 3        | 20       |
| *Hit & Run Accidents                | 0          | 0        | 1        |
| *Fatal Accidents                    | 0          | 0        | 0        |

\*Included in Totals

Director Dan Jensen

Prepared By Kristen Bigham

**AMBULANCE RESPONSE**  
**MONTH OF: September 2020**

Number of Responses  
Year to Date

|                     |          | Number | This Year | Last Year |
|---------------------|----------|--------|-----------|-----------|
| Grosse Pointe Farms | Runs     | 32     | 277       | 271       |
|                     | Refusal  | 12     | 161       | 158       |
|                     | DOS      | 1      | 10        | 8         |
|                     | stand by | 0      | 8         | 4         |

**Mutual Aid TO G.P. Farms**

|                      |       |   |   |   |
|----------------------|-------|---|---|---|
| Grosse Pointe Park   | Basic | 0 | 0 | 1 |
|                      | ALS   | 0 | 0 | 0 |
| Grosse Pointe Shores | Basic | 0 | 0 | 0 |
|                      | ALS   | 0 | 0 | 0 |

Report Form No. 102 Revised 10/21/17  
Report Prepared by Kristen Bigham